

Stage 2A Report - Youghal Courthouse Redevelopment Draft Archaeological Impact Assessment

For Works Affecting Monuments in Local Authority Ownership

RMPs: CO067-029002-/CO067-029014-/CO067-067----

Ministerial Consent: C001068

Registration Numbers: E005358, R000563 and W000441

Promoter: East Cork Municipal District Office
Cork County Council
The Mall,
Youghal,
Co. Cork.

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CONTENTS

CONTENTS	ii
1. Introduction	1
2. Assessment Methodology	3
3. Proposed Development Works	4
Architectural & Conservation Interventions	5
Engineering Interventions.....	7
Mechanical & Electrical Interventions	7
4. Youghal Courthouse – Protections & Development Control Policies	9
Archaeological Protections & Designations.....	9
National Town Defences Policy.....	11
Local Authority Heritage Development Control Policies.....	12
5. Archaeological Background to the Site	14
Youghal Town	14
Site of the Market House & Exchange	16
6. Site Inspection	20
Present-Day Courthouse & Soup Kitchen	20
Preliminary Analysis of the Standing Buildings	27
7. Known Subsurface Archaeological Profile	28
2002 Site Investigations.....	28
2021 Site Investigations.....	29
Barry’s Lane Public Realm Works 2018	33
Synopsis of Known Archaeology	35
8. Impact Assessment & Mitigation Recommendations	37
Courthouse Works.....	37
Soup Kitchen Works.....	38
Link Structure	39
Town Wall & Rear Yard.....	39
Mechanical & Electrical Works.....	40
Visual Impact	40
9. General Recommendations	41
10. Sources & References Consulted	43

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1. Introduction

Daniel Noonan Archaeological Consultancy (DNAC) has prepared this Stage 2A Draft Archaeological Impact Assessment (AIA) to support the design process, as part of a wider Design Team, associated with the proposed redevelopment of the former Youghal Courthouse (610579, 577880 ITM) and an adjoining structure known as the 'Soup Kitchen', at the Market Square/Barry's Lane, Youghal, Co. Cork (see **Figures 1-2; Drawings 01-02**).



Photograph 1: View of the Courthouse & Soup-Kitchen, looking southwest from the Market Square.

The Courthouse and the 'Soup Kitchen' recently came into the ownership of Cork County Council; and it is the intension of the local authority to conserve and develop the site as a new exhibition space for Youghal.



Figure 1: Site location map, Courthouse circled.

The Courthouse is a Recorded Monument - CO067-029014-, it sits on the site of a late-17th Century Market House & Exchange building – CO067-067---, while the rear boundary wall of the complex contains one of the few upstanding runs of fabric of the medieval seaward Town Wall - CO067-029002 (see **Figures 8-9**). The Town Wall is, as per the National Policy on Town Defences, a National Monument; and the Courthouse is a de facto National Monument given that it is in local authority ownership.

The adjoining 'Soup Kitchen' building may, from illustrative evidence be contemporary with the Market House & Exchange building; and holds historical and cultural significance for the town as it was the site of a Quaker soup-kitchen from 1847-52, during the peak of the Great Famine.

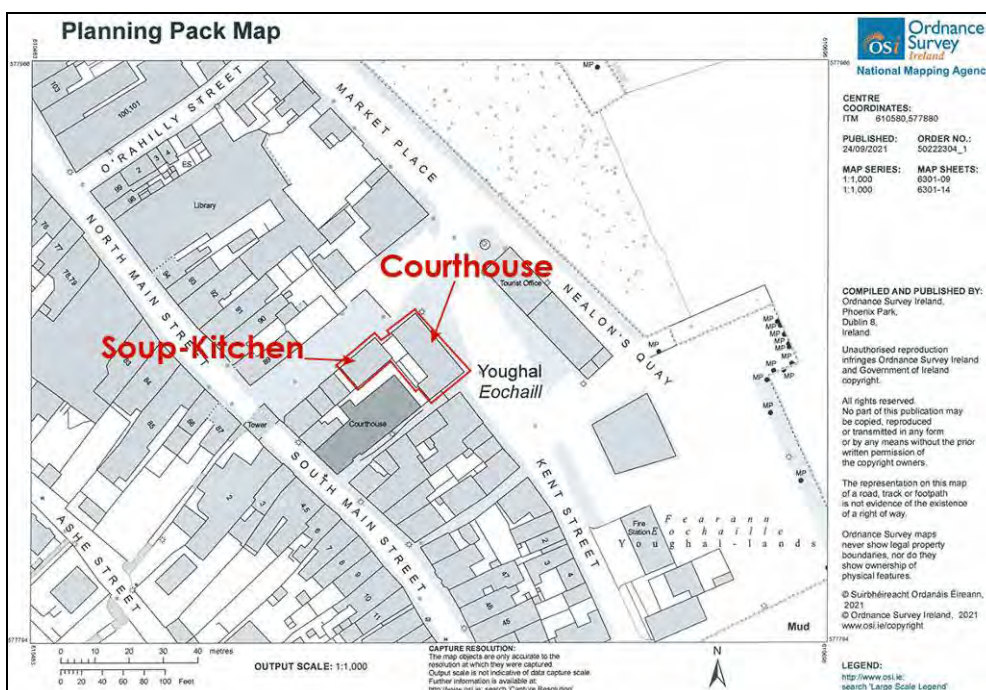


Figure 2: Site location map, Courthouse and Soup-Kitchen extents outlined.

Located within the Zone of Archaeological Notification/Potential (ZAP) for the medieval town of Youghal- CO067-029001-, these are prominent buildings in the historic core, close to the modern waterfront. However, they are in a state of decay having been unoccupied for several years. The Council are proposing to sympathetically repurpose the buildings as a way of reinvigorating the area and increasing visitor footfall in Youghal.

The Courthouse is a Protected Structure (PS2214), and while the Soup Kitchen currently has no heritage protection or designation, it is within the Architectural Conservation Area for Youghal, and it can be argued that is part of the curtilage of the Courthouse. The Architectural Heritage of the complex, and the architectural conservation issues for the project are being assessed and mitigated by Cork County Council's Architects Department and Design Forum Architects conservation specialists, as part of the larger Design Team. This document confines itself to archaeological issues, which have some overlap with the built heritage concerns.

To achieve the repurposing of the Courthouse and Soup Kitchen, as part of a Three Phase approach, the First Phase of works involves the development of an understanding of the site, its particular constraints and opportunities, and the potential risks to a successful completion of the project. The investigations by the Design Team will support the development of a design and application for Part VIII Planning for the project; and the securing of Ministerial Consent for the works close to, or within the vicinity of, a National Monument.

This document is part of the *Stage 2A* reporting of the First Phase, to Cork County Council, which assesses the emerging proposals in advance of the submitting it to the local authority for review, and then commencing the formal Part VIII Planning process.

Included in this report are the results of archaeological attendance provided to a programme of Site Investigations (SI) carried out in December 2021, to support the design process. The SI was carried out under Ministerial Consent C001068, Registrations E005358, R000563 and W000441. Once the nature and extent of the works are finalised and the Part VIII Planning process completed, it will be necessary to apply for a modification of the existing Consent, through an application for a Variation to permit the redevelopment works close to, or within the vicinity of, the Town Wall, and to the Courthouse.

2. Assessment Methodology

This draft archaeological assessment of the proposed works redevelopment works to the Youghal Courthouse and Soup Kitchen was conducted through background research into the site, its known archaeological context, historical resources, historical mapping, the result of previous assessments and site investigations, and attendance under Ministerial Consent to a new programme of site investigations commissioned by the Design Team.

The draft assessment addresses the emerging redevelopment proposals, which have reached the milestone *Stage 2A* in the process that have been prepared by the constituent architects, conservation architects, engineers, energy efficiency consultants, mechanical and electrical engineers, and interpretative designers (see **Section 3 Proposed Development Works** below for more information).

The documentary sources consulted include the listings of National Monuments, Preservation Orders, Register of Historic Monuments, the Sites and Monuments Record (SMR), the Record of Monuments and Places (RMP) for County Cork (1997), and the unpublished Post-Medieval Survey Records County Cork 1982-1996. In addition, the online databases of the National Monuments Service (NMS), the National Inventory of Architectural Heritage (NIAH), and the Placename Database of Ireland (logainm.ie) were consulted; along with the National Monuments Service (NMS) Archive. Documentary sources such as local histories and antiquarian journals were also reviewed.

The results of the background research, combined with a detailed site inspection and attendance site investigations, form this *Stage 2A* draft impact assessment of the proposed redevelopment works.

3. Proposed Development Works

The Courthouse and Soup Kitchen are prominent buildings in the heart of the historic core of Youghal, close to the important vista of the waterfront. Now in Cork County Council ownership, there is an opportunity to arrest their decay and sympathetically repurpose the buildings as a way of reinvigorating the area and increasing visitor footfall in Youghal. A proposed function of the redevelopment is to host a permanent exhibition of a local collection of approximately 600 'household items' of cultural heritage interest.

The process is to be conducted in Three Phases:

First Phase - development of an understanding of the site, prepare, assess, and cost and risk evaluate the emerging conservation, repair and design proposals for the repurposing, all to support a Part VIII Planning application, and the securing of Ministerial Consent;

Second Phase – stabilisation works to the buildings, including underpinning, building clearance, repairs to historic fabric, etc.;

Third Phase – refurbishment and upgrading works to the Courthouse and Soup Kitchen, a new linking structure, and an exhibition centre and exhibition display.

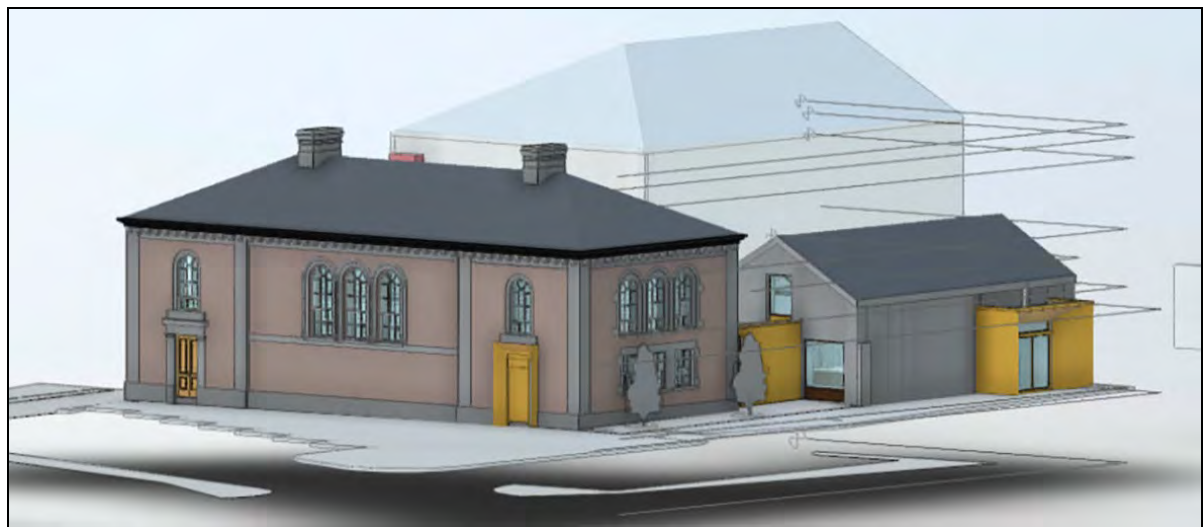


Figure 3: Screenshot of the Revit model of the emerging Stage 2A proposals, looking southwest from the Market Square. Courtesy of Cork County Council.

The redevelopment proposal emerging at *Stage 2A* has taken an approach of minimising architectural interventions to the Courthouse structure, in order to maintain its visual and physical integrity. A new single storey, lightweight link structure is proposed as a connection to the Soup Kitchen. For the Soup Kitchen, apart from essential repair and weatherproofing

works, its fabric will largely remain intact; with the addition of a new projecting portico-style structure to the existing vehicle entrance on Barry's Lane.

The following are a brief grouping of the main interventions proposed by the individual disciplines at Stage 2A. An archaeologically orientated draft impact assessment of the proposed works, greater detail of specific impacts, can be found below in **Section 8 Impact Assessment & Mitigation Measures**. The specific details can be found in the relevant Stage 2A reports and drawings by each discipline referenced after each heading.

Architectural & Conservation Interventions

(see Cork County Council Architects Department's drawings and Design Forum Stage 2A Conservation Report for full details)

The architectural interventions consist externally of a reordering of the existing doorcase/entrance on the north end of the primary, aspect elevation of the Courthouse; the creation of a single storey modern link structure to the Soup Kitchen, via the existing door in the north end of the rear elevation; and a new treatment of hard and soft landscaping to the rear yard, framed to the west by the Town Wall and the Soup Kitchen.

Internally, apart from the necessary conservation repair works, and any minor works needed to facilitate the exhibition space, the main architectural intervention is the creation of a suspend walkway at first floor level that will traverse the double height space of the courtroom chamber. The walkway is proposed to link the upper rooms at the north and south ends of the Courthouse, and provide a viewing both to the chamber/exhibition space below, and a vista to through the tall windows in the east elevation to the Market Square and waterfront beyond.

The conservation interventions will see repair of rotten timber joists ends to the upper floor; treatment of dry rot; repair and supporting of existing timber stairs; repair/replacement of joinery, architraves, door heads, windows, etc., as required.

The wall fabric is to be repointed and insulated through appropriate means to upgrade its thermal efficiency. Underfloor heating is to be installed as part of the floor repair/replacement works to the ground floor.

A new, lightweight modern link structure will be built to connect the Courthouse and the Soup Kitchen.

The roof covering to the Soup Kitchen requires removal, and the structural roof timbers are to be replaced. As with the Courthouse, the decay in the wall fabric need addressing; and may require further assessment.

The current internal space arrangement of two rooms will be replaced, with the majority of the space given over to a shop/reception area; and a small plant and electrical room at the west end. The vehicle entrance from Barry's Lane to the north will be widened to be repurposed, with a modern projecting portico-like canopy to be added.

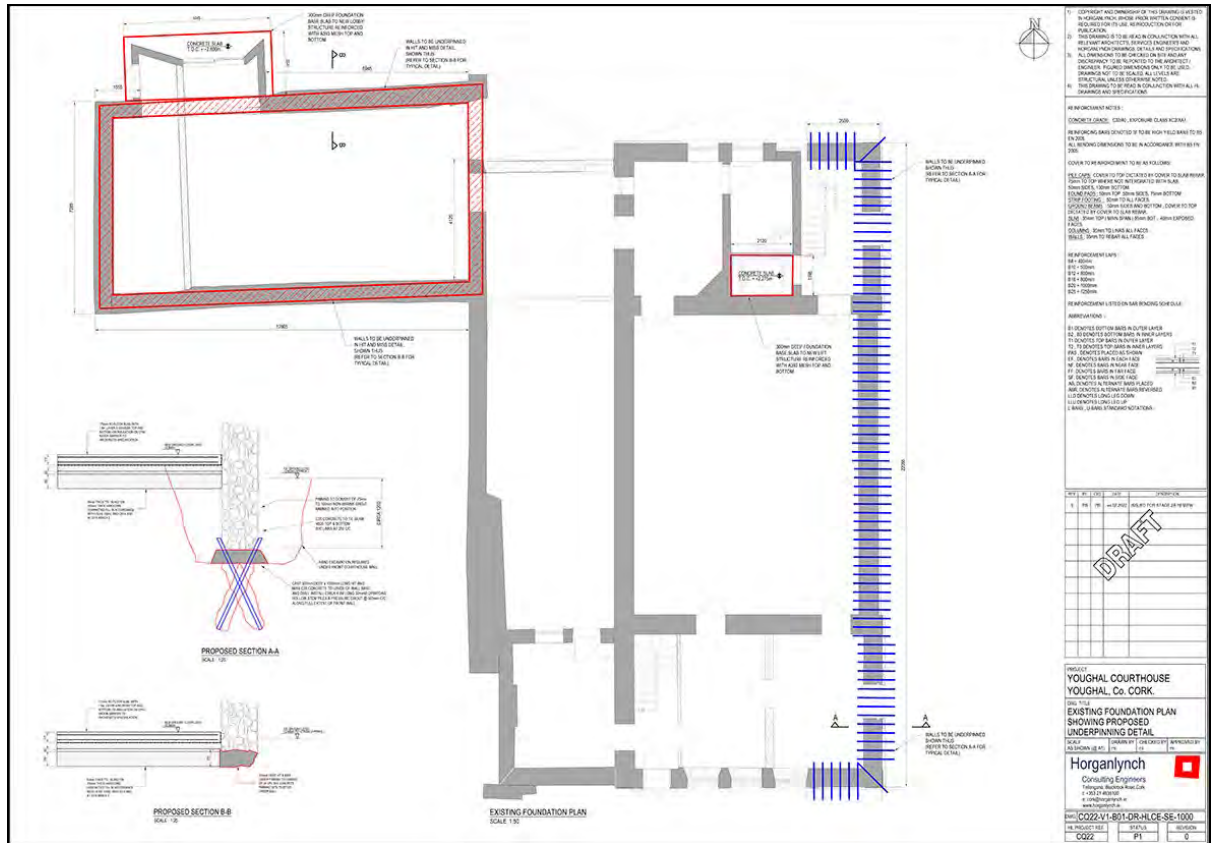


Figure 4: Horganlynych proposed underpinning/foundation works.

