

COPY

Comhairle Contae Chorcaí Cork County Council

Therese O'Connell,
C/O Christopher Kinghan,
Carricknagroan,
Coolderry PO
Carrickmacross,
Co. Monaghan
A81 E720

27th August, 2024

REF: D/216/24
LOCATION: Glanturkin, Whitegate, Co. Cork.

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Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.
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**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Sir/Madam,

On the basis of the information submitted by you on 8th March & 9th August, 2024 the Planning Authority, having considered whether the proposed construction of a new internal farm road, slatted shed, a general purpose storage shed and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using public road entrance at **Glanturkin, Whitegate, Co. Cork** is or is not development or is or is not exempted development, has declared that it is **not exempted development**.

Reason for Decision

The Planning Authority in considering this referral, had particular regard to

- Sections 2(1), 3(1) 4(2) and 4(4) of the Planning and Development Act 2000 (as amended)
- Articles 3, 6 and 9 of the Planning and Development Regulations 2001, (as amended)
- Class 6, 8 and 9 of Schedule 2 Part 3 of the Planning and Development Regulations 2001 (as amended)

And Whereas the Planning Authority hereby decides that

The works proposed at Glanturkin, Whitegate, Co. Cork constitute development but do **not** constitute exempted development because in this situation Article 9 (1)(a)(vii) of the Planning and Development Regulations 2001-2023 applies. It states:

Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would—

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or



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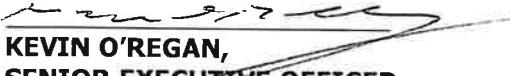
ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan.

Taking account of the above, the proposed development cannot be considered exempted development as it comprises works that has the potential to negatively impact on features of archaeological heritage, which it is an objective of the Cork County Development Plan 2022 to protect and conserve.

The Planning Authority therefore determines that the said works involved are development and are **not exempted development**.

Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.

Yours faithfully,


**KEVIN O'REGAN,
SENIOR EXECUTIVE OFFICER,
PLANNING DEPARTMENT.**

Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

<i>Ref No.</i>	D/216/24
<i>Applicant</i>	Therese O'Connell
<i>Description</i>	Agricultural structures
<i>Location</i>	Glanturkin, Whitegate, Co. Cork

1. Section 5 Query

The query relates to the provision of (1) a slatted shed, (2) a fodder shed, and (3) three no. concrete yards. The applicant is querying whether said works are/are not "exempted development" for the purposes of the Act.

2. Application History

Following the initial assessment in April 2024, the applicant was requested to submit additional details to order to make a full determination on this Section 5 Application. The specific points of further information were:

1. The applicant shall clarify the depth of the proposed slatted effluent tank. Note that the livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.
2. The applicant shall confirm there will be no open soiled yards on the concrete farmyard.
3. An inspection chamber shall be constructed on all surface water drains leaving the farmyard. Please submit a detailed drawing of same.
4. The applicant shall clarify whether the access roadway to the new farmyard complex is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199) and provide detailed dimensions for the access roadway.
5. In a situation where the applicant considers the access roadway to be exempted development, please identify what class of exempted development the applicant is invoking.
6. The applicant shall provide details on the how many daily vehicular manoeuvres currently occur at the existing farm entrance compared to how many will occur once the proposed agricultural structures are constructed.
7. Please clarify whether there are any proposed changes to the existing farm entrance.

On the 9th August 2024 a response was received, which comprised a cover letter providing a written response to the points and a revised site layout plan.

3. Internal Referral Reports

Environment – No further objection to the proposed development on environmental grounds.

County Archaeologist – Cannot be ruled out that the proposed development site will not impact on the nearby Recorded Monuments, see below.

4. Assessment of Further Information Received

Items 1 – 4 were requested from the Environment Directorate to determine compliance with statutory environmental regulations. Kevin Murphy from Environment has no objection to the proposed development on environmental grounds. His report dated 21/08/2024, requests for the applicant to be informed *that the inclusion of a link from the surface water drainage system to the slatted tank is not recommended as it could also provide a pathway for effluent to escape to the surface water drainage system.*

With regards to Item 6, the applicant states that she resides across the road from the farm. It is stated that there will be no intensification of use of the farm or the existing agricultural entrance. It states that the applicant uses this entrance twice daily, in addition to occasional vet visits, and periodic use by farm contractors to cut hay/silage. There are no changes to proposed to the existing agricultural entrance.

As noted in the initial planning report, the site is in proximity to 2 no. Recorded Monuments, CO100-009001 Ringfort and CO100-009002 and souterrain. While the location of the proposed sheds and concrete yards are outside of the Zones of Archaeological Potential, the proposed access track is within the Zone of Archaeological Potential for the ringfort CO100-009001 to the south (See map Appendix A). The applicant was requested to provided further details on this proposed access track in order to make a full determination on this Section 5 Application.

In response the applicant states that the track will be 3.5m wide for the entire length of track, which is approximately 350 metres in length. The applicant states the access track will be unpaved as opposed to concreted. This will involve the laying of hardcore that will get compacted over time due to vehicles and machinery traversing the track. If there are archaeological features/artefacts under the proposed track, these would be destroyed from the compaction.

The red line application boundary 'Site A' has an area of c. 0.52ha, and the proposed access track comprises an area of c. 0.1225ha.

In the absence of an archaeological assessment, the report from the County Archaeologist concludes that it cannot be ruled out that the proposed development site does not contain features of archaeological interest. Her report notes "the potential for a site to contain sub-surface archaeological sites and features is increased if the development measures in excess of 0.5Ha. If the proposed development is in excess of 0.5Ha, in accordance with County Development Plan HE16-9, then an archaeological assessment is required and there is an increased chance of detecting features and sites of archaeological interest.

All large scale planning applications (i.e. development of lands on 0.5 ha or more in area or 1km or more in length) and Infrastructure schemes and proposed roadworks are subjected to an archaeological assessment as part of the planning application process which should comply with the Department of Arts, Heritage and the Gaeltacht's codes of practice. It is recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.

Therefore, the proposed development cannot comply with CDP Objective HE 16-9, as the undertaking of an archaeological assessment is beyond the scope of a Section 5 Application.

In this situation Article 9 (1)(a)(vii) of the Planning and Development Regulations 2001-2023 applies. It states:

Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would—

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan.

Taking account of the above, the proposed development cannot be considered exempted development as it comprises works that has the potential to negatively impact on features of archaeological heritage, which it is an objective of the Cork County Development Plan 2022 to protect and conserve.

5. Conclusion

Whereas a question has arisen as to whether provision of (1) a slatted shed, (2) a fodder shed, and (3) three no. concrete yards at Glanturkin, Whitegate, is or is not development and is or is not exempted development?

In considering this referral, and having had regard particularly to –

(a) Section 2(1), 3(1), 4(2), 4(4) of the Planning and Development Act, 2000, as amended,

(b) Articles 3, 6 and 9, and Class 6, Class 8 and Class 9 of Schedule 2, Part 3 of the Planning and Development Regulations, 2001 -2023,

The Planning Authority has concluded that:

(a) The works proposed represent 'development'.

(b) The proposed development is not considered exempted development having regard to Article 9(1)(a)(vii) of the Planning and Development Regulations 2001-2023

The Planning Authority concludes is development and not is exempted development.