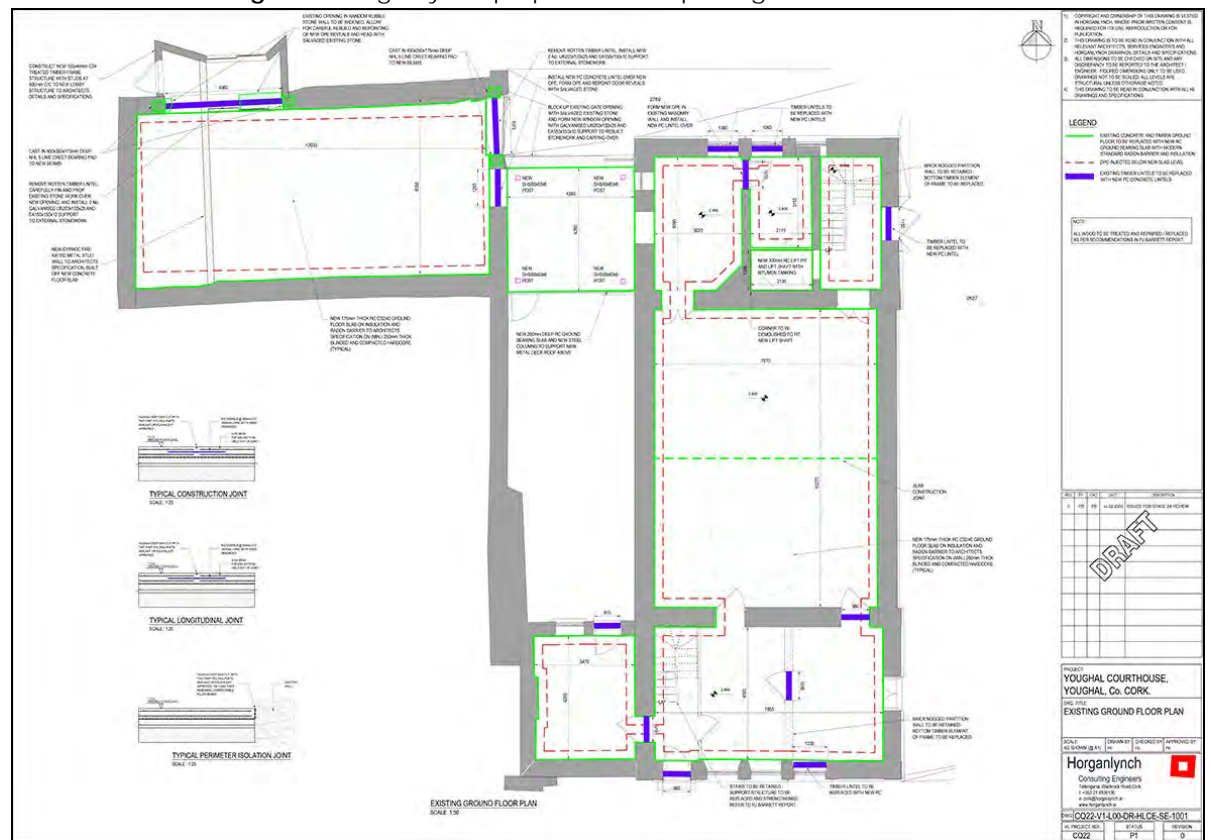


Figure 5: Horganlynych proposed floor replacement and other works.

Engineering Interventions

(see Horganlynch Consulting Engineers Stage 2A Report and drawings for full details)

Subsidence has historically occurred along the east facing, primary elevation of the Courthouse and is a priority issue, with underpinning proposed. Internally, all of the ground floor surfaces will be replaced, down to approximately 0.5m below the existing floor levels, and made back with hardcore beneath a radon barrier and insulated slab. The new floor will also incorporate underfloor heating, as part of the thermal efficiency improvement works to the structure.

An internal lift is proposed for the north end of the structure, to bring visitors to the upper floor.

The new single storey link between the buildings will be a lightweight steel frame with metal cladding, set on a 250mm deep reinforced concrete slab.

The floor to the Soup Kitchen will be replaced with the same insulated slab and underfloor heating. The roof will be replaced with a new timber trusses and purlins, matching the present ones, and new lime-based capping ring-beam will be formed on top of the wall-plate, to consolidate it.

The insertion of the new entrance into the enlarged opening will involve shallow groundworks for the new portico-style canopy.

Works are proposed to close-up the existing vehicle entrance, with shallow limecrete pads to support new steel uprights for new beam above.

Mechanical & Electrical Interventions

(see RMCE Mechanical & Electrical Engineering Stage 2A Report and drawings for full details)

New electrical services for power, data and security purposes are to be brought to both buildings. The electrical and plant room supporting the installation will be located at the west end of the reappointed internal space of the Soup Kitchen.

The existing power source from a mini-pillar on the southeast corner of the Courthouse will be reused, and the replacement electrical installation will be internally distributed from there. The electrical services for the Soup Kitchen will be externally brought from the northeast corner of the Courthouse, westward along Barry's Lane via a new duct trench.

Pipework for the underfloor heating, will be brought from heats pumps to be installed in rear yard between the Courthouse and the Town Wall/Soup Kitchen, and distributed, via the proposed plant room at the west end of the Soup Kitchen, throughout both buildings within the formation levels of the new insulated floors.

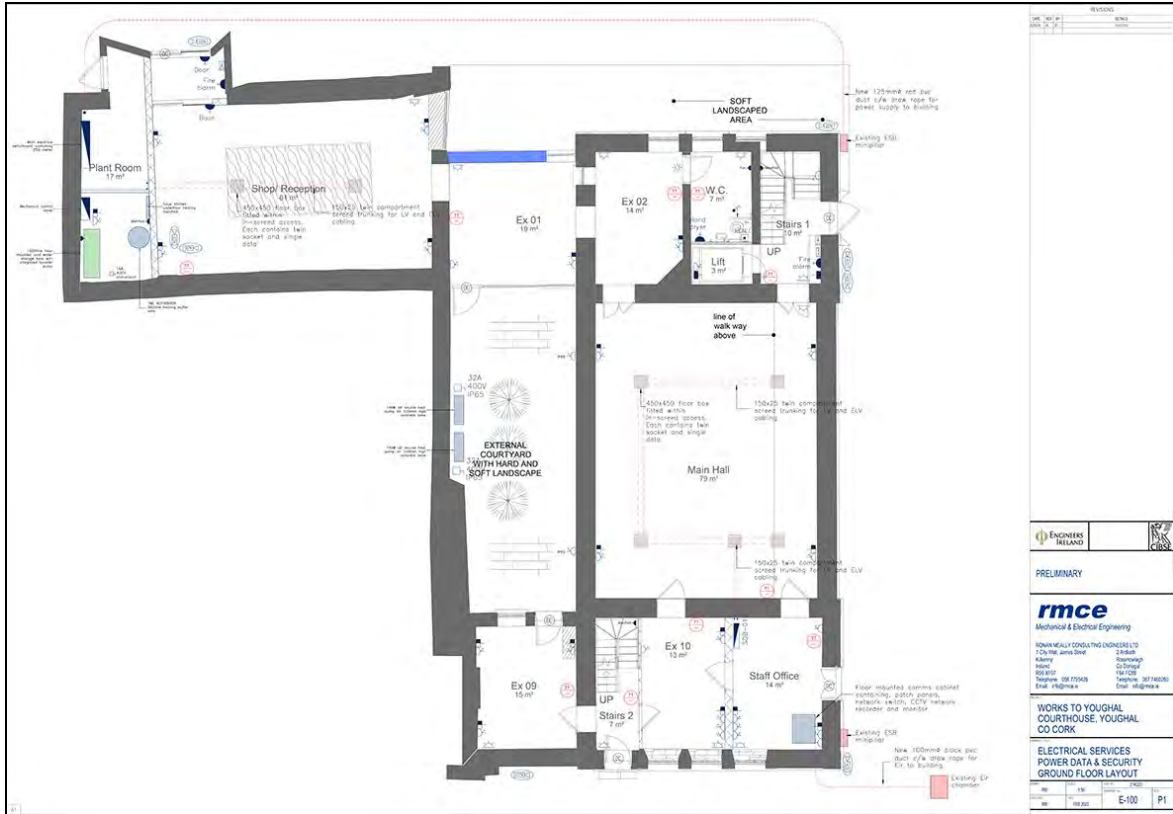


Figure 6: RMCE proposed electrical services layout.



Figure 7: RMCE proposed ground floor heating layout.

4. Youghal Courthouse – Protections & Development Control Policies

Archaeological Protections & Designations

The Courthouse and the Soup Kitchen are located within the Zone of Archaeological Notification/Potential (ZAP) for the medieval town of Youghal- CO067-029001- (**Figure 8**), and are prominent buildings in the historic core, close to the modern waterfront.

The Courthouse is a Recorded Monument - CO067-029014-, it sits on the site of a late-17th Century Market House & Exchange building – CO067-067---, while the rear boundary wall of the complex contains one of the few upstanding runs of fabric of the medieval seaward Town Wall - CO067-029002 (see **Figure 9**). The Town Wall is, as per the National Policy on Town Defences, a National Monument; and the Courthouse is a de facto National Monument given that it is in local authority ownership.

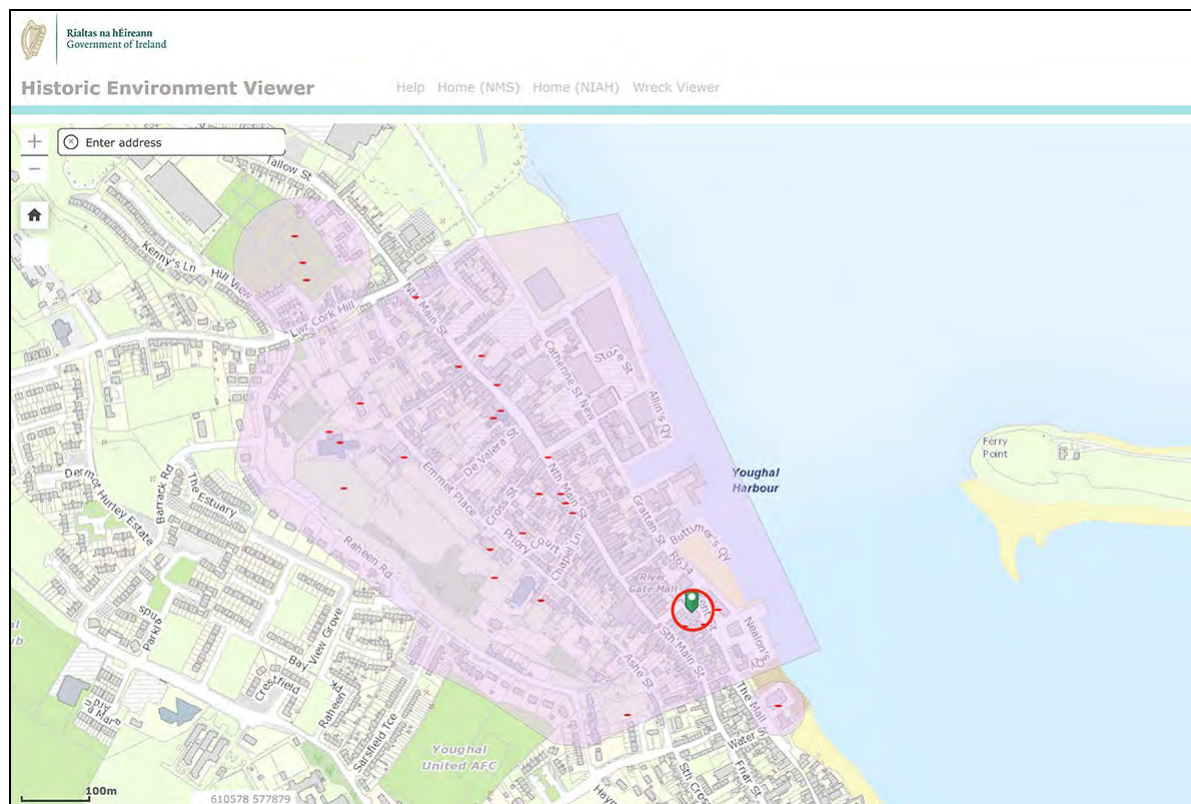


Figure 8: Screenshot of the NMS *Historic Environment Viewer*, showing the Courthouse (610579, 577880 ITM) within the ZAP for the historic town of Youghal.

The creation of the Record of Monuments and Places forms part of Section 12 of the National Monuments Act, as amended in 1994; and inclusion in it is currently the primary mechanism for protection of archaeological sites and monument in the State. Any works to, or close by (i.e., within the ZAP), a site or monument entered in the RMP requires notification to the National Monuments Service (NMS) at least two months in advance. Any works to, or close by (i.e., within the ZAP), of a National Monument requires the Consent of the relevant Minister, currently the Minister for Housing, Local Government and Heritage.

In the instance of ground disturbances, the minimum requirement of the NMS is for archaeological monitoring attendance to such works; further assessment, avoidance of archaeological features to ensure preservation in situ, or preservation by record though excavation, are other potential scenarios.

Guidance on current State policy for archaeology can be found in the *Frameworks and Principles for the Protection of the Archaeological Heritage* (1999) document.

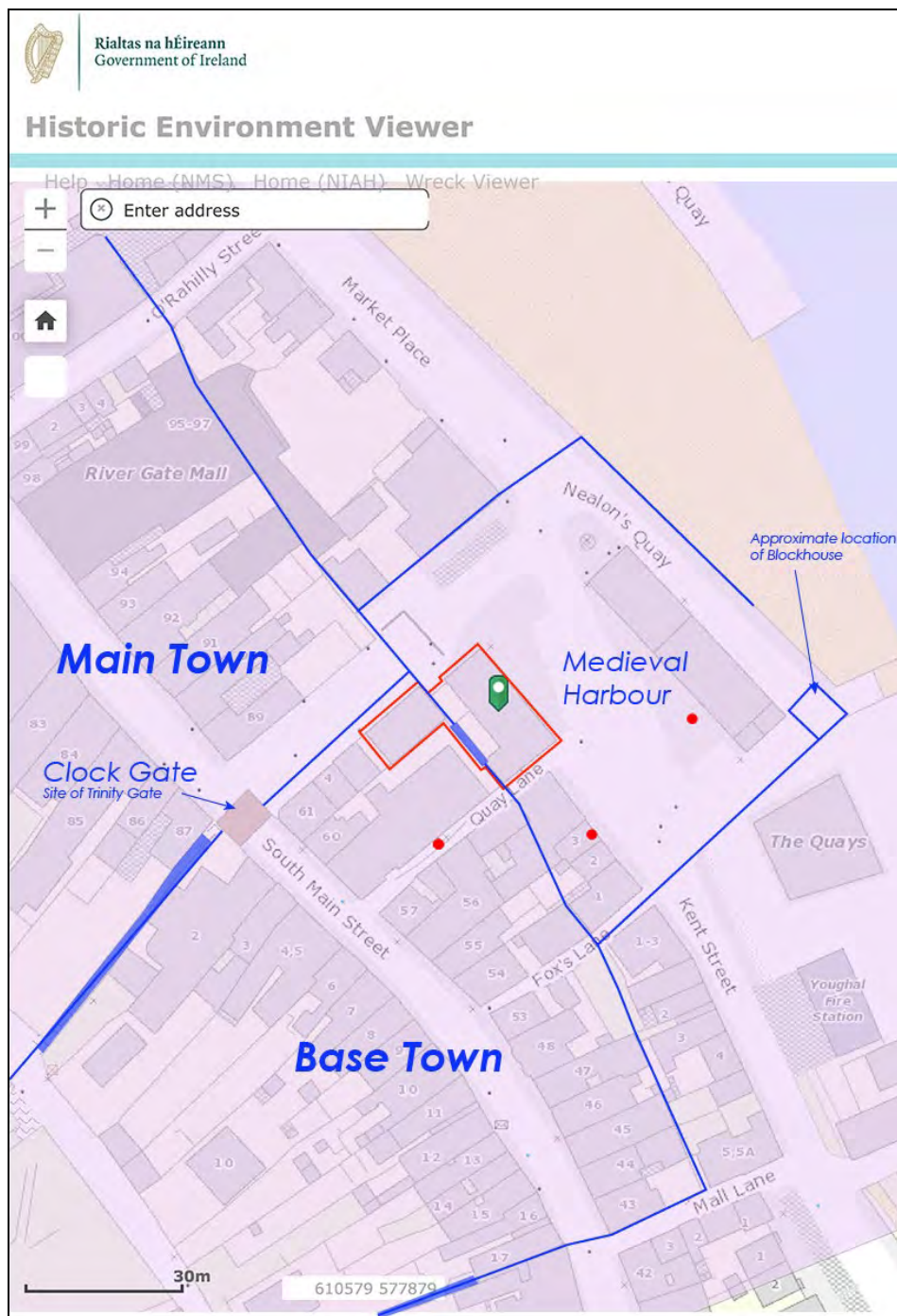


Figure 9: Annotated screengrab of the NMS *Historic Environment View*, showing the Courthouse location and monuments of interest in the vicinity. The blue lines represent the route of the Town Wall, and the thicker sections are upstanding fabric.

National Town Defences Policy

Town Walls are the predominant form of medieval Town Defences in Ireland, and as per National Policy are regarded as National Monuments. Any development works that have potential to interact with National Monuments require Ministerial Consent. The following is the National Policy on town defences:

All works that will impact on the fabric of town or city defences, or any ground disturbance in proximity to the defences in local authority or the Minister's ownership or guardianship, or that have been the subject of a preservation order, are subject to a requirement for Ministerial Consent from the Minister for the Environment, Heritage and Local Government.

It is advisable to consult with the National Monuments Service and the Architectural Heritage Advisory Unit of the Department of the Environment, Heritage and Local Government at an early stage when planning works. Many structures associated with town defences may also be protected structures and/or located within an architectural conservation area and planning permission may be required. The local authority archaeological and conservation officers should be consulted.