Claudine Mahu
Assistant Planner
21/08/2024



Thomas Watt
Senior Planner
21/08/24

Appendix A

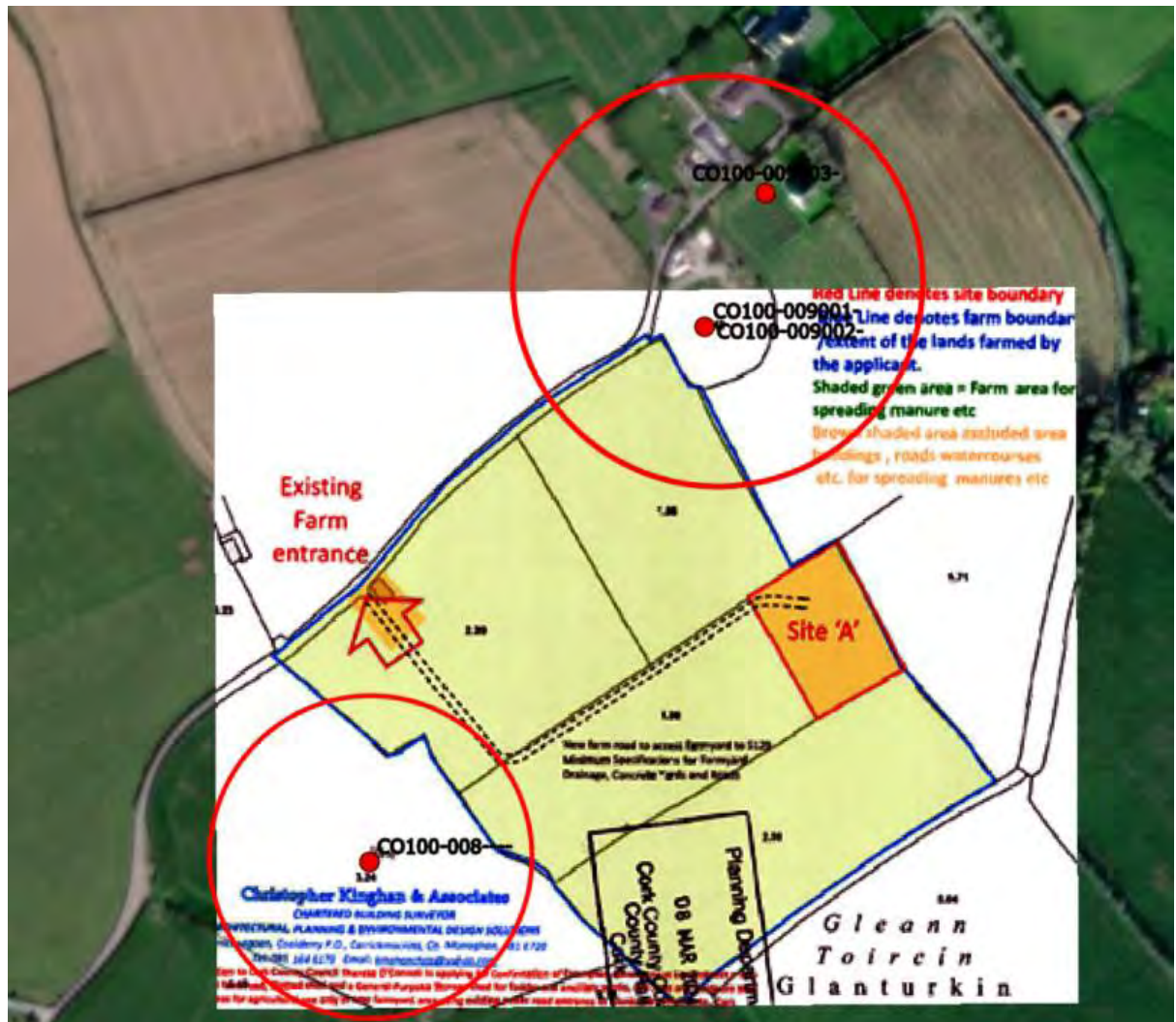


Fig. 1: Proposed access track is located within the Zone of Archaeological Potential from Recorded Monument CO100-008 Ringfort

Application for Planning Exemption

Reference: D/216/24

Applicant: Therese O'Connell

Address: Glanturkin, Whitegate, Co. Cork

Date: 21st August '24

By: Kevin Murphy

Existing Site

Ms O'Connell is the registered owner of a 7.98Ha landholding within which it is proposed to construct the new farmyard. There is no existing farmyard, other than a derelict building near the entrance to the site, or residential property on the landholding.

A watercourse at approx. 200m to the east flows south to the sea at Ballintra West.

Details of Application

The application for planning exemption relates to the construction of:

- An approx. 300m length of farm roadway from the existing agricultural entrance to the site of the proposed farmyard.
- A 195m² livestock house with slatted slurry tank (Class 6 agricultural structure)
- A 199m² fodder store (Class 9 agricultural structure)
- Open yard areas totalling approx. 197m² (Class 8 agricultural structure).

Assessment of Application for Planning Exemption

In my report dated 13/03/24, I recommended to CCC Planning that:

1. The Applicant should be asked to clarify whether the access roadway is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199).
2. The Applicant should be asked to clarify the depth of the proposed slatted effluent tank. The livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.
3. There should be no open soiled yards on the farmyard.
4. An inspection chamber should be constructed on all surface water drains leaving the farmyard.

F.I. rec'd by CCC Planning on 09/08/24

In F.I., the Applicant has clarified that:

1. The 17.8m x 4.12m x 2.4m dp slatted tank will be constructed to DAFM specification S123.
2. There are to be no open soiled yards on the completed farmyard.

3. An inspection chamber will be constructed on all surface water drains leaving the farmyard.
The description and the dwg of the inspection chamber includes a stopper to enable the diversion of the discharge to the slatted tank if surface water runoff was to be contaminated. This feature should **not** be included as it may also provide a pathway for effluent stored in the tank to enter the surface water drainage system.
4. The access roadway to the farmyard is to be unpaved and constructed in accordance with DAFM specification S.199 of March 2024.

Conclusions

I have no objection to the proposed development on environmental grounds.

Note

Please inform the Applicant that the inclusion of a link from the surface water drainage system to the slatted tank is not recommended as it could also provide a pathway for effluent to escape to the surface water drainage system.

END

Christopher Kinghan & Associates

CHARTERED BUILDING SURVEYOR
ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS
Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720.
Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Our Ref: CK/Cork/ TO'C Your Ref:

Cork County Council
Planning Policy Unit,
Floor 13, County Hall,
Carrigrohane Road,
Cork.

D1216/24
FI Response



Dear Sirs,

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, Slatted shed and a General-Purpose Storage shed and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using public road entrance at Glanturkin, Whitegate, Cork.

In connection with the above planning application we respond as follows:-

1. You are requested to clarify the depth of the proposed slatted effluent tank. Note that the livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.

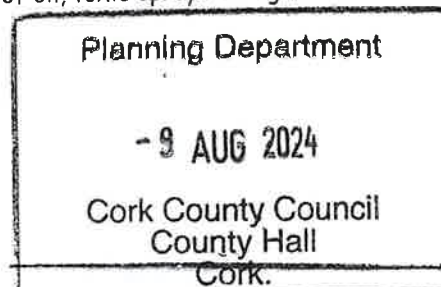
The slatted tank is 17.8 mx 4.12 m internally and 2.4 m internal depth. And will be constructed to specification S.123. □ S.123 Specification for Bovine livestock units and reinforced tanks October 2022.

2. You are requested to confirm there will be no open soiled yards on the concrete farmyard.

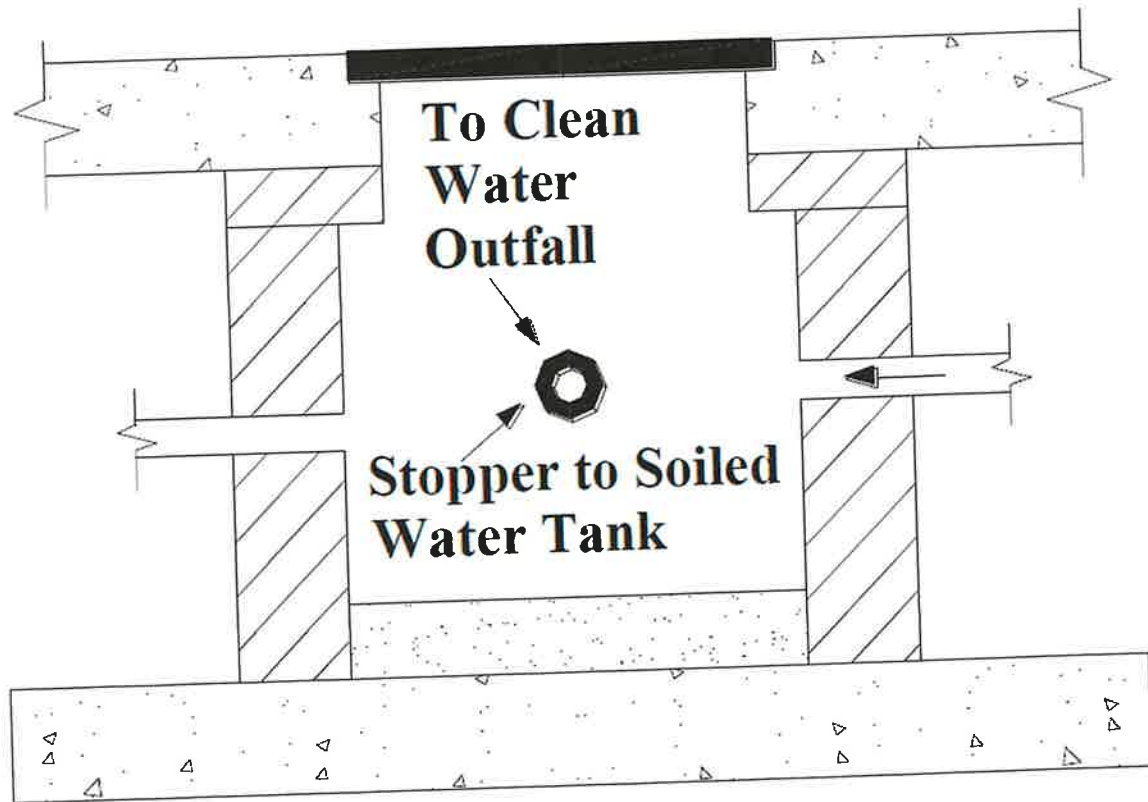
I confirm that all Concrete yards shaded in yellow and hardcore yards shaded in grey on the Site layout plan are clean yard areas, no soiled water and are to be laid to falls and cross falls and drained by stormwater drainage to SUDS soakaway. Blue dashed lines denote storm water (clean) drainage.

3. An inspection chamber shall be constructed on all surface water drains leaving the farmyard. Please submit a detailed drawing of same.

See Revised Site layout (Farmyard) Plan scale 1:500 Revision A. The drainage is constructed to S.129 Minimum Specifications for Farmyard Drainage, Concrete Yards and Roads - January 2016. There will be inspection chambers at all changes in direction, junctions and at maximum distances of 90 meters. Drains at the point of exit from the yard, at the point where it leaves the yard to allow the drainage water to be monitored for contamination. Such manholes shall be constructed with a facility to close-off the outlet if required and a sump at least 300mm deep to allow the insertion of a submersible pump to facilitate evacuation should accidental spillage of oil, toxic sprays etc. gain access to the clean water



yard drainage system.



4. You are requested to clarify whether the access roadway to the new farmyard complex is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199) and provide detailed dimensions for the access roadway.

The roadway will be unpaved to DAFM Specification S.199 March 2024 It will be 3.5 m width for its entire length. In accordance with the latest revised S.199 specification for all new farm roadways, a fence on both sides of the roadway shall be erected, where bovines are grazing adjacent to the roadway. An electric fence will suffice in this instance.

5. In a situation where the applicant considers the access roadway to be exempted development, please identify what class of exempted development the applicant is invoking.

Farm Development

In relation to Farm Development - some general exemptions are:

Use of land for agriculture or forestry.

Maintenance of land for agricultural purposes.

Works involving the construction of or maintenance of a gully, drain, pit or water course.

In general, such general exemptions do not have a specific use class. Unpaved farm roads and the fencing of lowland is exempt from planning provided there is no interference with Monuments and Natura sites etc. The unpaved road and associated fencing would qualify under the General exemption - i.e. it is development necessary for the maintenance and use of land for agricultural purposes. It is a farm road for agricultural use only - not a public road and facilitates the use of the land for agriculture.

Planning Department
- 9 AUG 2024
Cork County Council
County Hall
Cork.

6. You are requested to provide details on the how many daily vehicular manoeuvres currently occur at the existing farm entrance compared to how many will occur once the proposed agricultural structures are constructed.

The applicant lives across the road from the farm. Effectively the house across the road and the farm are one unit. There will be no increase in traffic to the farm or intensification of the entrance. Ie the applicant visits the lands once or twice a day, if a vet is needed for animals, if farm contractors visit the farm to cut hay or silage the number of users utilising the entrance will not be intensified, a vet attends etc. If an animal arrives onto or leaves the farm , this type of traffic will not change.

Basically, the main person attending the lands is the applicant once or twice a day, most frequent traffic is to the applicants dwelling on the other side of the road ie use of the dwelling itself. Any other traffic is occasional - for a few days in the case of a farm contractor , oir occasional as in a vet. There is absolutely no increase in the use of the entrance. The new facilities are for improved animal welfare and human safety when working with animals.

7. Please clarify whether there are any proposed changes to the existing farm entrance.

No changes are proposed to the existing entrance. The applicant will mainly walk to the farm when visiting any farm machinery will be in the farmyard itself , i.e. not coming to the site via a public road.

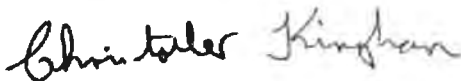
Schedule of Documentation

Note all 4 copies unless stated

- FI response letter
- Site Location Map Scale 1:2,500 Revision A
- Proposed Farm/Site Layout Plan + contours and Notes Scale 1:500 Revision A

We trust the above documentation is satisfactory and look forward to your favourable decision.

Yours faithfully,



Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.
Chartered Building Surveyor

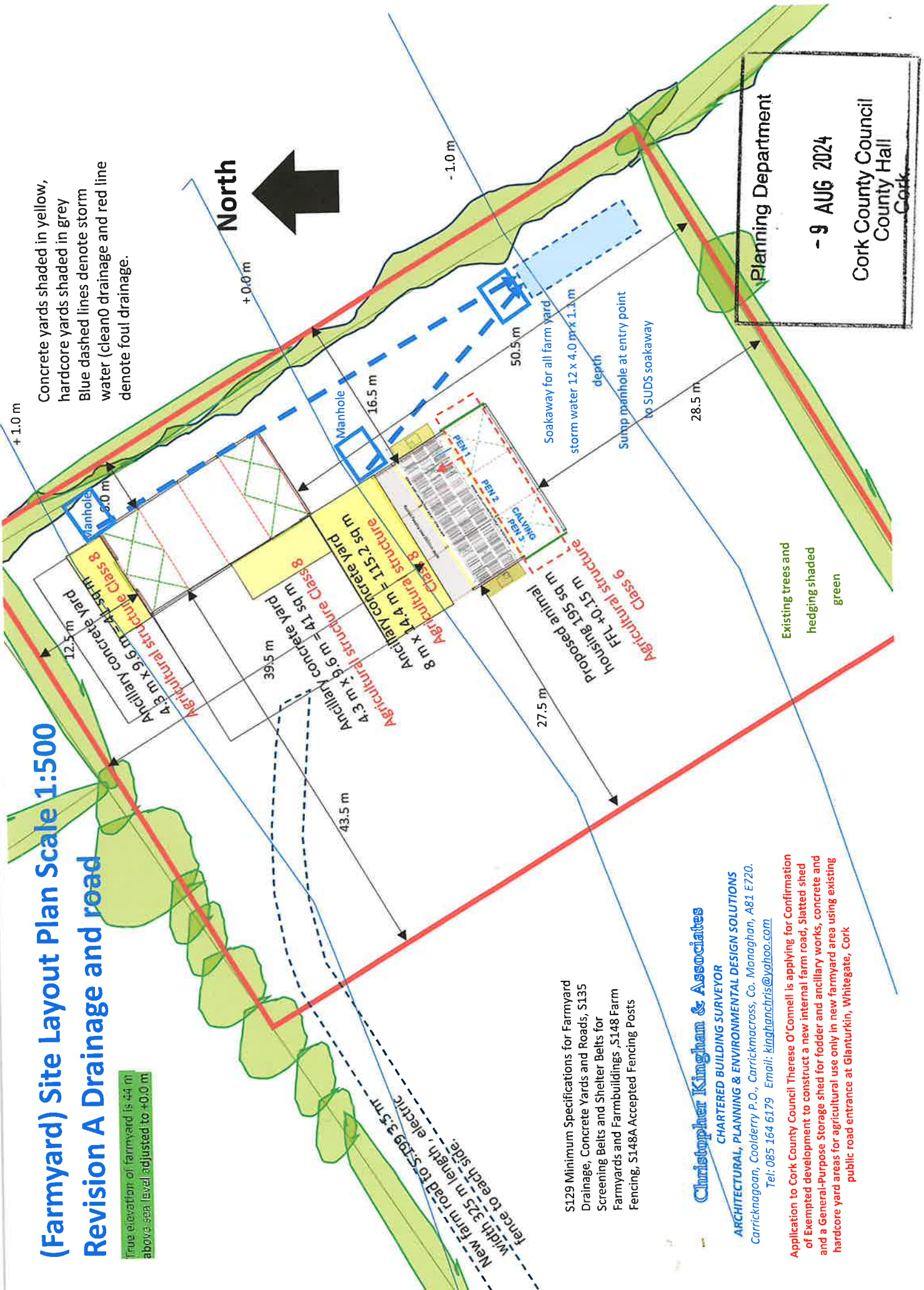
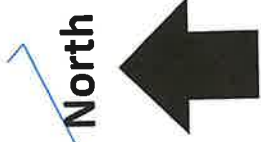