In considering applications for Ministerial Consent for works affecting town defences, it shall be the policy of the Department of the Environment, Heritage and Local Government:

- To seek the protection and preservation in-situ of these national monuments including the town walls, embankments and ditches, gates, bastions or ancillary fortifications or portions thereof;*
- To seek the preservation of important views and prospects inside and outside the walls so as to preserve the setting of the monuments and to increase the appreciation of the circuit and character of the walled town. The Department may require a satisfactory buffer area to be established between any new development and the town defences in order to ensure the preservation and enhancement of the amenity associated with the presence of town defences within the historic urban pattern;*
- To require any proposals for works to town defences to be preceded by a detailed measured survey of the monuments so as to have an appropriately detailed record;*
- To provide pre-planning advice to developers where town defences are close to or included in their proposal site;*
- To require the involvement of qualified and experienced conservation professionals in the detailed design and overseeing of works to town defences;*
- Not to favour new roads crossing the wall or the line of the wall or the formation of any new openings in the wall;*
- To favour the minimal intervention necessary to the authentic fabric of the monument and avoidance of unnecessary reconstruction;*
- To require good quality, context-sensitive design for development proposals affecting the upstanding town defences that would not detract from the character of the town defences or their setting by reason of the location, scale, bulk or detailing;*

- *To encourage the enhancement of the setting of town defences including the pedestrianisation of town gates where this can be achieved without requiring new roads to be opened through the circuit of the walls. To encourage also the improvement of signage and public utilities structures, etc. where these affect the visual amenity of the defences;*
- *To require as a condition of Ministerial Consent that appropriate programmes of regular maintenance and repair works to the town defences be put in place;*
- *To promote the retention of the existing street layout, historic building lines and traditional burgage plot widths within historic walled towns where these derive from medieval or earlier origins and to discourage the infilling or amalgamation of such plots and removal of historic boundary walls save in exceptional circumstances.*

Guidance on current State policy for archaeology can be found in the *Framework and Principles for the Protection of the Archaeological Heritage* (1999) document. The preservation in-situ of archaeological sites and monuments, including archaeological deposits, features and structures, is the preferred option; details of which can be found in Section 3.3-3.4 of the document.

The current policy on the interaction and treatment of town defences and town walls can be found in the *National Policy on Town Defences* (2008) document.

Ministerial Consent has already been secured for the Site Investigation (SI) works to inform the redevelopment works to the Courthouse, to support the design process. The SI was carried out under Ministerial Consent C001068, Registrations E005358, R000563 and W000441. Once the nature and extent of the works are finalised and the Part VIII Planning process completed, it will be necessary to apply for a modification of the existing Consent, through an application for a Variation to permit the redevelopment works close to, or within the vicinity of, the Town Wall and the Courthouse.

Local Authority Heritage Development Control Policies

The development plan prepared by the former Youghal Town Council (2008) - the *Youghal Development Plan 2009-2015* remains in effect until the forthcoming Cork County Development Plan 2022 becomes policy. Among the development control policies' regarding archaeological heritage in the Youghal plan are:

It shall be an objective to treat the full extent of the Town Council area as an area of unknown High Archaeological Potential and to require that applications for all medium to major scale developments be accompanied by an archaeological assessment. (Medium to major developments being defined as developments greater than a one off dwelling house.)

Where Proposals for development which are likely to have an adverse impact, injure or interfere with recorded monuments and their setting or impact on areas of potential archaeological interest (even as yet unidentified areas of archaeological potential), they will only be permitted where it can be clearly demonstrated that;

- A field evaluation of the archaeological implications has been conducted; and
- Proposals for the conservation and management of archaeological resources have been included; and
- There will be no destruction of recorded monuments.

It shall be an objective of the Planning Authority to apply the following principles to the archaeological heritage within the town boundary area:

- To protect and enhance archaeological remains and their settings.
- To facilitate appropriate guidance in relation to the protection of the archaeological heritage of the area.
- To provide guidance to developers and property owners regarding the archaeological implications of a proposed development.
- To promote pre-planning consultations in relation to the archaeological heritage of the area.
- To endeavour to promote the dissemination of the results of archaeological investigation in a timely and appropriate manner.
- To promote public awareness of the rich archaeological heritage in the area.

The Planning Authority will have regard to the advice and recommendations of the Department of Environment, Heritage and Local Government [now the Department of Housing, Local Government & Heritage] in assessing applications for development that may affect archaeological sites.

Developers and owners considering the development of structures in the vicinity of archaeological remains should consult with the Town Architect concerning any adaptation or works they may wish to carry out.

Cork County Council's current development control policies' regarding archaeological heritage are contained in the *Cork County Development Plan 2014*. The policies regarding archaeology relevant to the Youghal Courthouse Redevelopment project are:

HE 3-1: Protection of Archaeological Sites

a) Safeguard sites and settings, features and objects of archaeological interest generally.

b) Secure the preservation (i.e. preservation in situ or in exceptional cases preservation by record) of all archaeological monuments including the Sites and Monuments Record (SMR) (see www.archeology.ie) and the Record of Monuments and Places as established under Section 12 of the National Monuments (Amendment) Act, 1994, as amended and of sites, features and objects of archaeological and historical interest generally.

In securing such preservation, the planning authority will have regard to the advice and recommendations of the Department of Arts, Heritage and Gaeltacht as outlined in the Frameworks and Principles for the Protection of the Archaeological Heritage.

HE 3-3: Zones of Archaeological Potential

Protect the Zones of Archaeological Potential (ZAPs) located within historic towns and other urban areas and around archaeological monuments generally. Any

development within the ZAPs will need to take cognisance of the potential for subsurface archaeology and if archaeology is demonstrated to be present appropriate mitigation (such as preservation in situ/buffer zones) will be required.

HE 3-4 Industrial and Post Medieval Archaeology

Protect and preserve the archaeological value of industrial and post medieval archaeology such as mills, limekilns, bridges, piers, harbours, penal chapels and dwellings. Proposals for refurbishment, works to or redevelopment/conversion of these sites should be subject to careful assessment.

5. Archaeological Background to the Site

The following is a background to the archaeological potential to the Youghal Courthouse site and its general location.

This mid-19th Century Courthouse sits on the site of a late-17th Century Market House & Exchange building – CO067-067---, and the rear boundary wall of the complex (forming the rear yard) is one of the few upstanding runs of fabric of the seaward Town Wall - CO067-029002 (see **Figure 9**). The adjoining Soup Kitchen building may, from illustrative evidence (see **Figure 11**), may be contemporary with the Market House & Exchange building; and holds historical and cultural significance for the town as it was the site of a Quaker ‘soup-kitchen’ from 1847-52, during the peak of the Great Famine.

Youghal Town

Youghal is a 13th Century medieval walled port town (RMP - CO067-029001-) located at the mouth of the river Blackwater. The town’s morphology exhibits many vestiges of an Anglo-Norman town, both secular and ecclesiastical, and includes a regularly planned streetscape, narrow property layouts and a large parish church; all located within the defensively walled area. Outside the town wall two friaries of mendicant friars were established to the north (Dominican) and south (Franciscan).

From the 13th Century Youghal grew as the main port and trading borough of the Anglo-Norman Manor of Inchiquin; under the patronage of Maurice Fitzgerald, forerunner of the influential Geraldine Earls of Desmond. The earliest surviving murage grant for the town was from Edward I in 1275, for seven years for the citizens ‘to enclose their vill of Youghal and repair its walls’. The town was an early commercial success, and largely remained under Geraldine control into the later medieval period, although it was sacked by the 15th Earl, Gerald Fitzgerald, during the Desmond Rebellion in 1579.

The lands of the Earls of Desmond became forfeit to the Crown, and Youghal was part of the plantation settlement granted to Walter Raleigh as part of the Munster Plantation in 1583. Raleigh’s fortunes declined during the close of the 16th Century, and in 1602 he sold his interests in Ireland to Richard Boyle (later the 1st Earl of Cork); the town was by that time one

of the busiest seaports on the southeast coast. Its geographical location made it ideal for trade both to the Old and New Worlds.

The medieval town consists of two main plan elements, the Main Town, and the Base Town (see **Figure 10** for William Jones' map of Youghal for 1602). The Maintown is the larger and earliest walled area of the town, centred on the North Main Street, and incorporates a large walled area to the west, which encompassed The College of Youghal and the medieval parish church of St. Mary's. This part of the town was walled from at least the mid-13th Century on the landward side; with the east shore of the town open to the river estuary.



Figure 10: Extract from William Jones' map of Youghal, circa 1602. The Base Town is to the southeast of the Main Town; with the defended medieval harbour attached to it.

The opening in the seaward Town Wall is the Quay Gate (circled in white); to the immediate right of which the Market House and Exchange were built between 1602 and 1681.

The seaward run of the Town Wall is later and probably contemporary with the mid-15th Century southern expansion of the walled area that formed the Basetown, centred on South Main Street. It is here that the Market House and Exchange were sited, in a position on the quayside of the defended medieval harbour.

Rapid development of the town beyond the defences began in the 18th Century, with the development of the Georgian waterfront; and largely remains intact today. Prior to this, areas of slob and riverbank outside the seaward run of the Town Wall, initially to either side of the defended medieval harbour, were reclaimed in the late-17th Century. This was contemporary with the building of the Market House and Exchange around in the mid to late 17th Century.

Pressure for larger and deeper quayside berths due to increased trade fuelled further expansion. Between 1750 and 1820 Youghal experienced massive growth in the corn trade. That trade required stores and warehouses, which were built on the newly extended quays along the northward run of the riverside, north from the medieval quay. The medieval

harbour was in-filled from 1750 onwards, and remains beneath the present-day Market Square.

Throughout the late 18th and into the 19th Centuries the seaward run of the Town Wall was slowly eroded or simply incorporated into new buildings and property boundaries that straddled its old line. The seaward run had lessened in importance, as it was seen as more of a restriction than a valuable defence. The upstanding run to the rear of the Courthouse is a significant survival.



Figure 11: View of the Harbour of Youghal, showing the Exchange and the quayside in 1681. From the diary of the 17th Century traveller Thomas Dineley. Note the gable fronted buildings to the right of the Exchange, which are of similar form to the Soup-Kitchen structure?



Figure 12: Extract from Map 2 of the Irish Historic Towns Atlas No. 27 Youghal (2014), showing the ruined extent of the Market House and the Exchange in 1841.

Site of the Market House & Exchange

The present Courthouse was built in 1848, as a replacement of a late 17th Century municipal building, the Market House. This civic building housed the functions of a market house,

exchange, courthouse, council meeting house, administrative centre, etc.; on a site that was immediately outside the seaward Town Wall, on the quayside of the defended harbour. The short run of the seaward Town Wall that survives as the boundary wall to the rear of the Courthouse appears to have been fossilised in the Market House. The present-day Courthouse is on a larger footprint than the previous building, and apparently straddles both the footprint of the former Market House and the line of the medieval quayside.

The illustrative sources show the Market House was a rectangular structure, with its roughly north to south long axis facing onto the medieval defended harbour. It was a two-storey dormered building with an open market space with four arches on the ground floor, windows at second floor level, and a clock and cupola on the roof (see **Figure 11** for Dineley's illustration). Some of the historic sources show variation in the number of arches from 4-5, and upper floor windows of 3-4; however, the building is very much in the architectural style of its contemporaries that were built in Irish towns throughout the 17th and 18th centuries.

It is notable that the 1841 map of Youghal in the *Historic Town's Atlas* (Kelly & O'Keeffe 2014, Map 2), based on the 1841 manuscript map that was a precursor to the First Edition of the Ordnance Survey, shows the Market House as a ruin, but consisting of two adjoining buildings (**Figure 12**). This would tally with a 1784 description by Thomas Lord of two adjoining buildings, the Market House and the Custom's House; both of which are described as 'shabby' (Lord 1784, 36). On the 1817 survey of the town by A.R Neville for the Devonshire Estate, the building is labelled "Old Customs House in Ruins" (**Figure 13**). Another documentary source from the Devonshire Estate that is broadly contemporary with Neville's map is a survey of holdings on the quayside, which depicts the Market House as a ruin (**Figure 14**). It is also notable from that source that the Quay Gate on Quay Lane has an upper storey, suggesting that the gate had largely disappeared from view, but the passageway of the gate remained fossilised in the streetscape.

The Market House was removed, and the present Courthouse built on the site in 1848. The building was completed for a cost of £740, paid to local Youghal builder and artisan architect/engineer Edward Fitzgerald. The actual architect for the structure is not known, it has varyingly been attributed to William Caldbeck by the National Inventory of Architectural Heritage (Reference 20823127), and to Alexander Tate by the Irish Architectural Archive given its similarity to Tate's Balbriggan Courthouse.



Figure 13: Extract from A. R. Neville's map of the Duke of Devonshire's estate in Youghal in 1817. Note the Custom House described as being in ruins.

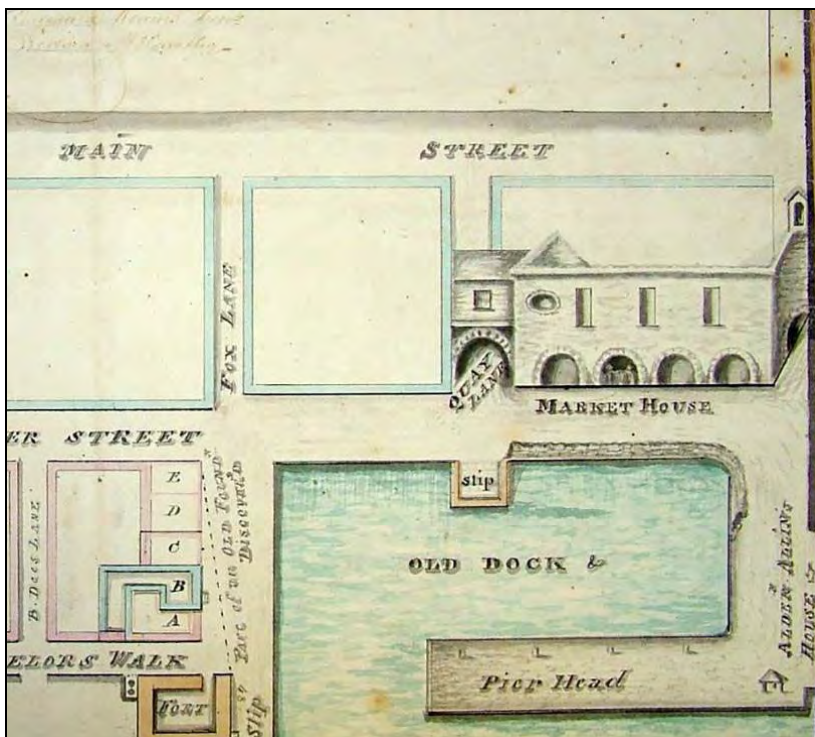


Figure 14: Extract from National Library of Ireland manuscript AD 3594, from the Lismore Estate Papers of the Duke of Devonshire. The survey depicts the Market House around 1820-30.

Currently no descriptions of the Youghal Courthouse or the proceeding Market House are uploaded on the National Monuments Service online *Historic Monuments Viewer* (<https://maps.archaeology.ie/historicenvironment/> - accessed 19/09/2021). The NIAH (<https://www.buildingsofireland.ie/buildings-search/building/20823127/youghal-courthouse-market-square-youghal-lands-youghal-cork> - accessed 19/09/2021) describes the Youghal Courthouse, reference 20823127, with a Regional rating, as follows:

Detached three-bay two-storey courthouse, built c. 1845, with slightly advanced end bays. Hipped slate roof with dressed and carved sandstone chimneystacks and timber bracketed eaves course with dressed limestone eaves course below. Cut

sandstone walls with dressed limestone quoins. Round-headed openings to first floor, those to the central bay and side elevations triple arcaded, with carved limestone surrounds, block-and-start to side elevation, and sills and multiple paned round-headed timber sliding sash windows. Triple square-headed openings to ground floor of side elevations with dressed limestone block-and-start surrounds, cut limestone sills and timber windows. Gable-fronted outbuilding to south-west.

This structure is a variation on the standard courthouse design attributed to William Caldbeck. It retains much of its original form and structure, including timber sash windows with hand blown glass, but was refurbished internally c. 1965 and 1985. It retains internal features such as the original light surrounds and plaster ceiling with moulded cornice to the double height courtroom, bar room fittings and cast-iron fireplaces. The structure is notable within the town for its large detached form and exposed stonework, which adds variety of materials and texture and links it to nearby clock tower, tourist information office and Watergate. There is evidence of fine crafting in the windows and their surround and the limestone dressings add variety to the façade and add rhythm and symmetrically, delineating bays. The building adds to its prominent site on Market Square and opposite the dock.