(Farmyard) Site Layout Plan Scale 1:500

Revision A Drainage and road

True elevation of farmyard is 44 m above sea level adjusted to +0.0 m

Concrete yards shaded in yellow, hardcore yards shaded in grey
Blue dashed lines denote storm water (clean0 drainage and red line denote foul drainage.



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- 9 AUG 2024
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Cork

S129 Minimum Specifications for Farmyard Drainage, Concrete Yards and Roads, S135 Screening Belts and Shelter Belts for Farmyards and Farmbuildings, S148 Farm Fencing, S148A Accepted Fencing Posts

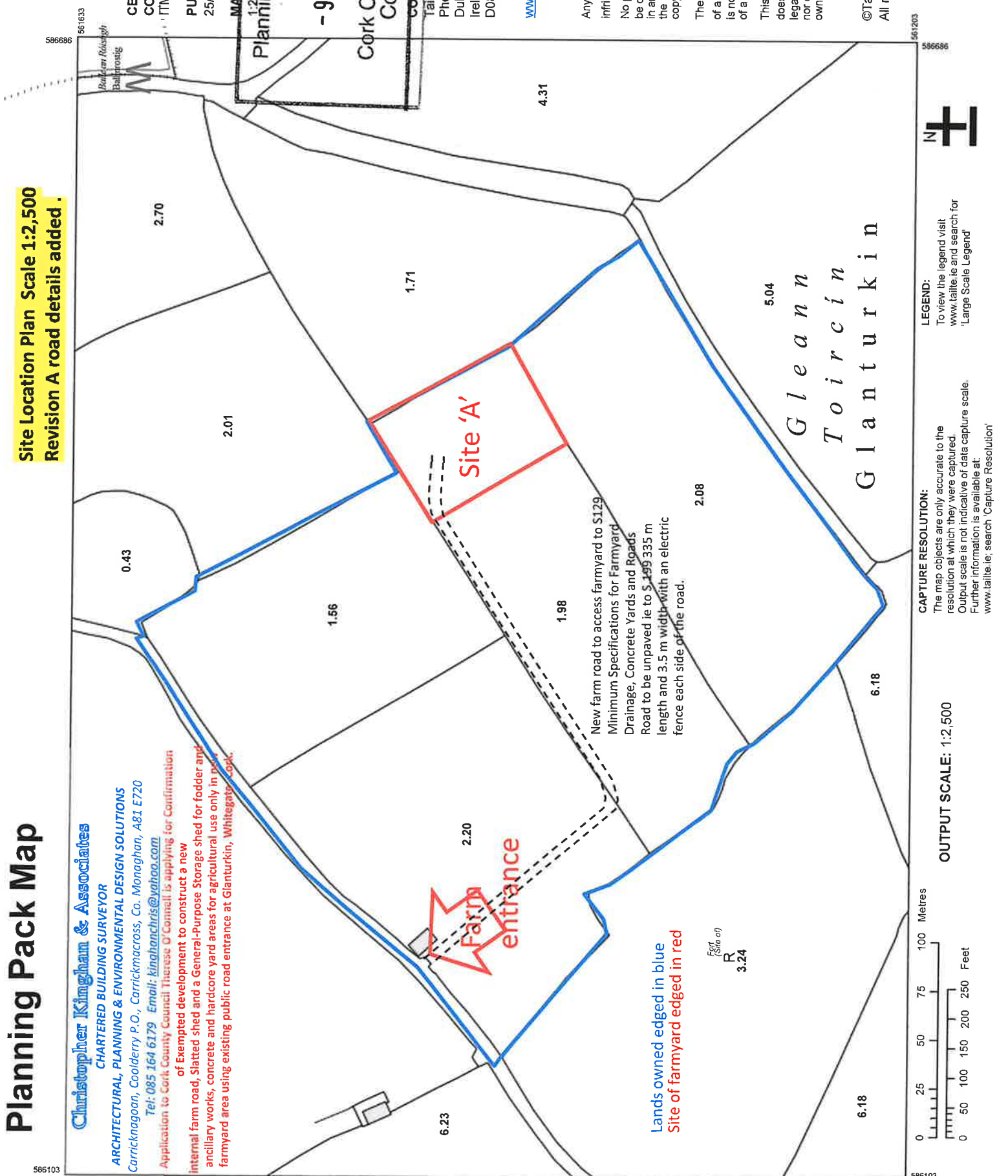
Christopher Kingham & Associates
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Tel: 085 164 6179 Email: kinghamchristis@yahoo.com

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, slatted shed and a General-Purpose Storage shed for fodder and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using existing public road entrance at Glanturkin, Whitegate, Cork

Existing trees and hedging shaded green

Planning Pack Map

Site Location Plan Scale 1:2,500
Revision A road details added.



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Tel: 085 164 6179 Email: kinahanchris@vahoo.com
Application to Cork County Council Theresa O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, slatted shed and a General-Purpose Storage shed for fodder and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using existing public road entrance at Glanturkin, Whitegate, Co. CK.

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Planning Department
- 9 AUG 2024
Cork County Council
County Hall
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LEGEND:
To view the legend visit www.tailte.ie and search for 'Large Scale Legend'



Comhairle Contae Chorcaí Cork County Council

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Therese O'Connell,
c/o Christopher Kinghan & Associates,
Carricknagoan,
Coolderry P.O.,
Carrickmacross,
Co. Monaghan.
A81 E720.

8th April 2024

REF: D/216/24
LOCATION: Glanturkin, Whitegate, Co. Cork.

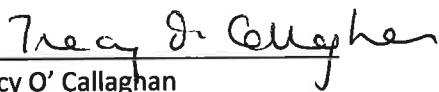
**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Madam,

I refer to your application for a Declaration of Exemption in relation to the above. In respect of the proposal submitted, the Planning Authority has concluded that further information is required as follows:

1. You are requested to clarify the depth of the proposed slatted effluent tank. Note that the livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.
2. You are requested to confirm there will be no open soiled yards on the concrete farmyard.
3. An inspection chamber shall be constructed on all surface water drains leaving the farmyard. Please submit a detailed drawing of same.
4. You are requested to clarify whether the access roadway to the new farmyard complex is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199) and provide detailed dimensions for the access roadway.
5. In a situation where the applicant considers the access roadway to be exempted development, please identify what class of exempted development the applicant is invoking.
6. You are requested to provide details on the how many daily vehicular manoeuvres currently occur at the existing farm entrance compared to how many will occur once the proposed agricultural structures are constructed.
7. Please clarify whether there are any proposed changes to the existing farm entrance.

Yours faithfully,



Tracy O' Callaghan
Staff Officer
Planning Department

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

<i>Ref No.</i>	D/216/24
<i>Applicant</i>	Therese O'Connell
<i>Description</i>	Agricultural structures
<i>Location</i>	Glanturkin, Whitegate, Co. Cork

1. Section 5 Query

The query relates to the provision of (1) a slatted shed, (2) a fodder shed, and (3) three no. concrete yards. The applicant is querying whether said works are/are not "exempted development" for the purposes of the Act.

2. Site location and description

This site is located in a rural area on a farm landholding in the townland of Glanturkin, Whitegate. The site is approx. 3.3 km southeast of Whitegate village and approx. 1.24km north of Guileen Bay Beach. There is an existing agricultural entrance from the local road to the northwest of the site. There is no existing farmyard complex on this landholding other than a derelict building adjacent to site entrance. There are recorded monuments in proximity to the subject site: CO100-009001 Ringfort (south) and CO100-009002 souterrain (north). The adjoining lands are in agricultural use. There are some individual rural dwellings to the north and tourist accommodation to the east.



Fig. 1: Aerial view of site (2018) – approximate site boundary outlined in red

3. Planning History

There is no recent planning history within this landholding.

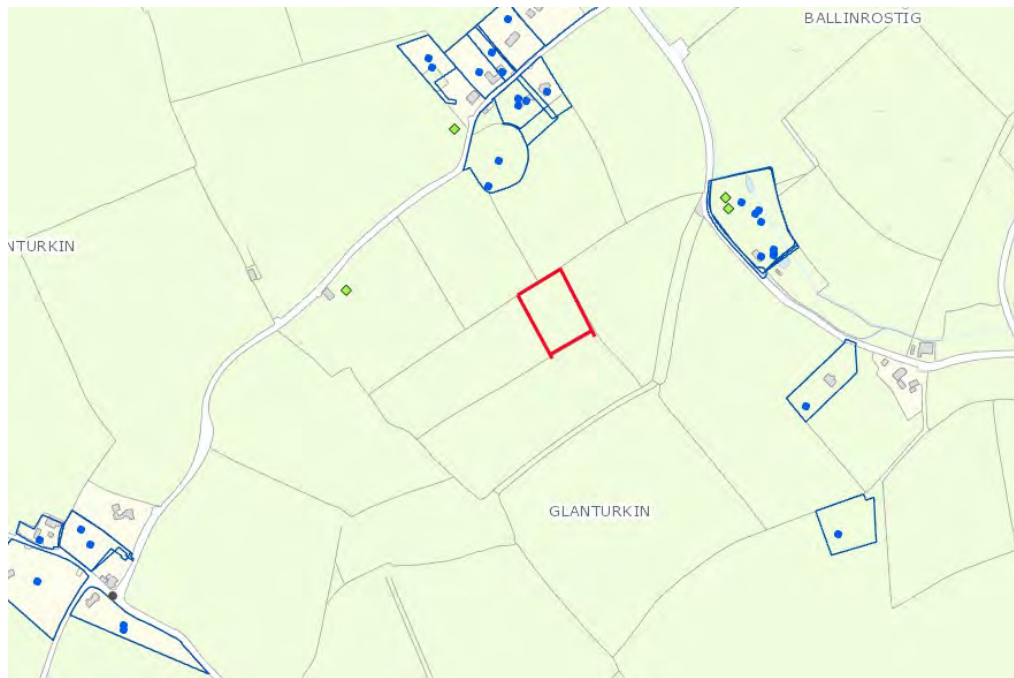


Fig. 2: Planning Enquiry System Map - approximate site boundary outlined in red



Fig. 3: Google Streetview (Aug 2022) at existing farm entrance

4. Legislative Context

Planning and Development Act 2000, as amended:

Section 3 (1) states:

"In this Act, "development" means, except where the context otherwise requires, the carrying out of works on, in over or under land, or the making of any material change of use of any structures or other land."

Works "includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal".

Section 4 (2) of the Act provides that the Minister may, by regulations, provide for any class of development to be exempted development. The main regulations made under this provision are the Planning and Development Regulations 2001-2023.

Planning and Development Regulations 2001-2023:

Article 6(1) of the Regulations states as follows: *“(a) Subject to article 9, development consisting of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.”*

Article 9 (1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development.

Schedule 2, Part 3 of the Planning & Development Regulations 2001-2023:

CLASS 6	Conditions/limitations
<p>Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.</p>	<ol style="list-style-type: none"> 1. No such structure shall be used for any purpose other than the purpose of agriculture. 2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate. 3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution. 4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road. 5. No such structure within 100 metres of any public road shall exceed 8 metres in height. 6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof. 7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.

CLASS 8	Conditions/limitations
<p>Works consisting of the provision of roofless cubicles, open loose yards, self-feed silo or silage areas, feeding aprons, assembly yards, milking parlours or structures for the making or storage of silage or any other structures of a similar character or description, having an aggregate gross floor space not exceeding 200 square metres, and any ancillary provision for effluent storage.</p>	<ol style="list-style-type: none"> 1. No such structure shall be used for any purpose other than the purpose of agriculture. 2. The gross floor space of such structures together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate. 3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and the Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution. 4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road. 5. No such structure within 100 metres of any public road shall exceed 8 metres in height. 6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof. 7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.
CLASS 9	Conditions/limitations
<p>Works consisting of the provision of any store, barn, shed, glass-house or other structure, not being of a type specified in class 6, 7 or 8 of this Part of this Schedule, and having a gross floor space not exceeding 300 square metres</p>	<ol style="list-style-type: none"> 1. No such structure shall be used for any purpose other than the purpose of agriculture or forestry but excluding the housing of animals or the storing of effluent. 2. The gross floor space of such structures together with any other such structures situated within the same farmyard complex or complex of such structures or within 100 metres of that complex shall not exceed 900 square metres gross floor space in aggregate. 3. No such structure shall be situated within 10 metres of any public road. 4. No such structure within 100 metres of any public road shall exceed 8 metres in height. 5. No such structure shall be situated within 100

	<p>metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.</p> <p>6. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.</p>
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5. Assessment

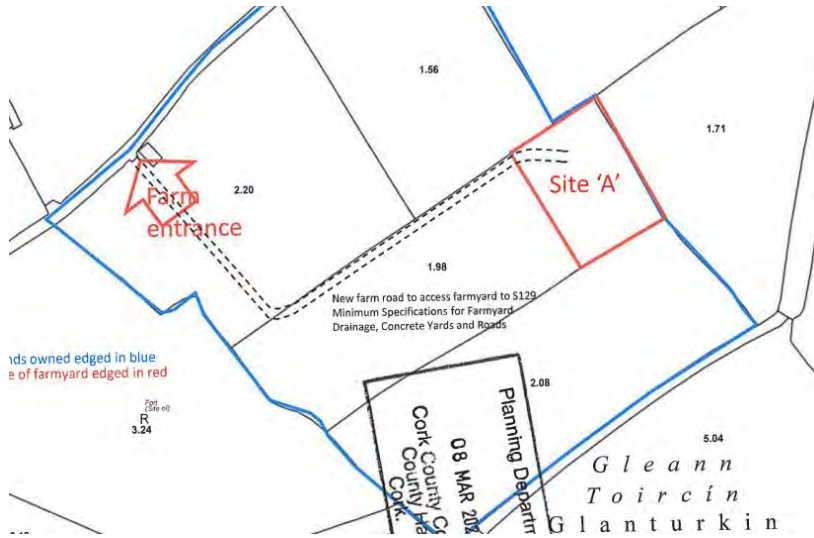


Fig. 4: Snippet of site location map

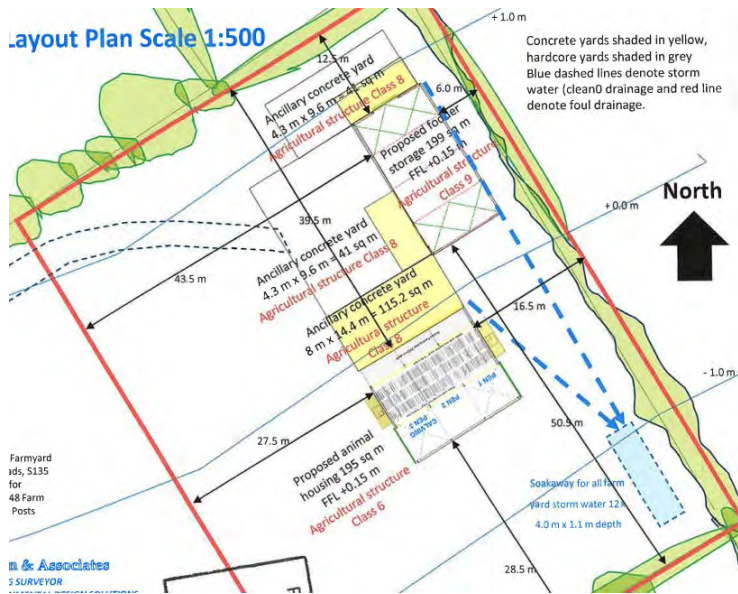


Fig. 5: Snippet of site layout plan

The query relates to (1) a slatted shed, (2) a fodder shed, and (3) three no. concrete yards. There is also a proposed farm road to access the new farmyard complex from the existing site entrance, which did not form part of the question asked in Section 3 of the application form. Each of these items will be examined in turn.