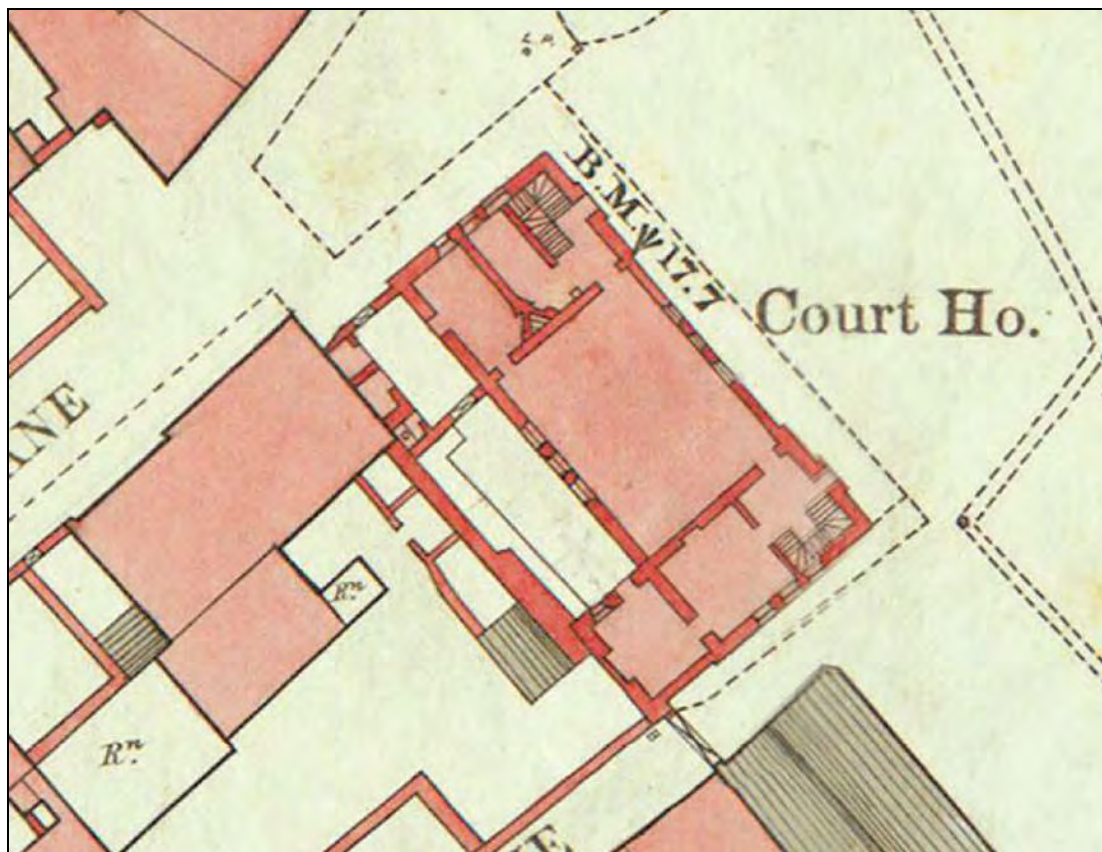


Figure 15: Ordnance Survey 1:500 Town Plan, showing the 1858 layout of the Courthouse, before the relocation of stairs and creation of new entrances and windows in later times.

6. Site Inspection



Photograph 2: View of the Courthouse & Soup-Kitchen, looking southwest from Market Square. Barry's Lane and the Clock Gate tower (1777 AD) to the right. Area of the in-filled medieval harbour is in the foreground; and the route of the Town Wall shown by the line of bollards at the foot of Barry's Lane.

Present-Day Courthouse & Soup Kitchen

The Courthouse is a free-standing building located close to the modern waterfront, in the heart of the medieval core of Youghal. It stands on the west side of the Market Square, the site of the defended medieval harbour, which was in-filled from 1750 onwards. The narrow Quay Lane, with its iconic 19th Century reconstruction of the Quay Gate (locally known as 'Cromwell's Arch'), is to the south; and historically controlled access to the medieval harbour. To the north is the wider expanse of Barry's Lane, a 19th Century enlargement of an earlier and much narrower passageway that ran from the South Main Street to the seaward Town Wall.

The 'Soup Kitchen' is a partially detached, double-height structure located immediately to the northwest of the Courthouse, and faces on two sides onto Barry's Lane. The building is gabled to the east, with a longer elevation to the north onto Barry's Lane. Until recently it was used as a boat store. Variation in the fabric of the building indicates that it has been altered over time; and may potentially be a combination of two buildings. This building was operated by the local Quaker community as a soup-kitchen from 1847-52, during the peak of the Great Famine. The gable to the east is very reminiscent of the gable-fronted buildings in this locality shown in Thomas Dineley's 1681 view of the harbour (see **Figure 11** above); potentially suggesting an early date for this structure?



Photograph 3: View of the Courthouse, looking northwest from Market Square. The 19th Century reconstruction of the Quay Gate at the foot of Quay Lane is to the left.



Photograph 4: Aspect elevation of the Courthouse, looking west from Market Square.



Photograph 5: Southeast corner of the Courthouse, and Quay Lane.



Photograph 6: West facing elevation of Town Wall to rear of Courthouse.



Photograph 7: North elevation of the Courthouse, and the Soup-Kitchen adjoining it.



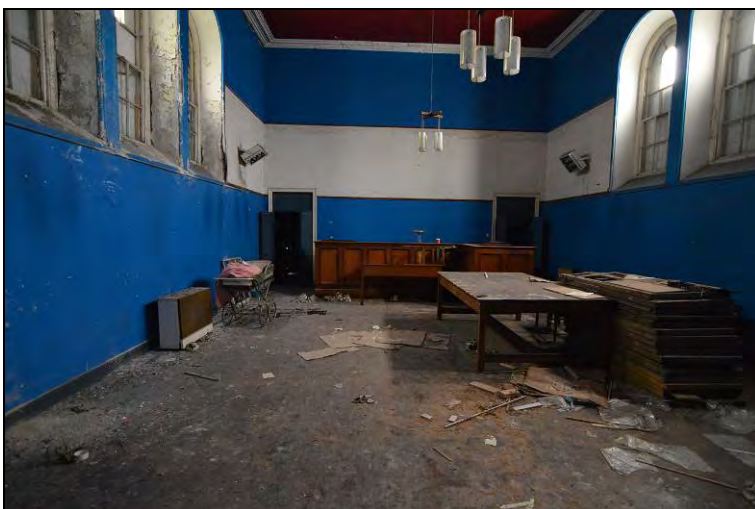
Photograph 8: North elevation of the Soup-Kitchen.



Photograph 9: Gabled east elevation of the Soup-Kitchen.



Photograph 10: Overgrown rear yard to Courthouse, looking towards upstanding Town Wall.



Photograph 11: Main Courthouse chamber, looking north.



Photograph 12: Stairs to the Court Clerk's Office.



Photograph 13: View looking southwest into the east half of the Soup Kitchen. Note the timber partition, a combination of recycled window shutters, panels and boards.



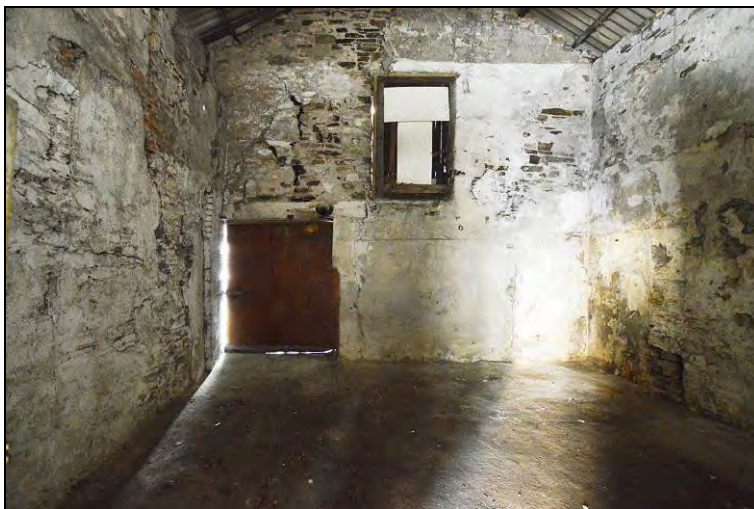
Photograph 14: South elevation of the eastern space.



Photograph 15: Timber partition, viewed from the eastern space.



Photograph 16: Interior north elevation of the eastern space.



Photograph 17: Interior east elevation of the eastern space.



Photograph 18: View of the western space, looking southeast.



Photograph 19: Interior elevation of the east gable, from the western space.



Photograph 20: View of the western space, looking northeast.

Preliminary Analysis of the Standing Buildings

A preliminary analysis of the Courthouse suggests that it is largely one phase of construction, with later interventions and repairs. The most notable intervention was the relocation of the staircase at the southern end of the building, from the lobby inside the entrance from the southeast, to the opposite corner in the bay to the west (see the original location depicted on the historic 1878 Town Plan - **Figure 15** above). The change may have been as a result of a rearrangement to the Court Clerk's offices, which were upstairs, moving it away from the primarily public entrance from the back of the court chamber from the southeast door. This change led to the insertion of the door on Quay Lane, and the window above to light to relocated stairwell. Both of these interventions are framed in concrete, as opposed to the cut limestone surrounds of the original build.

The Soup Kitchen presents a more difficult interpretation analysis. The historic illustrative sources, based on its form and location behind and to the side of the Courthouse, suggesting that it could be early and potentially date from the 17th Century (see **Figure 11** above). The interior is presently divided by a timber screen, which roughly corresponds with changes in wall thickness that suggest the Soup Kitchen structure may be a composite of two buildings (see **Drawings 03-11**). Some features can be seen in the interior and exterior elevations; however, the successive layers of limewash to the walls obscure many details that may shed better light on this interpretation.

7. Known Subsurface Archaeological Profile

A good profile of the subsurface archaeological potential of the Courthouse, the Soup Kitchen and its immediate vicinity can be developed from the results of two programmes of site investigations, in 2002 and 2021, and from the results of archaeological attendance to the public realm improvement works carried out on Barry's Lane in 2018.

2002 Site Investigations

In the early 2000's the Office of Public Works moved towards developing a refurbishment scheme (unexecuted) for the Courthouse. The scheme proposed an internal rearrangement of the court chambers, and a new connection to the then court offices on Quay Lane to the southwest. The new connection proposed to open a new passage in the rebuilt section of the Town Wall, rearrange the small rear yard, and a glazed connection between the two storeys return building on the southwest of the Courthouse to the court offices on Quay Lane.

As part of those works, a programme of site investigation (SI) was carried out in 2002, with archaeological monitoring attendance under licence 01E1186 (Molloy 2002); and subsequently to inform a preliminary Archaeological Impact Assessment (AIA) of that potentially more impactful scheme (Gowen 2008).

The 2002 SI, consisting of test pits and bore holes, did uncover some information as to the subsidence issues of the structure, and was used to then develop an evolving solution of mini-piles and connecting shallow ground beams as part of the ground consolidation and construction works for the early 2000's refurbishment. From an archaeological perspective, the test pits to the rear of the courthouse building (see **Drawing 12** for location information) confirm that it is built on the site of the former Market House and Exchange, with subsurface masonry associated with the earlier buildings surviving at depths starting at 0.5m below the present ground level.

The online excavation summary for the monitoring under 01E1186 is as follows (www.excavations.ie – accessed 19/09/2021):

The courthouse in Youghal is at the junction of Quay Lane and Market Lane, to the north-east of the medieval town wall. It lies on the site of the former market. The market house went out of use and was demolished to make way for the construction of the courthouse in the late 1840s.

It is intended to redevelop the courthouse and extend it to its rear. Geotech Ltd excavated five engineering testpits around the perimeter of the courthouse to inspect the foundations. These were monitored as part of the archaeological assessment.

Nothing of archaeological significance was noted in Test-pits 1, 2 and 3, which were positioned along the northwestern and north-eastern façades of the courthouse. Test-pit 4 was to the rear of the courthouse, within the courthouse yard. It was 1.8m long and 0.95m wide. A masonry wall running parallel to the courthouse wall was

visible in this trench at 0.5m below present ground level. This may be the foundation wall of the market [house]. Test-pit 5 was also to the rear of the courthouse. It was 1.8m long and 0.95m wide. A cobbled surface was exposed at 0.95m below present ground level. This may also be associated with the former market house.

The archaeological levels lay at 0.5–0.95m below present ground level. It was recommended that the foundations of the proposed development avoid the archaeological deposits and that monitoring take place during development. This was recommended also because of the proximity of the development to the city wall.

The 2008 AIA (Gowen 2008) recommended targeted archaeological investigation in the rear yard, as the then proposed scheme had more substantial potential impact, through the two-storey connection and other works in the rear yard.

2021 Site Investigations

As part of the engineer design works a total of five trial pits, Pits A to E, were excavated under archaeological supervision within the footprint of the Courthouse and Soup Kitchen (see **Drawing 12**). Pits A to C were located at the southern end of the Courthouse, to the south of the main court chamber wall; Pits D and E were located in the rear yard; and Pit F was positioned in the southwest corner of the Soup Kitchen. The pits were utilised to expand on the subsurface knowledge of the site, to supplement the profile generated by the 2002 SI works.



Photograph 21: Test Pit A, looking northeast.

Pit A

Pit A was located the lobby of the westernmost of the two main bays at the southern end of the Courthouse; in a corner formed by the main southern wall of the court chamber and the north to south running structural dividing wall between the two southern bays. Similar to Pits B and C, it was positioned to assess the subsurface nature of the subsidence at this end of the Courthouse.

Pit A measured 0.85m east to west by 1.5m north to south, and was excavated by hand to a depth of 0.73m below the level of the existing timber floor surface (**Photograph 21; Drawing 12**). Similar to Pits B and C, once the timber floor was removed, a thin layer of damp-proofing, compacted lime was uncovered and excavated. Beneath the sealing layer, a sandy-silty rubble layer was encountered, and removed to a depth of 0.73m below the timber floor surface, where a well-preserved cobble surface was uncovered. The rounded cobbles were well-laid, of medium size – in the range of 8-14cm, and set in a mortar and clay matrix. Excavation ceased at this level.



Photograph 22: Test Pit B, looking northwest.

Pit B

Pit B was located the small lobby to the west of the entrance lobby of the southern door of the Courthouse. Similar to Pits A and C, it was positioned to assess the subsurface nature of the subsidence at this end of the Courthouse. Pit B was located on the east side of the north to south running structural dividing wall between the two main bays at the southern end of the Courthouse.

Pit B measured 1.12m east to west by 1.3m north to south, and was excavated by hand to a depth of 0.76m below the level of the existing timber floor surface (**Photograph 22; Drawing 12**). Similar to Pit A, once the timber floor was removed, the thin layer of damp-proofing compacted lime was uncovered and excavated. Beneath the sealing layer the sandy-silty rubble layer uncovered in Pit A was encountered, and removed to a depth of 0.76m below the timber floor surface, where the cobbles were again encountered. The cobbles had a slightly perceptible fall from west to east. Excavation ceased at this level.

Pit C

Pit C was located in the small entrance lobby from the southern door of the Courthouse. Similar to Pits A and B, it was positioned to assess the subsurface nature of the subsidence at this end of the Courthouse. Pit C was smaller, measuring 1m east to west by 0.6m north to

south, and was excavated by hand to a depth of 1.2m below the level of the existing timber floor (**Photograph 23; Drawing 12**).

Once the floor boards and joists were removed, the thin layer of damp-proofing compacted lime was uncovered and excavated. Beneath the sealing layer the sandy-silty rubble layer uncovered in Pits A and B was again encountered, and followed to a depth of 1m below the present floor level; it was not bottomed. The cobble layer found in Pits A and B was not encountered.



Photograph 23: Test Pit C, looking west.

Pit D

Pit D was located in the rear yard, against the rebuilt section of the Town Wall; to assess the nature of the yard make-up sediments here and depth to the top of the Town Wall foundation (**Photograph 24; Drawing 12**). The pit measured 1m north to south by 1m east to west, and was excavated with mechanical assistance, and finished by hand, to a depth of 1.3m below the present surface in this part of the rear yard. No concrete surface was encountered, and the pit appears to have been located in a raised flower/planted bed that was positioned against the Town Wall; although this was difficult to determine given the very overgrown state of the yard. The 1878 Town Plan (see **Figure 15** above) gives details of the rear yard, with a line show running parallel to the Town Wall that may have been the kerb to this bed.

A consistent mixed silty clay and rubble layer, similar to those encountered in the 2002 SI trial pits 4 and 5, was encountered and removed to the full depth of Pit D to 1.3m. No artefacts to date this layer were recovered.

The top of the original Town Wall was uncovered at 0.91m below the top of the datum for the location of Pit D in the raised bed; and found to project 0.4m eastward from beneath the rebuilt section. In realm terms the top of the Town Wall beneath the rebuilt section is probably at 0.5 to 0.6m below the present yard level. This level for the subsurface surviving depth of the seaward run of the Town Wall is consistent with that encountered on Barry's Lane in 2018 (Noonan et al., forthcoming).

The bottom of the rebuilt section has a small footing, projecting 0.08m, and varying in depth to between 0.15 and 0.28m beneath the datum level, as it follows the level of the Town Wall beneath.

Excavation ceased at this level, as no substantial depth of construction is envisaged for the rear yard, so as to avoid impacting on the Town Wall foundation.



Photograph 24: Test Pit D, looking west. Note the ranging rods are sitting on the Town Wall.



Photograph 25: Test Pit E, looking northwest. Note the ranging rods are sitting on the Town Wall.

Pit E

Pit E was located in the rear yard, against the eastern gable wall of the Soup Kitchen; to assess the nature and depth of the foundation (**Photograph 25; Drawing 12**). The pit measured 1.2m north to south by 1.2m east to west, and was excavated with mechanical assistance, and finished by hand, to a depth of 0.45m below the present concrete surface in this part of the rear yard. The concrete was removed, to reveal mixed rubble-rich silty clay; which sat on the 19th Century cobbled yard surface of the Courthouse, uncovered at 0.45m.

The 1878 Town Plan (see **Figure 15** above) gives details of the rear yard, with two small square structures shown against the Soup Kitchen gable, which may be outside lavatories or small, single cells. The cobbled surface that was uncovered, given its relatively shallow

depth, is probably part of these structures. It is also probably contemporary with the upper cobble surface uncovered at similar levels in Test Pit 4 of the 2002 SI (Molloy 2002, 9).

A footing to the gable wall, projecting for 0.25m, was uncovered 0.7m down. Excavation ceased at this level; leaving the cobbles intact.



Photograph 26: Test Pit F, looking west.