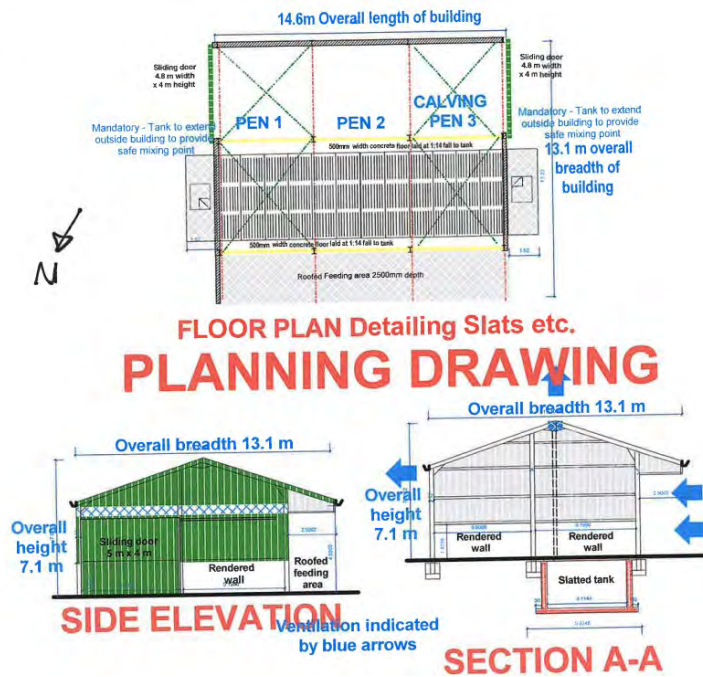


Fig. 6: Snippet of slatted shed drawing

Class 6 – Slatted shed

The proposed slatted shed has a stated gross floor area of 195m². The shed is more than 100m from a public road and any residential property or other place of public assembly. The propose external finishes comply with the requirement of Class 6. There is a slatted effluent tank underneath; however, the depth of this effluent tank has not been provided. The Environment Directorate requires the applicant to clarify this point in order to determine the overall capacity of this tank and whether the proposal meets Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements.

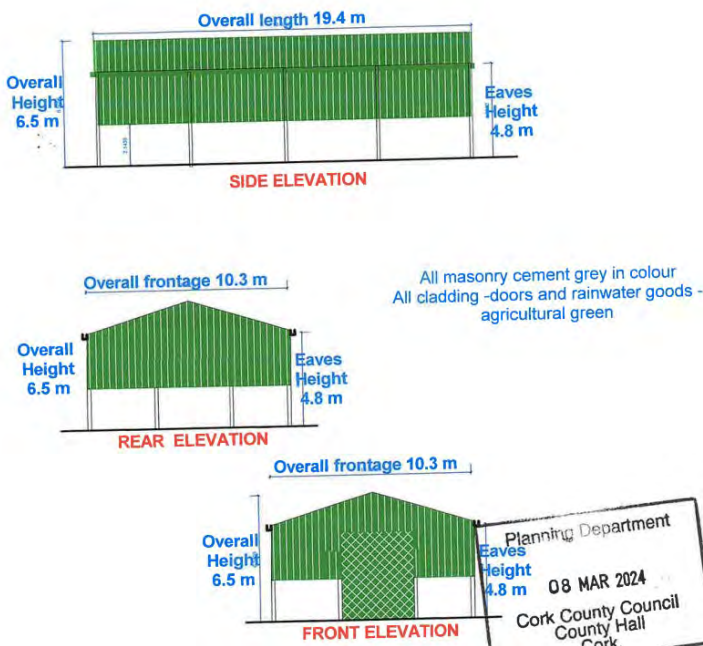


Fig. 7: Snippet of fodder shed drawing

Class 9 – Fodder shed

The proposed fodder shed has a gross floor area of 199m². The shed is more than 100m from a public road and any residential property or other place of public assembly. The proposed external finishes comply with the requirement of Class 9. I am satisfied that the proposed fodder shed complies with Class 9 of Schedule 2, Part 3 of the Regulations.

Class 8 – Open concrete yards

It is proposed to construct 3 no. open concrete yards with a total surface area of 197.4m². The applicant has not provided detail on these concrete yards other than stating they are 'ancillary concrete yard'. There is no effluent storage underneath. The drawings indicate surface water run-off from these yards is to be discharged to a new soakaway. It would therefore appear that these yards are not for feeding. The Environment Directorate requires that the applicant confirms there shall be no open soiled yards on the farmyard and an inspection chamber should be constructed on all surface water drains leaving the farmyard.

I refer to An Bord Pleanála's decision on ABP-300773-18 referral, where the matter of whether the structures under Class 6, Class 8 and Class 9 are required to be within an existing farmyard complex. In this case, the Bord ruled that the proposed agricultural structures did not need to be within an existing farmyard complex, rather the existing use of the lands needed to be in agricultural use. The subject lands are in agricultural use. Therefore, Classes 6, 8 and 9 do apply to a new farmyard complex on existing agricultural lands.

Access

While the road is not referenced in the application form, it is clearly referenced in the submitted letter, and some details of it are provided. We are satisfied that it appears to be part of the Section 5. The submitted Site Location Map states that the new farm road to access the farmyard will be constructed to S129 DAFM specification, which is for a concrete road construction. This access road is approximately 300m in length. The Environment Directorate has queried the specifications for this access road, whether it will be an unpaved farm track or constructed from concrete. The applicant should clarify this point and provide further details on the dimensions of this access road. Additionally, the applicant should specify what class of exempted development the access road applies to.

The potential intensification of the use of the site entrance as a result of the proposed agricultural structures would also need to be clarified by the applicant. The applicant would need to provide details on the how many daily vehicular manoeuvres currently occurs at this site entrance compared to how many will occur once the proposed agricultural structures are constructed. The applicant should clarify whether there are any proposed changes to the existing farm entrance.

Archaeologist's comments

There are recorded monuments in proximity to the subject site: CO100-009001 Ringfort (south) and CO100-009002 souterrain (north). Annette Quinn, County Archaeologist, has advised that the Section 5 application as presented does not proposed works that would result in the excavating, altering or demolishing of either of these archaeological monuments, nor is the proposed development site located within the Zone of Archaeological Potential for the nearby National Monuments. Therefore, it is considered that Article 9 (1)(a) (viiA) of the Planning and Development Regulations 2001 -2023 does not apply to this Section 5 Application.

6. AA/ EIA

Section 4(4) of the Act essentially de-exempts any development which attracts a requirement for Environmental Impact Assessment (EIA) or Appropriate Assessment (AA).

In relation to EIA, Part 2 of Schedule 5 lists development which may require EIA for the purposes of Part 10 of the Planning and Development Act. Having considered that detail I am satisfied the proposal does not trigger any requirement for mandatory or sub-threshold EIA.

Similarly, and having regard to the nature of the proposal and the distance to Natura 2000 site, I am satisfied that requirement for AA is not warranted having regard to the scale and nature of the proposal and lack of any physical or hydrological connection between the development site and any European Site.

7. Recommendation

In considering this referral, and having had regard particularly to –

- (a) Section 2(1), 3(1), 4(2), 4(4) of the Planning and Development Act, 2000, as amended,
- (b) Articles 3, 6 and 9 and Class 6, 8 and 9 of Schedule 2, Part 3 of the Planning and Development Regulations, 2001 -2023,

The Planning Authority has concluded that:

Further information is required as per the following:

1. The applicant shall clarify the depth of the proposed slatted effluent tank. Note that the livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.
2. The applicant shall confirm there will be no open soiled yards on the concrete farmyard.
3. An inspection chamber shall be constructed on all surface water drains leaving the farmyard. Please submit a detailed drawing of same.
4. The applicant shall clarify whether the access roadway to the new farmyard complex is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199) and provide detailed dimensions for the access roadway.
5. In a situation where the applicant considers the access roadway to be exempted development, please identify what class of exempted development the applicant is invoking.
6. The applicant shall provide details on the how many daily vehicular manoeuvres currently occur at the existing farm entrance compared to how many will occur once the proposed agricultural structures are constructed.

7. Please clarify whether there are any proposed changes to the existing farm entrance.

Claudine Mahu
Assistant Planner
08/04/2024

Application for Planning Exemption

Reference: D/216/24

Applicant: Therese O'Connell

Address: Glanturkin, Whitegate, Co. Cork

Date: 13th March '24

By: Kevin Murphy

Existing Site

Ms O'Connell is the registered owner of a 7.98Ha landholding within which it is proposed to construct the new farmyard. There is no existing farmyard, other than a derelict building near the entrance to the site, or residential property on the landholding.

A watercourse at approx. 200m to the east flows south to the sea at Ballintra West.

Details of Application

The application for planning exemption relates to the construction of:

- An approx. 300m length of farm roadway from the existing agricultural entrance to the site of the proposed farmyard.
- A 195m² livestock house with slatted slurry tank (Class 6 agricultural structure)
- A 199m² fodder store (Class 9 agricultural structure)
- Open yard areas totalling approx. 197m² (Class 8 agricultural structure).

It is stated that the new farm road is to be constructed to S129: Minimum Specification for Farmyard Drainage, Concrete Yards and Roads i.e. a concrete road.

An approx. 17.5m x 4.1m x unspecified depth slatted slurry tank is to be constructed under the proposed livestock house. There is to be a covered feed rail along the north side of the building. No information has been provided regarding the number of animals to be housed but, based on the dimensions of the tank, the effluent storage facilities should be adequate for the number of livestock.

It is proposed to construct 3 no. open concrete yards. Surface water runoff from these yards is to be discharged to a soakaway.

The farmyard is to be served by a mains water supply.

The nearest dwelling houses are at approx. 200m from the proposed farmyard.

Assessment

- Farm road – it appears from the application that it is proposed to construct a concrete roadway (DAFM specification S129), approx. 300m in length, from the public road to the new farmyard. An unpaved farm road (DAFM specification S199) may be more appropriate. CCC Planning to determine whether this is an exempt development.
- The proposed cattle shed appears to comply with the Conditions and Limitations for a Class 6 structure. The cattle shed and slatted slurry tanks should be constructed in compliance with Dept. of Agriculture, Food and the Marine specification S.123: Minimum Specification for Bovine Units and Reinforced Tanks.
- The proposed fodder store appears to comply with the Conditions and Limitations for a Class 9 structure.
- The 3no. concrete areas are aprons associated with proposed sheds and traffic movements rather than soiled yards for the handling, feeding or holding of livestock. No effluent should be generated on these yards so the collection of runoff to effluent storage facilities is not required.

Conclusions

I have no objection to the proposed development on environmental grounds. I recommend that:

1. The Applicant should be asked to clarify whether the access roadway is to be concreted (DAFM specification S129) or unpaved (DAFM specification S199).
2. The Applicant should be asked to clarify the depth of the proposed slatted effluent tank. The livestock house and slatted tank should be constructed to DAFM specification S123: Minimum Specification for Bovine Units and Reinforced Tanks.
3. There should be no open soiled yards on the farmyard.
4. An inspection chamber should be constructed on all surface water drains leaving the farmyard.

END

Christopher Kinghan & Associates

CHARTERED BUILDING SURVEYOR
ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720.

Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Our Ref: CK/Cork/ TO'C Your Ref:

Cork County Council
Planning Policy Unit,
Floor 13, County Hall,
Carrigrohane Road,
Cork.

Dear Sirs,

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, Slatted shed and a General-Purpose Storage shed and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using public road entrance at Glanturkin, Whitegate, Cork.

In connection with the above planning application we enclose the following documentation:-

Schedule of Documentation

Note all 1 copy unless stated

- > Planning fee €80 - Paid by phone
- > Contact details

Note all 4 copies unless stated

- > Application form
- > Letter re- Planning History & Source of water supply.
- > Site Location Map Scale 1:2,500
- > Proposed Farm/Site Layout Plan + contours and Notes Scale 1:500
- > Construction Drawings for general purpose storage shed for agricultural use Scale 1:200
- > Construction drawing for slatted shed scale 1:200
- > Standard specification and Safety notes
- > Soakaway SUDS drawing Not to scale.
- > Desktop Study - EU Natura impact statement Stage 1 - Statement of Screening for Appropriate Assessment of a nearby Natura designated site. & Organic Waste Nutrient Management Plan for the purpose of Planning Applications for Agricultural Development in accordance with Good Agricultural Practice Regulations Statutory Instrument No. 610 of 2010 -> Not Applicable
- > Nutrient management mapping / land Ownership maps Scale 1:2,500 and 1:10,560 For information purposes only.

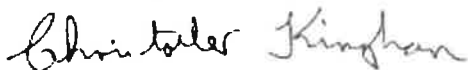
Planning Department

08 MAR 2024

Cork County Council
County Hall
Cork.

We trust the above documentation is satisfactory and look forward to your favourable decision.

Yours faithfully,



Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.
Chartered Building Surveyor

Christopher Kinghan & Associates

CHARTERED BUILDING SURVEYOR
ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS
Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720.
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Planning history letter.

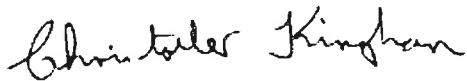
The applicant has recently purchased this farm and farms all the lands shown on the Nutrient management mapping. The proposed development will be solely for agricultural use only.

The applicant has no agricultural planning history. The new farm facilities will be constructed strictly in accordance with the Department of Agriculture TAMS 3 specifications.

The applicant is the owner of the lands and the only neighbour that is within 100 metres of the proposed works.

The farm will be served by mains water supply. There are no dwellings, farmyards wells or septic tanks positioned within 100 meters of this proposed farmyard.

Yours faithfully,



Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.
Chartered Building Surveyor

Planning Department

08 MAR 2024
Cork County Council
County Hall
Cork.



CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION

APPLICANT CHECKLIST

(Please tick ✓)

- 4 No. Copies of Application Form:
- 1 No. Copy of Contact Details:
- 4 No. Copies 6" O.S. Maps:
- 4 No. Copies 25" O.S. Maps:
- 4 No. Copies of Site Layout Plan:
- 4 No. Copies Scaled Drawings of Development:
- €80 Application Fee:

FOR OFFICE USE ONLY

Receipt No.	P2-0002356
Cash/Cheque/ Credit Card	CARD
Date	08/03/2024
Declaration Ref. No.	D/216/24



DATE STAMP HERE

You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3rd parties to view.

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

DATA PROTECTION

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to dpo@corkcoco.ie or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.

1. NAME OF APPLICANT: (ADDRESS TO BE SUPPLIED AT QUESTION A – CONTACT DETAILS)

Therese O'Connell.

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION OF EXEMPTION IS SOUGHT:

Glanturkin, Whitegate, Cork

Planning Department
08 MAR 2024
Cork County Council
County Hall
Cork.

3. QUESTION/DECLARATION DETAILS:

Please state the specific question for which a Declaration of Exemption is sought
Note: Only works listed and described under this section will be assessed under the Section 5 Declaration of Exemption

are slatted shed class 6 ---195 sq m for animal housing, fodder shed 199sq m Class 9
and three areas of concrete yard class 8 total area 197.4 sq m exempted development, no other buildings
for hunman habitation or farmyards are within 100 meters of the development.