Pit F

Pit F was located in the southwest corner of the Soup Kitchen (**Photograph 26; Drawing 12**); and positioned to determine the nature of the wall foundation. A pit measuring 0.9m by 0.9m was excavated with mechanical assistance, and finished by hand, to a depth of 1m below the present floor surface. A thin layer, 0.04m, of concrete was removed first. Beneath the concrete surface was a layer of small mixed rubble and silty clay, removed for 0.4m. Beneath this was a mid-brown, rubble-rich silty clay layer, which went to the final trial pit depth of 1m. No artefacts to aid in the dating or interpretation of these layers were recovered; the layers must be regarded as being archaeological in nature. It was found that the wall of the Soup Kitchen in this location does not have a substantial foundation, finishing at 0.35m below the present floor level.

Barry's Lane Public Realm Works 2018

In 2018 a public realm improvement scheme was conducted on Barry's Lane, with archaeological monitoring attendance provided (Noonan, et al., forthcoming). The new pavement works involved excavations to new formation levels averaging 0.5m below the existing ground level, and to deeper depths in places where services were added or redirected.

During the course of the works the subsurface of the seaward run of the Town Wall was uncovered, on a line that can be projected northward from the upstanding wall fabric in the rear yard of the Courthouse (see **Photograph 27**). The line of the wall suggests that the eastern gable of the Soup Kitchen is built on the line of the Town Wall, possibly using its lower course as its foundation to the gable.



Photograph 27: Town Wall on Barry's Lane, 2018.

Other historic features were also encountered in front of the east gable and the vehicle entrance to the rear yard; including a stone-built culvert that appears to have serviced the yard (see **Photograph 28**). The gateway and wall of the vehicle entrance to the yard are modern, and built on the foundation of an earlier wall on the same alignment. It is more likely that this wall is contemporary with an earlier gate that formed part of the mid-19th Century Courthouse build (as can be seen in **Figure 15** above). The view in the photograph also shows that there is no apparent foundation to the gable where it spans the vehicle entrance into the Soup Kitchen.



Photograph 28: Vehicle entrances to the Courthouse and the Soup Kitchen, 2018.

Laying of pavement along the long elevation onto Barry's Lane was kept shallow, at approximately 0.2-0.25m below the finished level, due to the presence of east to west running water and electrical services (**Photographs 29-30**). At this depth, no information as to the foundation depth of the Soup Kitchen wall was apparent. However, the presence of the services will have construction implications for the proposed projecting porch/portal for the entrance to the South Kitchen from Barry's Lane.



Photograph 29: Services along the side of the Soup Kitchen, on Barry's Labe, 2018.



Photograph 30: Services along the side of the Soup Kitchen, on Barry's Labe, 2018.

Synopsis of Known Archaeology

The 2002 SI uncovered masonry at 0.5m below the present rear yard level that is contemporary with the 17th Century Market House and Exchange that stood on the site; in particular along the rear (west) elevation off the Courthouse.

It is notable that cobbled surfaces were uncovered at a low level, averaging 0.8m below the present ground level, during both SI programmes, and at the southern end of the site. In 2002 the cobbles were uncovered in the rear yard; while in 2021 they were found in two test pits inside the Courthouse. While it cannot be better ascertained without further exposure, the cobbles uncovered during the 2021 SI programme may be part of a cobbled quayside surface, which may even pre-date the Market House and Exchange. Brief analysis of the development, and eventual infilling, of the medieval harbour throughout the 17th to 19th centuries suggests that the quayside along the west side of the medieval harbour developed in slow reclamation fashion, whereby the quayside was extended outwards into the defended medieval harbour over several phases; before the Market House and Exchange were built (Kelly & O'Keefe 2014). The cobbles from the 2002 SI works may be part of the earliest expansion of the quayside; and those beneath the Courthouse slightly later.

The 2021 SI confirms that the Town Wall foundation remains in situ beneath the rear yard, at depth of 0.6m.

The fills encountered during testing of the interior floors of the Courthouse appear to be modern in origin, and contemporary with the Courthouse construction. However, it cannot be stated that they are consistent across the footprint, and there is the potential during construction to uncover archaeological deposits, features or masonry that are contemporary with the Market House and Exchange.

8. Impact Assessment & Mitigation Recommendations¹

Courthouse Works

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
Underpinning to Front Elevation.	<p>To address the subsidence issue, it is proposed to underpin the full run of the front, east facing, aspect elevation of the Courthouse; using 32mm diameter, hollow core piles with pressure grout, beneath the existing foundation. The piling will start at approximately 1.2m below the present ground level along the elevation; with hand excavation to expose the foundation, both inside and out. The wall fabric of the elevation beneath the ground will also be pointed to consolidate it, and a concrete tie beam run along the bottom of the foundation.</p> <p>These works will impact on ground that previously been significantly disturbed by the 19th Century construction of the Courthouse, and on ground that appears from the SI works to be part of the infill of the medieval harbour; and does not have fabric of masonry that can be directly attributed to the 17th Century Market House. However, the potential for early masonry or other archaeological features cannot be absolutely ruled out. It is possible that previously unrecorded masonry or features associated with the Quay Gate or the defended medieval harbour and quayside may be present, particularly on the southern side.</p>	<p>The excavation works to expose the wall foundation, and the piling operation, should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>
Floor Replacement & DPC to Walls	<p>For various reasons, including the existing condition of the floors, dampness, lack of ventilation, and the need to upgrade the thermal performance of the building, it is proposed to replace the existing suspended timber floors and concrete floors from previous repair interventions, with a new reinforced concrete ground bearing slab, with modern radon barrier and insulation.</p> <p>The new floor will have an overall depth of 0.475m, including hardcore compacted fill, insulation and concrete slab.</p> <p>The floor to the court room chamber appears to be a modern replacement of the original; while other areas of the original timber flooring have been replaced with concrete in more recent times. The recent and historic SI test trenches opened internally at the southern end of the Courthouses, and externally around the perimeter suggests that the construction of the Courthouse may have removed subsurface fabric related to the Market House and the earlier quayside. The intact archaeological that was encountered, cobble surfaces potentially predating or contemporary with the Market House between 0.5 and 0.6m below the present ground floor level.</p> <p>However, the potential for early masonry or other archaeological features cannot be absolutely ruled out. It is possible that previously unrecorded masonry or features associated with the Quay Gate or the defended medieval harbour and quayside, in addition to the Market House, may be present across the footprint of the Courthouse.</p> <p>A new DPC is proposed for the walls, to be installed at a level immediately below the new floor formation.</p>	<p>Given that the SI suggests that archaeology on the site of the Courthouse is at 0.5-0.6m below the present ground level, it is recommended that all efforts be made to keep all excavation work/new construction works, including the DPC, at the maximum projected 0.475m, ideally shallower, in the order of 0.35-0.4m, if this is possible from an engineering standpoint. By working to these levels, the risk of encountering archaeological material or levels is better mitigated.</p> <p>It is recommended that all ground works be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>

¹ Note on Stage 2A Recommendations

All Stage 2A mitigation measures are recommendations for discussion, before a final design is decided upon. The ultimate decision on implementation, amendments, etc. rests ultimately with the Planning Authority – Cork County Council, with the views and requirements of the National Monuments Service of the Department of Housing, Local Government and Heritage.

Lift	It is proposed to install a new pit-less lift and lift shaft at the northern end of the Courthouse building; to permit universal access. This work will not require substantial ground works, as it is to be pit-less.	The lift works should proceed as part of the general works package for the redevelopment, and recorded in the general archaeological attendance to the project. Should it become necessary to excavate for the lift, this should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.
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Soup Kitchen Works

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
Underpinning to Walls	To address the engineering stability concerns for the Soup Kitchen, given its lack of a substantial foundation, it is proposed underpin the perimeter wall of the structure. While this is a feasible approach, given that it will expose beneath the wall and potentially require excavation to depth substantially in excess of the floor reduction works, the potential/risk for in situ archaeological material to be encountered, including medieval material pre-dating the possible 17 th Century Soup Kitchen, must be regarded as high; and the resolution of such could be costly. It must be borne in mind that the Soup Kitchen is within the medieval town proper, inside the Town Wall, and not external to it as it the case with the Courthouse.	<p>The excavation works to expose the wall foundation and underpin it, should this option be conducted, should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p> <p>It is recommended that the solution be reviewed, to establish if a different engineering approach can be designed, that will eliminate the need for underpinning.</p>
Floor Replacement	<p>For various reasons, including the existing condition of the floors, dampness, lack of ventilation, and the need to upgrade the thermal performance of the building, it is proposed to replace the existing floor - consisting of a thin covering of concrete over rubble fills of undetermined date, with a new reinforced concrete ground bearing slab, with modern radon barrier and insulation.</p> <p>The new floor will have an overall depth in the order of 0.5m, including hardcore compacted fill, insulation and concrete slab.</p> <p>The existing floor to the Soup Kitchen is typical of the older, utilitarian building stock of an old town, with a modern, often thin application of the sealing floor layer, here the concrete, above a compacted rubble-fill layers. From the test pit in the southwest corner conducted during the SI it was determined that at least two macro layers of rubble fills are present to a depth of 1m.</p> <p>Within these levels it should be possible to excavate the new floor formation. However, it is possible that subsurface masonry, in particular any features associated with the possible earlier structures and dividing walls that may constitute the present-day Soup Kitchen, would be encountered as the floor level was being reduced.</p>	<p>It is recommended that the floor reduction works in the Soup Kitchen be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>
Widening of Entrance from Barry's Lane	It is proposed to widen the existing entrance from Barry's Lane, by removing fabric from on the eastern side of the opening. These works will see the removal of wall fabric of potential early date, possibly pre-1700 AD in origin.	<p>The works to widen the entrance should be carried out under direct archaeological supervision, in association with the Conservation Architect, to see if a date for the origins of the structure can be determined from it, and record the fabric in advance of its potential removal. Firstly, the heavy layers of limewash should be removed to expose the fabric and allow for a more accurate evaluation of the walls.</p> <p>Should the wall fabric be determined to be of pre-1700 AD date, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to this. Preservation in situ/as is, is the preferred option, should it be determined that the structure is pre-1700 AD in origin.</p>

<p>Foundation for New Projecting Portico to Barry's Lane Entrance.</p>	<p>As part of the construction works for the new projecting portico-style structure to the existing vehicle entrance on Barry's Lane, it is proposed excavate a 0.3m deep foundation for a reinforced concrete slab. Archaeologically, based on the results of archaeological monitoring to the public realm works on Barry's Lane in 2018, this represents a small archaeological risk for encountering archaeological material at that level. However, significant existing electrical and water services are present within the proposed construction footprint.</p>	<p>These works should be attended to as part of the general archaeological attendance to the project.</p> <p>Should it become necessary to extend the foundation formation level to below 0.3m, the works should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p>
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Link Structure

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
<p>Link Structure</p>	<p>A new single storey, lightweight connecting structure between the Courthouse and the Soup Kitchen is proposed. The ground disturbance works for the metal clad structure are designed to minimise depth and potential for subsurface impacts; with a 250mm reinforced concrete slab to be installed, with steel columns to support roof. The SI and Barry's Lane public realm works uncovered both modern and potential 17th Century features of note in the area of the Link structure. However, there were found at depths beneath the proposed level the floor slab, and should remain intact.</p>	<p>The ground works to construct the Link structure should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>

Town Wall & Rear Yard

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
<p>Site Clearance in the Rear Yard</p>	<p>The extensive overgrowth of the rear yard will expose the elevation of the Town Wall, and allow for a detailed inspection of its condition. The west facing elevation of the other side looks to be in good repair, and by exposing the yard side any conservation issues, such as loss of bonding materials, need for pointing, etc., can be identified and mitigated.</p>	<p>The works to clear the yard should be archaeologically monitored, as part of the overall archaeological attendance to the redevelopment works.</p> <p>Should conservation issues with the Town Wall be identified, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to repairs, with the advice of the Conservation Architects & Engineers.</p>
<p>Hard & Soft Landscaping</p>	<p>It is proposed to hard and soft landscape the rear yard, to make it a useable space. Ground works associated with it have potential to expose the footings of the Town Wall, dependant on the depth of the construction formation level.</p> <p>The choice of landscaping materials and how they will visually interact with the predominately local red sandstone of the Town Wall is an important consideration; while the physical interaction of the landscaping with the wall is also worthy of thought.</p>	<p>The ground works in the rear yard should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p> <p>The input of the Conservation Engineer and Cork County Council's Conservation Officer should be sought with regard to the landscaping materials.</p> <p>The option of putting soft landscaping against the Town Wall, potentially in the form of the historic raised bed that once ran along the face of it, could be explored; as it may be visually more acceptable and will not mean physical interaction with the hard landscaping and any bedding/bonding materials associated with it.</p>

Mechanical & Electrical Works

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
Heat Pumps & Service in Rear Yard	<p>It is proposed to locate heat pumps close to the Town Wall, in front of the rebuilt section. This work will have a negative visual impact on the upstanding wall and a physical subsurface on the footing of the wall.</p> <p>It is proposed to route the mechanical and electrical ducting services trench through the rear yard. There should be enough coverage above the level of archaeology to avoid impacting on it, if the construction formation levels of the trench are kept to within 300mm of the finished surface. This may require casing the ducts in concrete; although there is no plan for any vehicular traffic over them.</p>	<p>The heat pumps should be relocated to the opposite side of the yard, alongside the Courthouse elevation.</p> <p>The ground works for the ducting in the rear yard should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>
Internal Underfloor Heating & Electrical Services	<p>It is proposed to incorporate the underfloor heating infrastructure, and electrical distribution ducting, within the make-up of the new floors. This will avoid specific impacts that other routes may take.</p>	<p>The works to install the electrical ducting and underfloor heating should be archaeologically monitored, as part of the overall archaeological attendance to the redevelopment works.</p>
External Electrical Services	<p>It is proposed to install new electrical services around the external perimeter of the Courthouse and Soup Kitchen. These works involve ground disturbance that has potential to encounter subsurface archaeological material.</p>	<p>The ground works for the electrical ducting should be carried out under fulltime archaeological monitoring conditions, to best archaeological standards and practise.</p> <p>Should archaeological material be encountered, Cork County Council should be prepared to address any requirements of the National Monuments Service with regards to the resolution of the findings. Preservation in situ is the preferred option, and this may require alterations of the works to achieve this. Otherwise, archaeological excavation of any findings may be required.</p>
Electrical Panels in Soup Kitchen	<p>It is proposed to mount an electrical switchboard and meter, and a mechanical control panel, on the west wall of the Soup Kitchen. This would be a direct impact on wall fabric that may be of 17th Century date.</p>	<p>The panels may be better suited to the new partition wall that will be introduced at the western end of the Soup Kitchen; thereby removing any impact on the historic wall fabric.</p>

Visual Impact

PROPOSED WORKS	DRAFT IMPACT ASSESSMENT	DRAFT MITIGATIONS
Heat Pumps & Service in Rear Yard	<p>Overall, the proposed approach to the redevelopment of the Courthouse and Soup Kitchen uses a modern, yet sympathetic architectural palette; and should be a good enhancement of the visual amenity of the Market Square/Barry's Lane/waterfront area of Youghal.</p> <p>As has been highlighted above, the visual interaction of the redevelopment works with the Town Wall is of paramount importance; and the mitigations measure detailed above will work to avoid a negative visual impact.</p>	<p>The execution the redevelopment works should be carried out to as high standard as possible, with an emphasis on good workmanship and finishes.</p> <p>The input of the Conservation Engineer and Cork County Council's Conservation Officer should be sought with regard to the landscaping materials.</p>

9. General Recommendations²

It is recommended that the proposed works to the Youghal Courthouse and adjoining Soup Kitchen proceed to the next stage of evaluation.

The successful execution of the proposed works, with the appropriate following mitigation measures, is an opportunity to put the Courthouse back into use, and repurpose the Soup Kitchen structure, ensuring their continued survival into the future.

Ministerial Consent has already been secured for the Site Investigation (SI) works to inform the redevelopment works to the Courthouse, to support the design process. Once the nature and extent of the works are finalised and the Part VIII Planning process completed, it will be necessary to apply for a modification of the existing Consent, through an application for a Variation to permit the redevelopment works close to, or within the vicinity of, the Town Wall and the Courthouse.

Notwithstanding that the works have been designed to minimise the potential for impacts on the archaeological resource, Cork County Council should be prepared to address all of the requirements of the Minister and the National Monuments Service, with regard to the variation to the Consent and the new set of compliance conditions it is likely to generate.

All works, in particular groundworks, should be conducted under archaeological monitoring conditions, by a suitably experienced archaeologist. The groundworks are regarded as all ground disturbance works, underpinning and engineering support works, removal of internal floor levels, replacement of existing services and the introduction of new services.

No ground disturbance works, no matter how minor, should take place without the monitoring archaeologist in attendance.

A full record of the monitoring attendance should be kept, to create through written, drawn and photographic means an archive of the works.

Cork County Council should be prepared to provide all necessary supports and funding, as required, for the recording, preservation in situ or preservation by record through excavation, secure storage, analysis and reporting on any archaeological features, artefacts or material that may be encountered during the works.

Reporting on the archaeological attendance, including any specialist attendances and analysis works, will be a requirement of the variation to the Ministerial Consent.

² Note on Recommendations

All mitigation measures are recommendations only and the decision on implementation, amendments, etc. rests ultimately with the Planning Authority – Cork County Council, and other prescribed bodies such as the Development Applications Unit of the Department of Housing, Local Government and Heritage.

Cork County Council's Archaeologist should be kept advised of all activities associated with the redevelopment works to the Courthouse and the Soup Kitchen, and their requirements adhered to.

Given that the standing structures are Recorded Monuments and Protected Structures, it is necessary that the changes to be recorded in conjunction with the attending Conservation Architect, during the course of the works and on completion, to produce a record of the changes.

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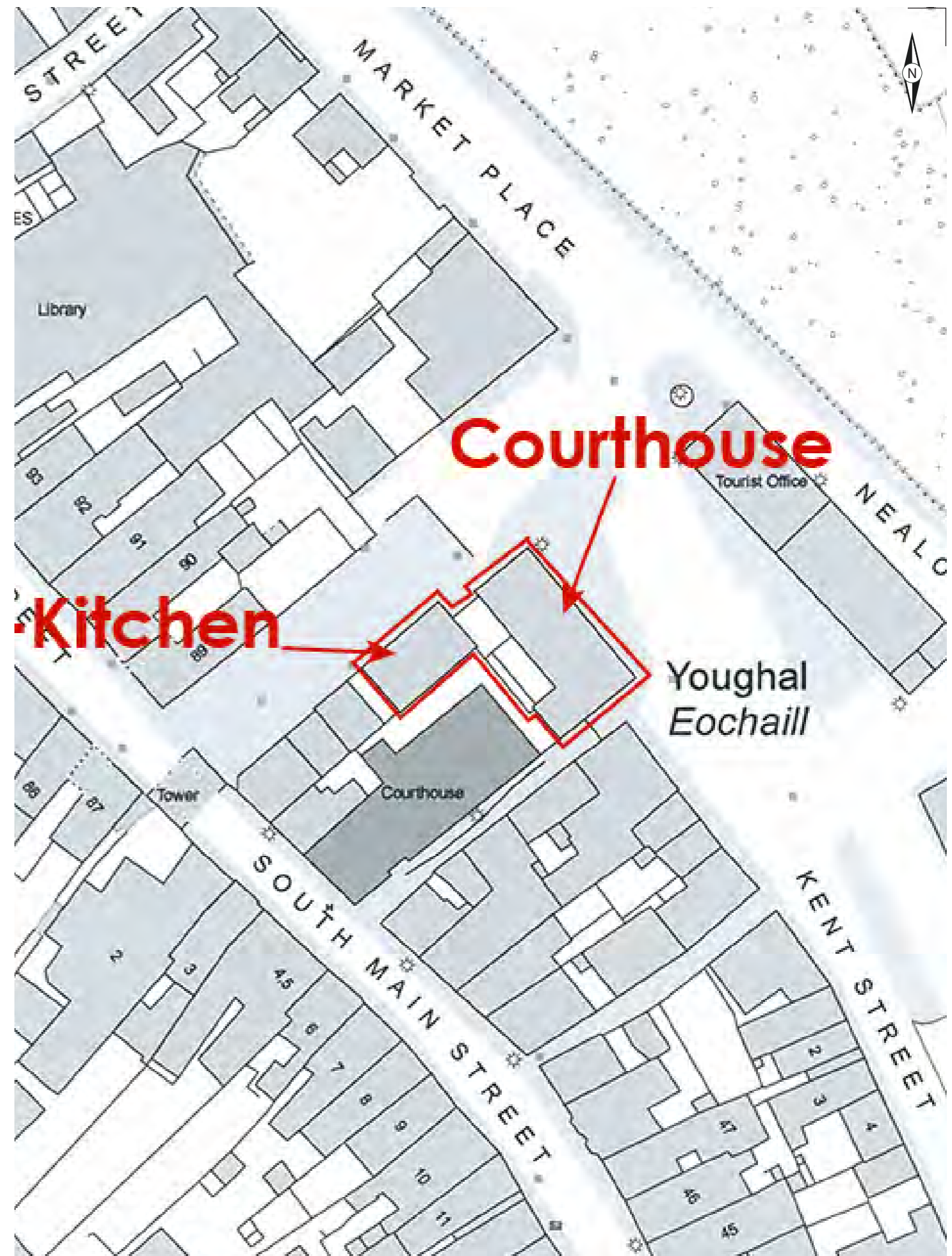
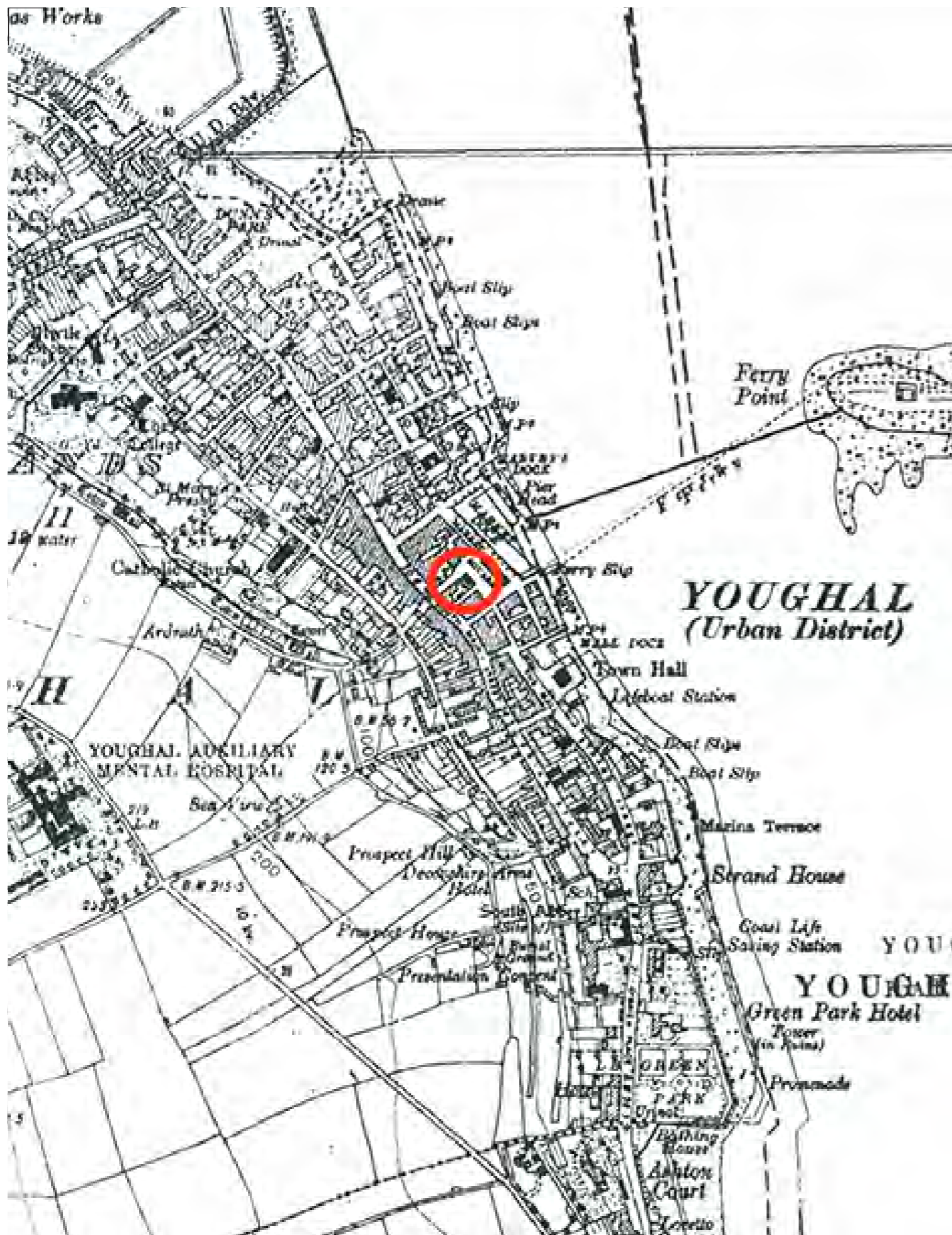
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DRAWINGS

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Youghal Courthouse & Soup Kitchen Redevelopment

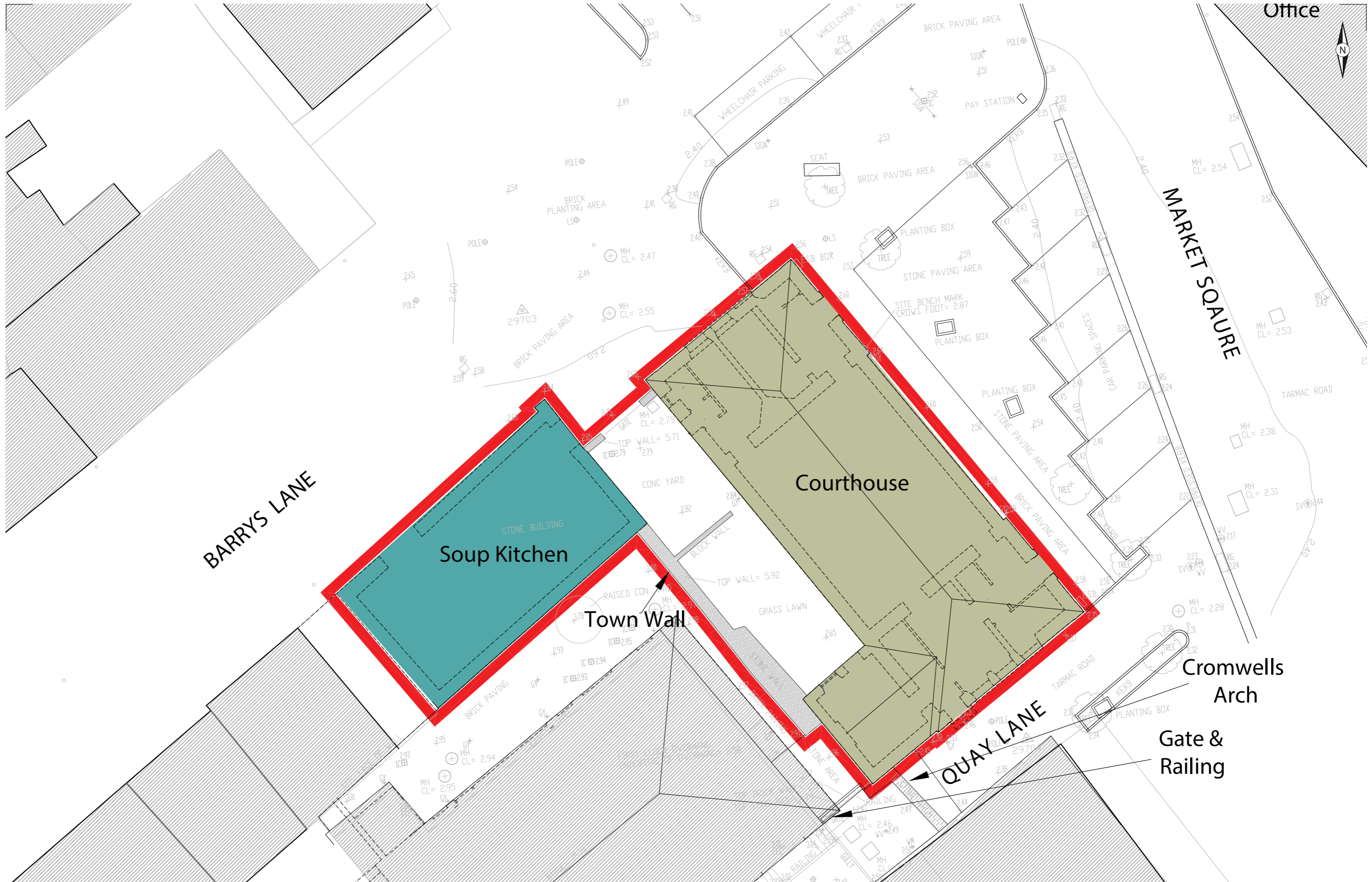
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02 Site Layout

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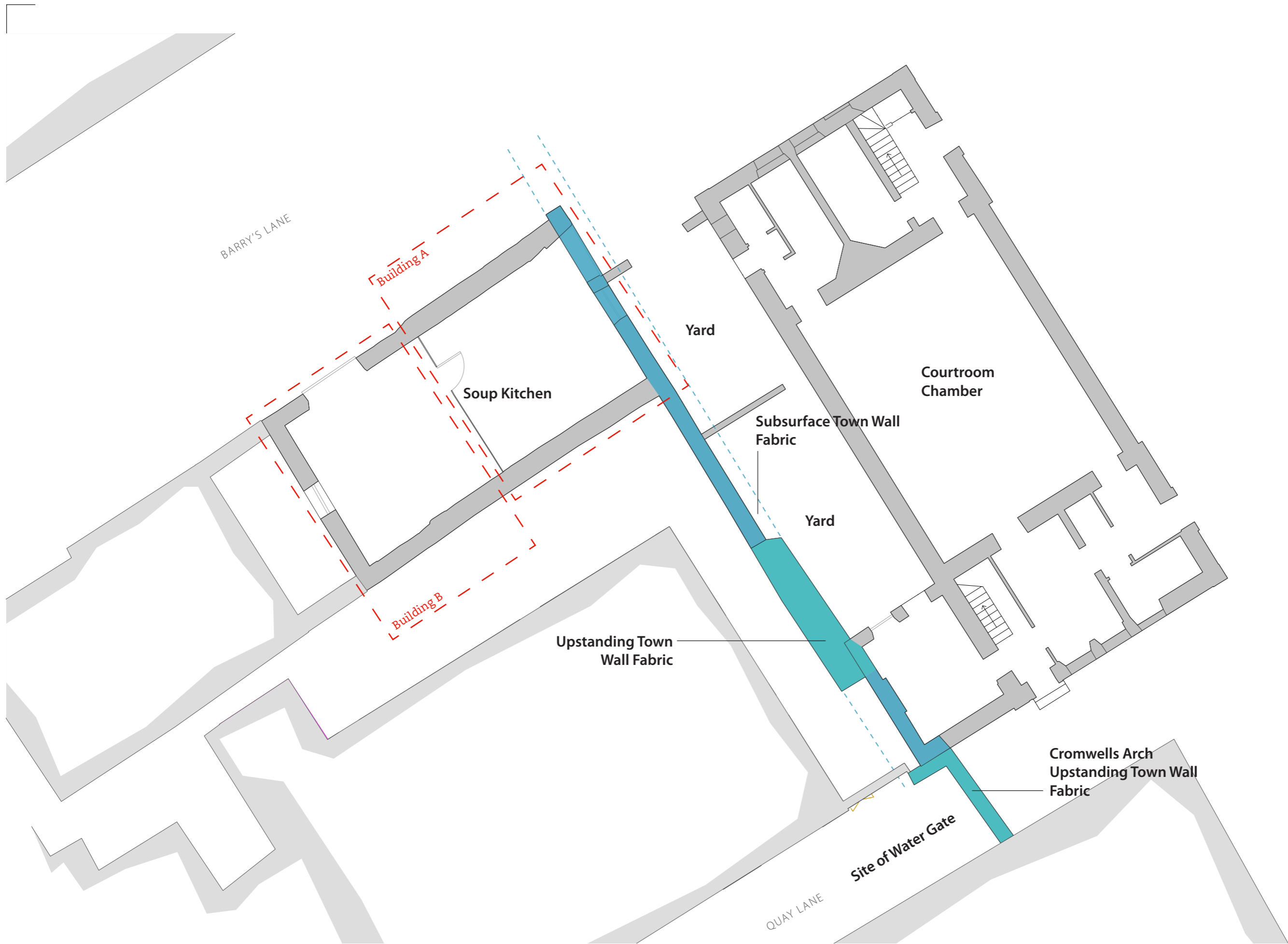
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03 General Floor Plan

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LEGEND
 Upstanding Town Wall Fabric
 Subsurface Town Wall Fabric



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04 Detail Plan

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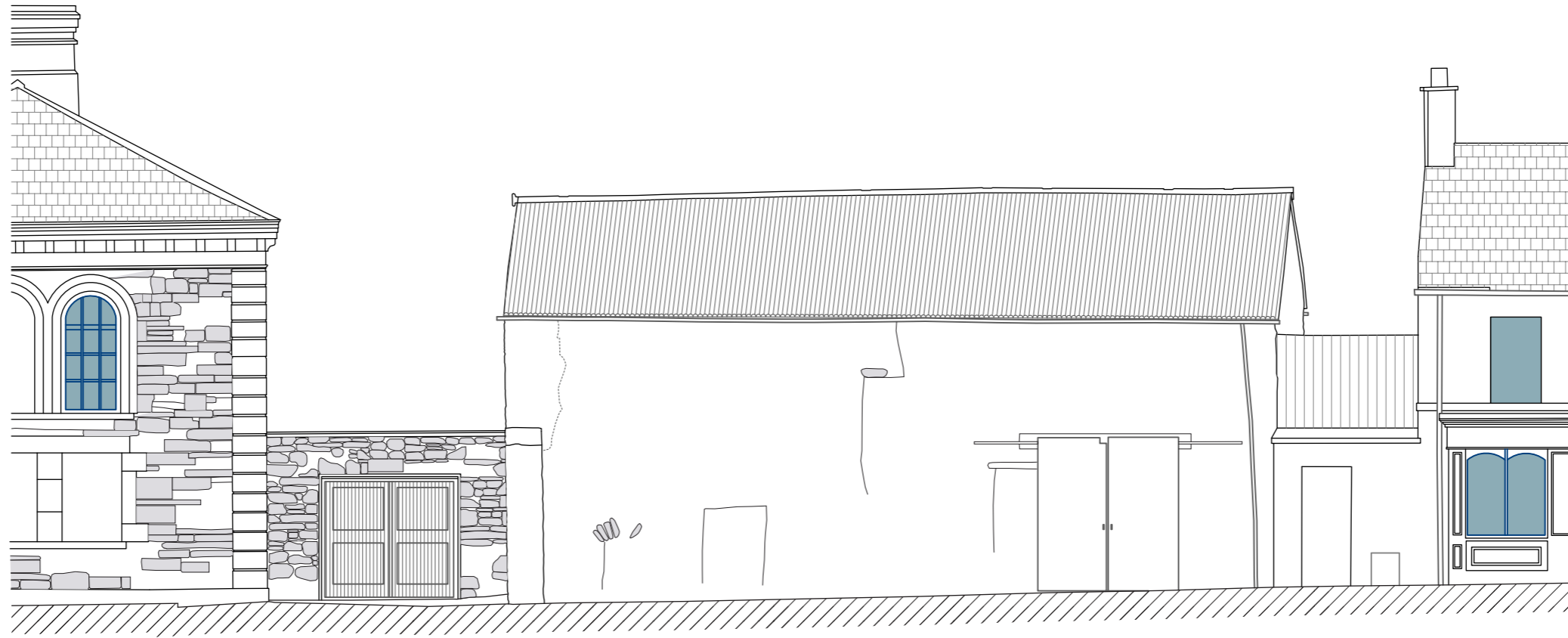
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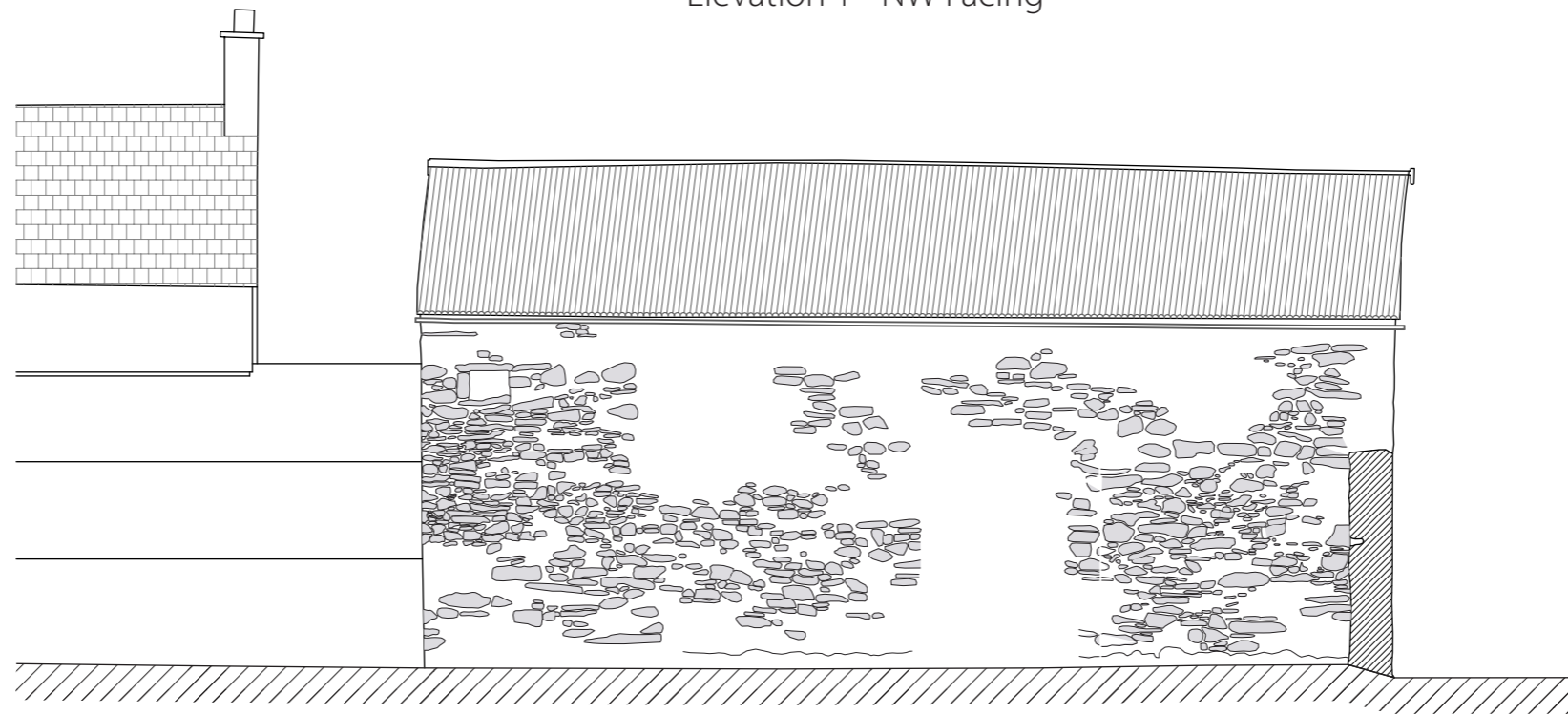
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LEGEND
 Upstanding Town Wall Fabric
 Subsurface Town Wall Fabric



Elevation 1 - NW Facing



Elevation 2 - SE Facing

DRAWING
05 Draft Soup Kitchen Context Elevations

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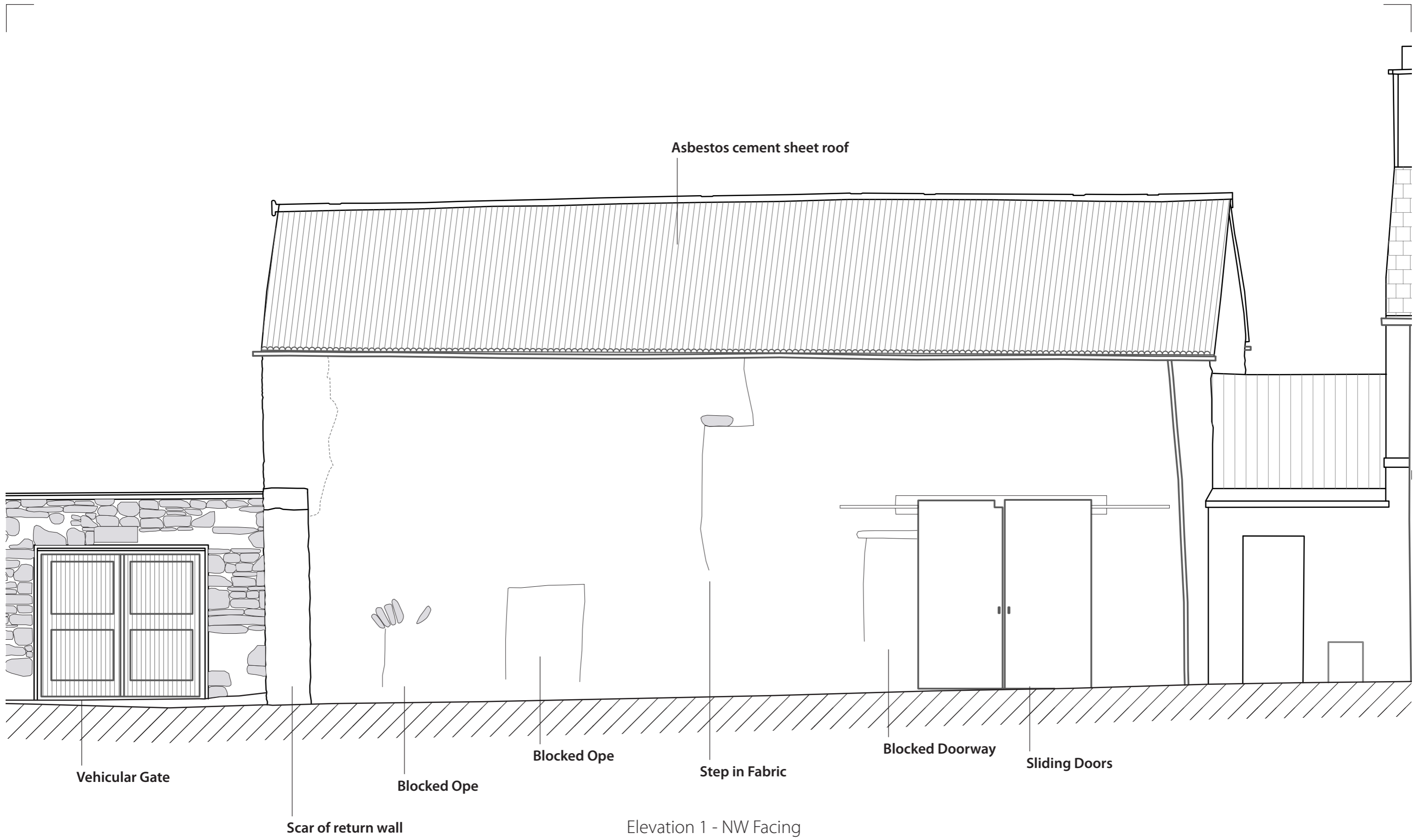
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Elevation 1 - NW Facing

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06 Draft Soup Kitchen NW Facing Elevation 1

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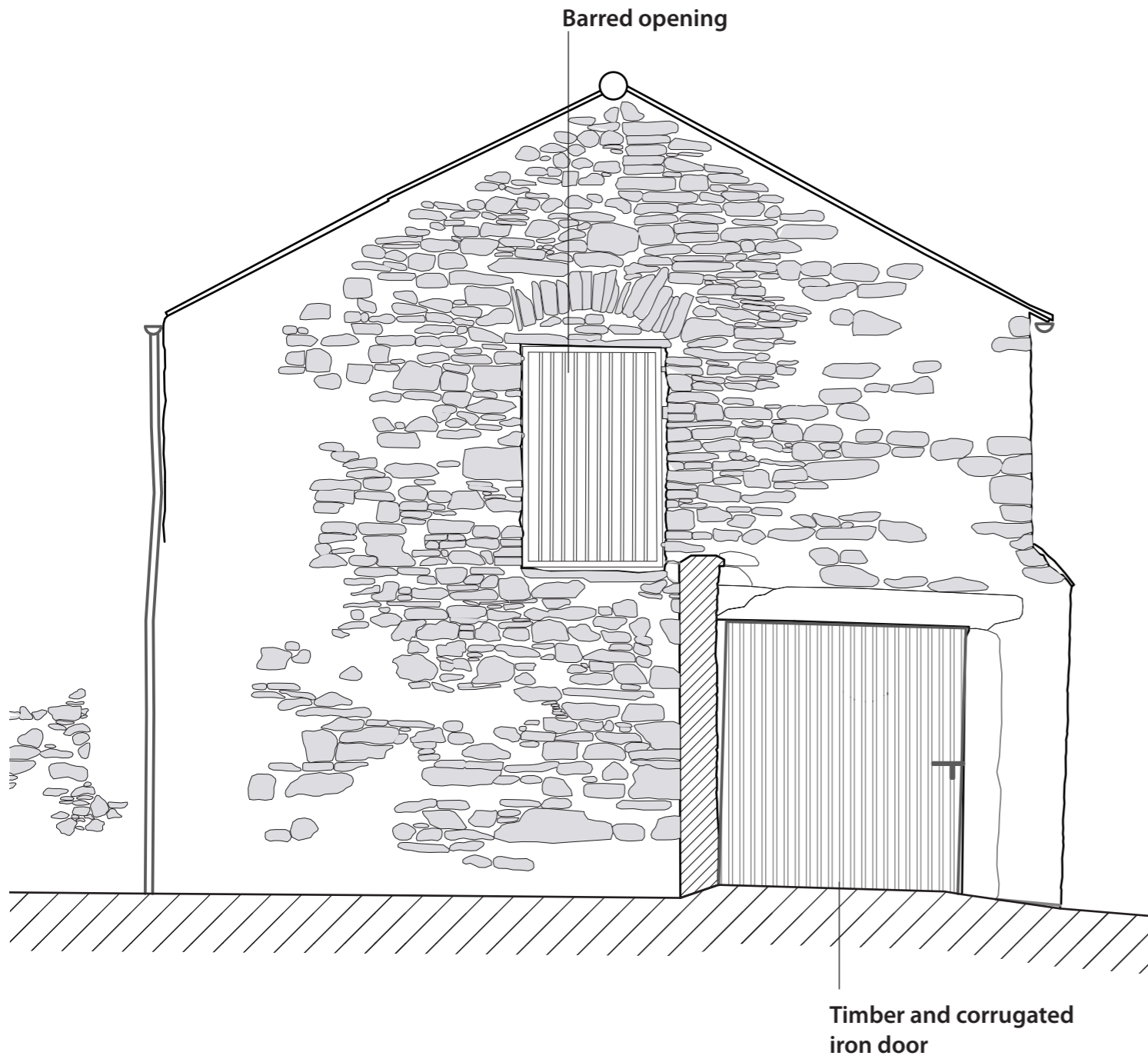
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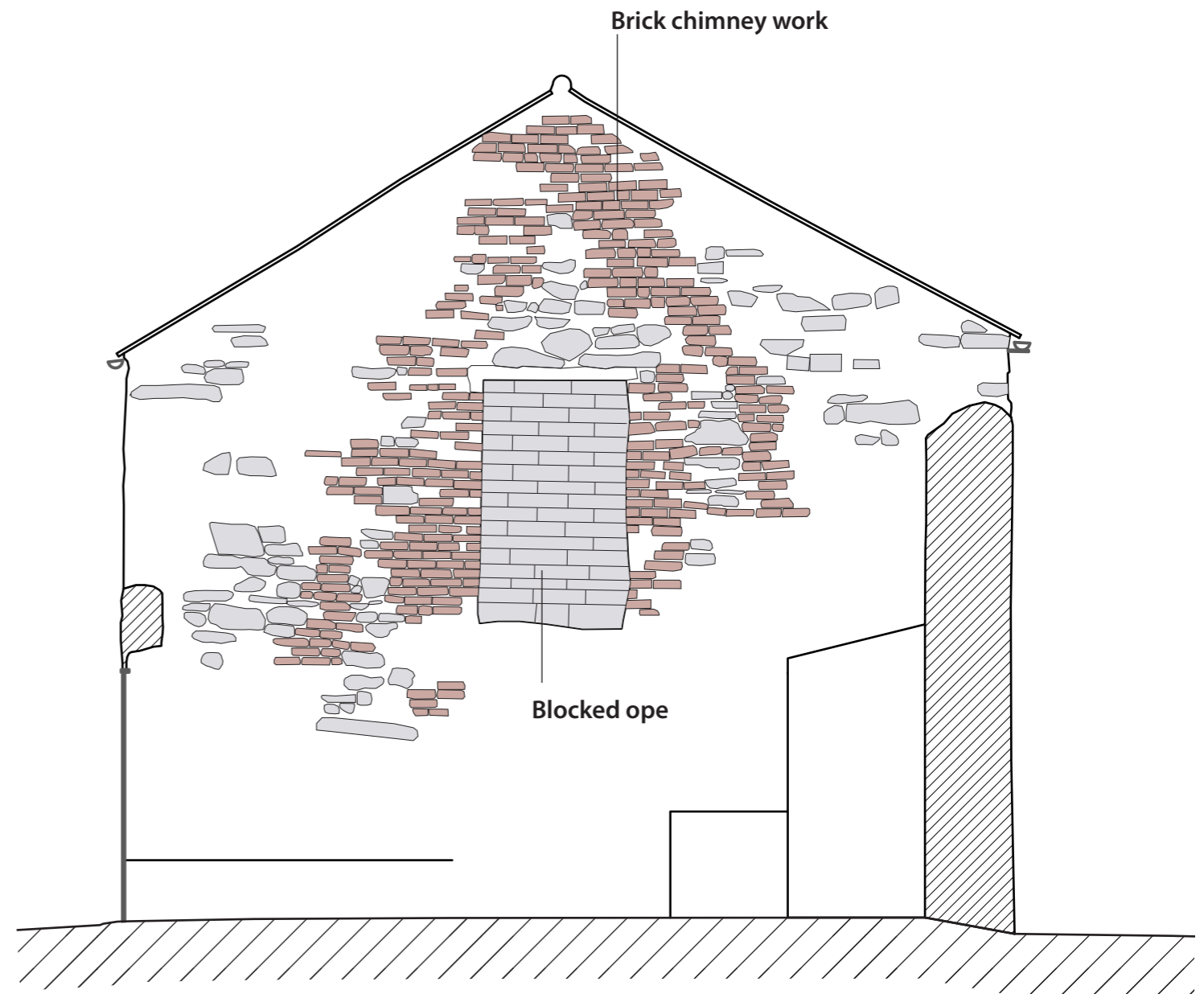
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Elevation 3 - NE Facing



Elevation 4 - SW Facing

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07 Draft Soup Kitchen NE and SW Facing Elevations

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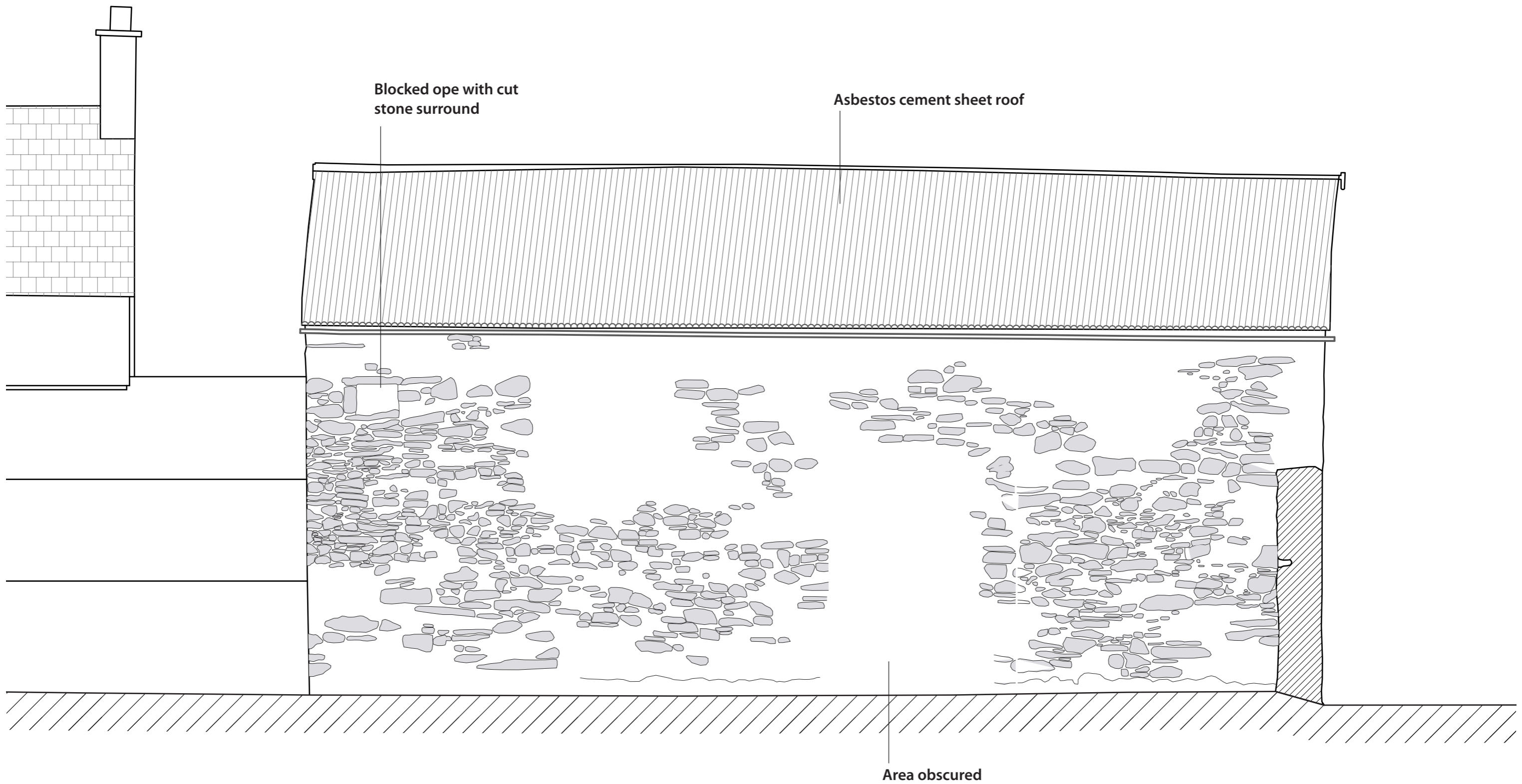
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Elevation 3 - SE Facing

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08 Draft Soup Kitchen SE Facing Elevation

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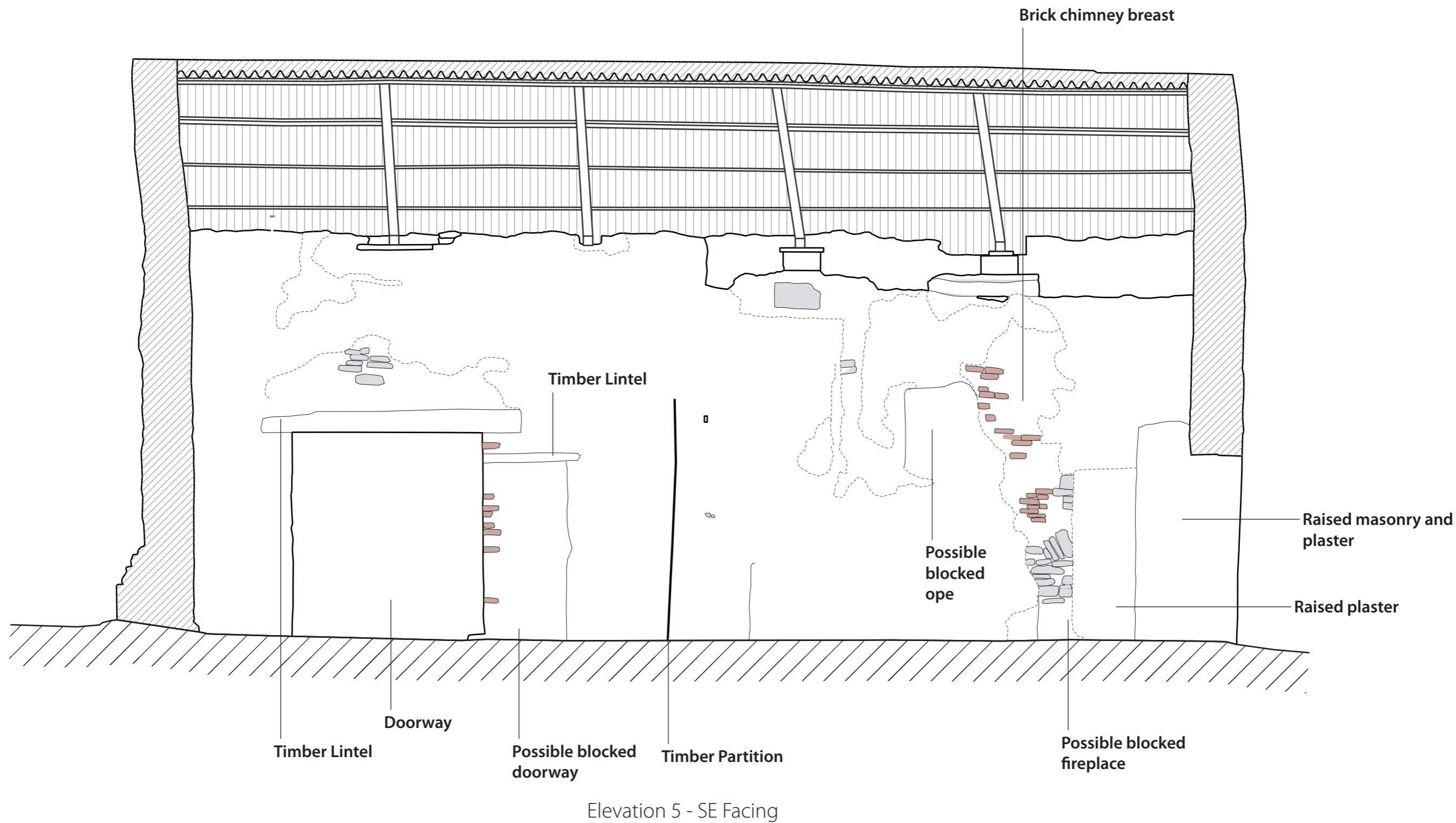
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09 Draft Soup Kitchen SE Facing Internal Elevation

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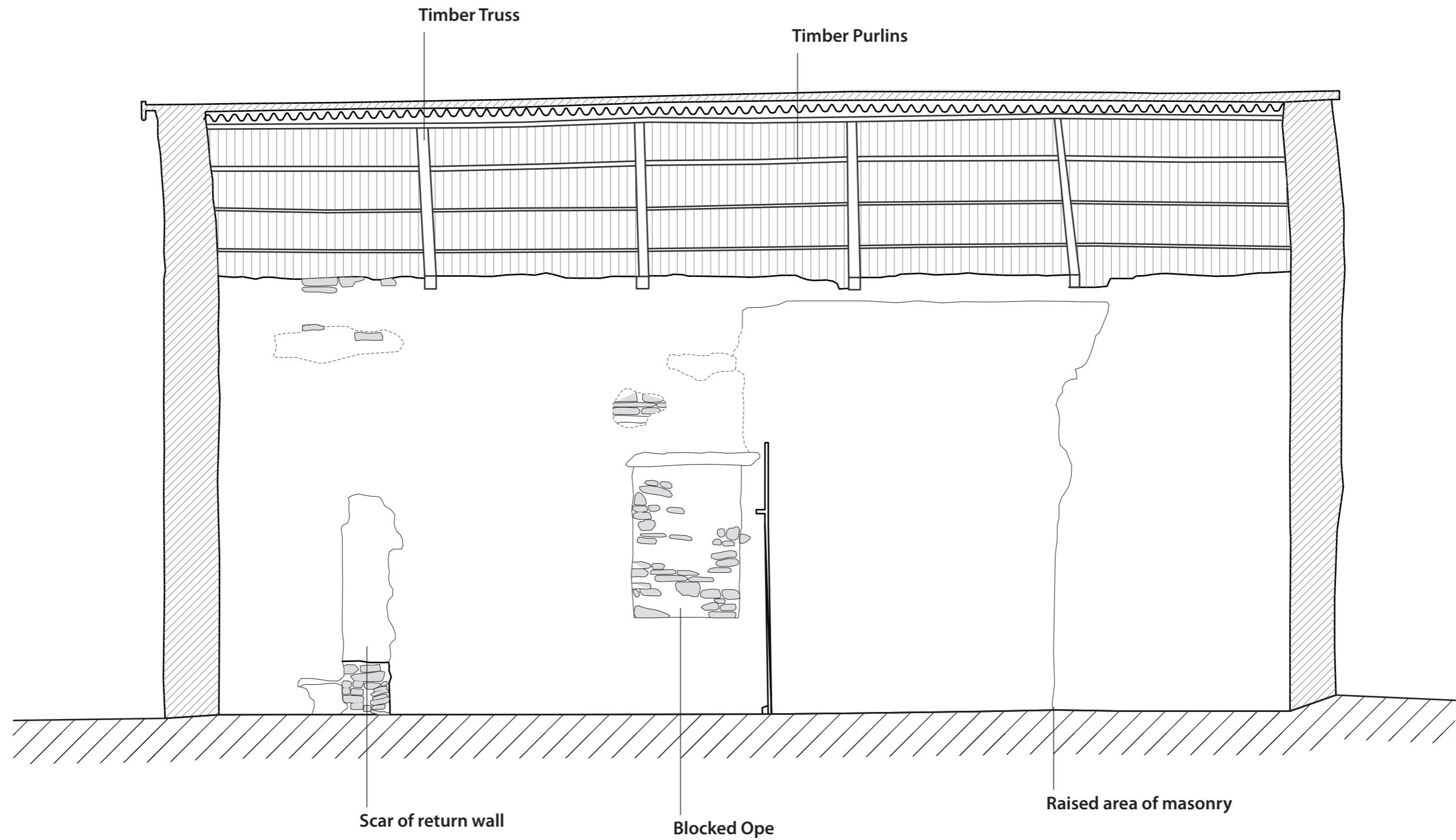
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Elevation 6 - NW Facing

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10 Draft Soup Kitchen NW Facing Internal Elevation

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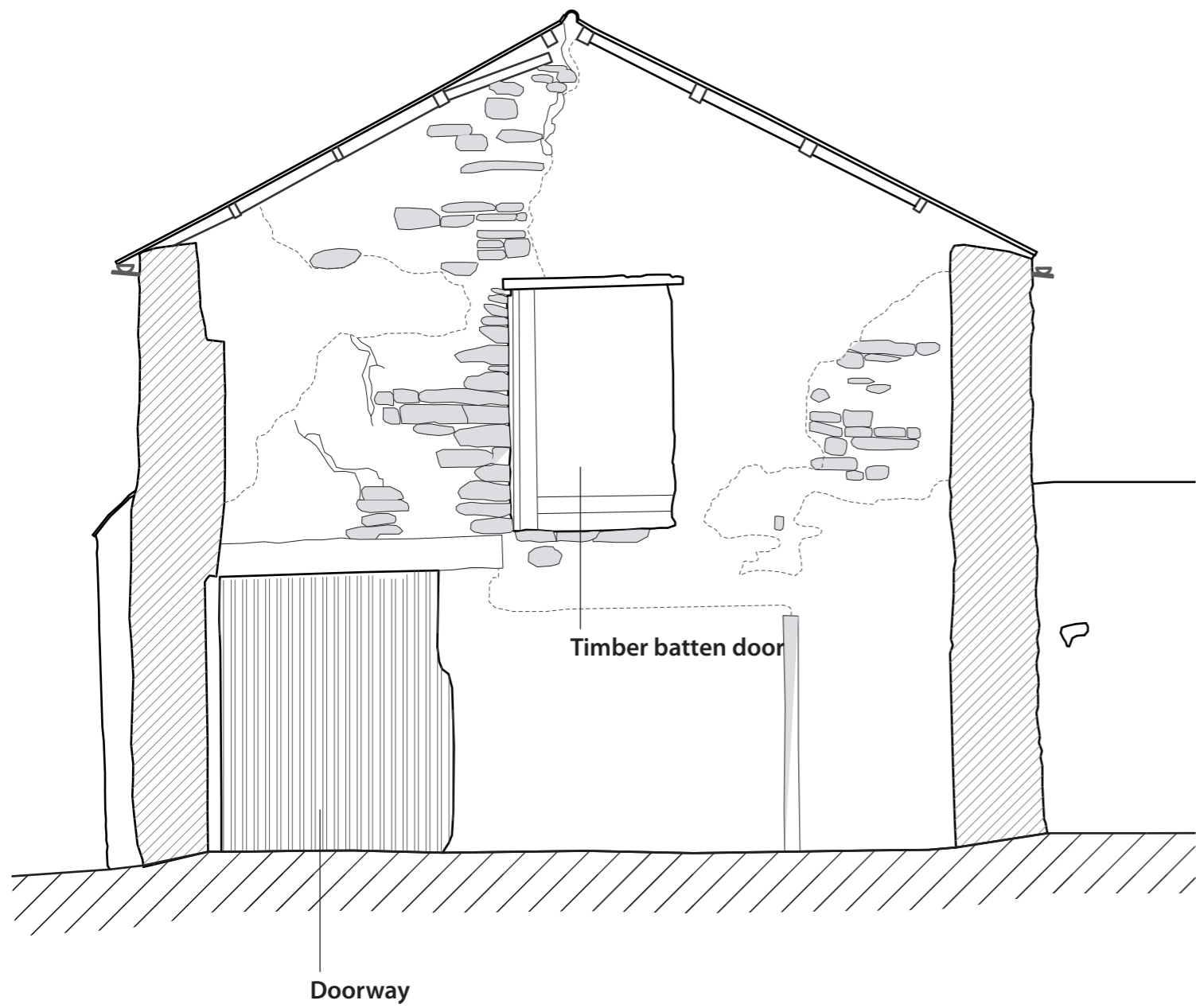
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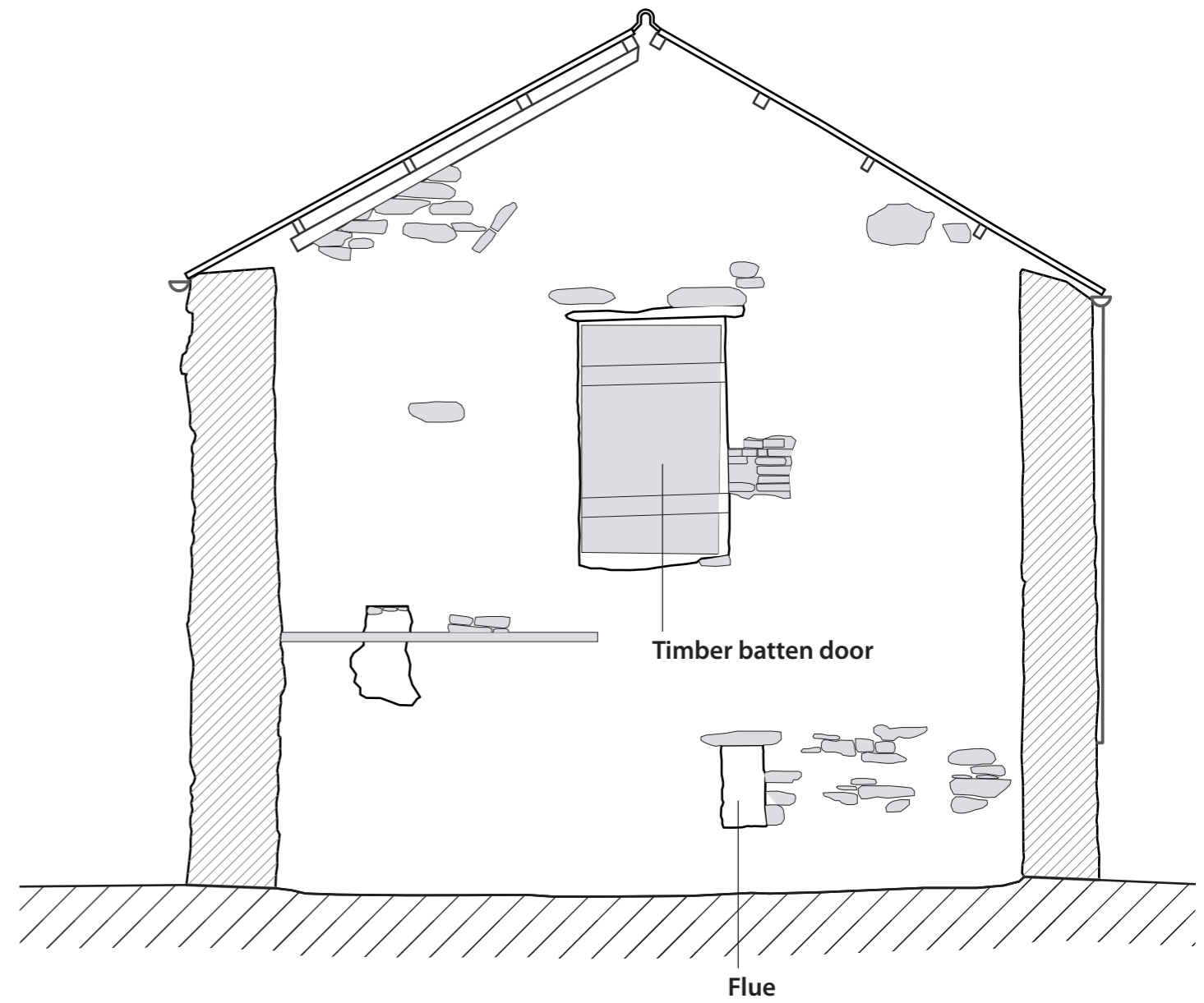
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Elevation 7 - SW Facing



Elevation 8 - NE Facing

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11 Draft Soup Kitchen SW and NE Facing Internal Elevations

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12 Site Investigations

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