4. APPLICATION DETAILS:

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m²)

(a) Floor area of existing/proposed structure(s):	Buildings 195 sq m and 199 sq m
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 st October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable If yes, please provide floor areas (m ²) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following: Existing/previous use _____ _____ _____	Not Applicable Proposed use _____ _____ _____
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> No If yes, please state relevant reference number(s):

Planning Department

 08 MAR 2024

 Cork County Council
 County Hall
 Cork.

5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input checked="" type="checkbox"/> Yes	B. Other <input type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:		
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):		

6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> No
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please state relevant reference No. _____
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> X

7. APPROPRIATE ASSESSMENT:

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes No No effect

8. DATA PROTECTION DECLARATION:

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Processing of your Declaration of Exemption application by the Planning Authority

I give permission for my personal information to be processed for the purpose stated above

Signed (By Applicant Only)	<i>Christopher Kinghan</i>
Date	28/02/2024

GDPR Special Categories of data / Sensitive Personal data - Explicit Consent

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation



In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Sensitive personal data being submitted in support of Declaration of Exemption Application

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	<i>Christopher Kinghan</i>
Date	28/02/2024

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: planninginfo@corkcoco.ie or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: westcorkplanninginfo@corkcoco.ie However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.

ADVISORY NOTES:

The application must be accompanied by the required fee of €80

The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.

9. **I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:**

Signed (Applicant or Agent as appropriate)	<i>Christopher Kinghan</i>
Date	28/02/2024



Christopher Kinghan & Associates

CHARTERED BUILDING SURVEYOR
ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS
Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720.
Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, Slatted shed and a General-Purpose Storage shed for fodder and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using existing public road entrance at Glanturkin, Whitegate, Cork.

SPECIFICATION & HEALTH AND SAFETY PLAN TO BE READ IN CONJUNCTION WITH ALL PLANNING AND CONSTRUCTION DRAWINGS SPECIFICATION

NOTE : The written specification takes precedence over the drawings – obviously there is far greater construction detail in the written specifications and this detail needs to be met in its entirety. There are various methods to attain structural compliance, ventilation and natural lighting rules. This does not affect the overall building appearance nor does it affect overall dimensions of a building from a Planning compliance viewpoint.

For grant aided work it is an important condition of the grant that the buildings are exactly in the position and the size set out in the drawings associated with the planning application or exemption. Failing to meet this condition jeopardises all the grant monies. Note: All materials used in the construction of buildings to this specification shall be sourced as new.

A simplified sketch can be provided to the builder showing the critical dimensions for setting out the project on request from the Architect. ALL PROPOSED BUILDINGS MUST BE CONSTRUCTED EXACTLY IN THE POSITION AGREED BY THE GRANT OF PLANNING PERMISSION

Farm buildings can be dangerous and specialist work – all builders need to have a full understanding of the Department of Agriculture's specifications.

All elements of construction work to comply with the conditions set out in the Planning Permission or Exemption Notice, Irish Building regulations and the current DEPARTMENT OF AGRICULTURE AND FOOD specifications as follows:-

Dept of Agriculture Farm Building and Structures Specifications

- Health and Safety Guide for Construction Works (pdf 398Kb)
- Listing of dates of when specifications were updated - 30 November 2018 (pdf 133Kb)

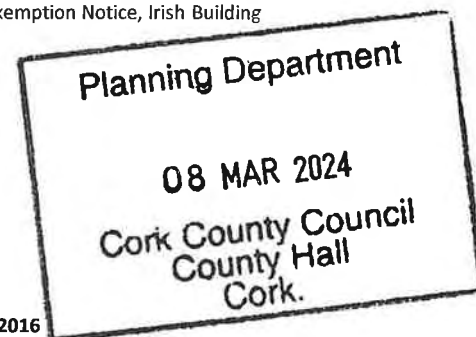
Specifications

- S100 Concrete Specification - October 2015 (doc 99Kb)
- S.101 Minimum Specifications for the structure of Agricultural Buildings - July 2016
- S.101A Non-Load Bearing Wall Panels for use in Cattle and Sheep Houses - May 2019
- S.101D Accepted Safety Grids for Under Translucent Sheets - January 2017
- S.102 Minimum Standards for Roof Cladding and Side Cladding – October 2022
- S.123 Specification for Bovine livestock units and reinforced tanks October 2022
- S.129 Minimum Specifications for Farmyard Drainage, Concrete Yards and Roads - January 2016
- S.135 Screening Belts and Shelter Belts for Farmyards and Farmbuildings - November 2008
- S.138 Minimum specification for grant aided Calving gates and mobile cattle crushes August 2017
- S.148 Minimum specification for farm fencing August 2019
- S.148A Accepted Fencing Posts – May 2022
- S.199 Minimum specification for farm roadways. January 2021

And all other relevant standard specifications from the same source. In all instances the latest available revised specification is to be used.

Note: These specifications are flexible in that they set out various methods of construction. They are the minimum standard acceptable for grant aided works. Where there is a conflict with the drawings the standards set out in these specifications super-cedes the drawings. Construction details in the working drawings are only suggested methods of construction. Provided the contractor has the agreement of the client and Architect, does not change outer appearance of a building/ or the external dimensions, the Contractor is free to choose any construction method that complies with Dept. of Agriculture standards.

Construction details in the working drawings are only suggested methods of construction. Provided the contractor has the agreement of the client and Architect, does not change outer appearance of a building/ or the external dimensions, upon which the Planning permission is based, and the critical internal dimensions upon which the grant aid is based, then the Contractor is free to choose any construction method that complies with Dept. of Agriculture standards.



But, if there is any doubt as to eligibility of any change it is the contractor's responsibility to check with the Dept. of Agriculture and approve the change as otherwise the Dept. may impose financial penalties on the client/employer.

**The specifications are all available online and copies can also be obtained from the Architect.
If explanation or clarification is required on any matter you are welcome to contact the Architect at any time.**

Checking Ground conditions

Prior to making the grant application, or commencing construction if there is no grant, it is the farmer/ building contractor's responsibility to ascertain ground conditions in the vicinity of the proposed building or tank i.e. dig 2 no. trial holes (outside but in the vicinity of the footprint of the works) at a minimum depth of 3.0m and check the is no bed rock.
It is extremely difficult to alter the design once work has commenced and excavating in rock is often NOT financially justifiable.

These trial holes should be fenced off, stepped in construction to enable anyone who falls in to climb out and left open for 48 hours to ascertain the water table – It may be necessary to agree a method of keeping the excavations free of water whilst constructing the works.

DESIGN OF TANKS

General Design

A minimum of 16, 18, 20 or 22 weeks storage shall be provided in all new and converted structures in line with the requirements of S.I. 788 of 2005 European Communities (Good Agricultural Practice for Protection of Waters) Regulations and any subsequent amendments to the regulations. However, where the Local Authority has specified a higher winter storage period, then this must be complied with.

General note for Buildings over slatted tanks (where applicable)

Walls shall not be built directly onto slats under any circumstances. As walls are not mandatory in most houses steel barriers may instead be installed across the gable end of a building, with or without steel cladding. Prefabricated concrete wall panels may also be installed (Clause B9.2 in S.101), positioned at least 10mm above the top of the slats. If it is decided to install a blockwork or mass-concrete gable wall, then it shall be positioned on a supporting beam. This beam may either be prefabricated, or constructed on site and shall have at least 150 mm support at each end. If it is decided to extend the slats under the beam, there shall be a gap of at least 10mm between the beam and the top of the slats. In all circumstances there shall be sufficient space outside the house to install a 1.2m wide slab or manhole slat on the walls of the extended tank.

Where a wall is erected on a tank wall, the tank wall shall be wide enough to carry the full width of wall and provide a full slat bearing of 150mm. Where walls are 200mm, 350mm (min.) tank walls are necessary.

SAFETY AND HEALTH PLAN

FOR SAFETY DURING CONSTRUCTION

Also refer to Dept. of Agriculture Health and Safety Guide including Form AF1

This document is not part of the planning documentation but is prepared and given to the client at the time of planning submission. It is available to the planning Authority on request.

NOTE: The ESB will be notified by the applicant to move any of their installations which /if they impact on this development following grant of planning permission (usually within 10 metres of the development and applicable in this case).

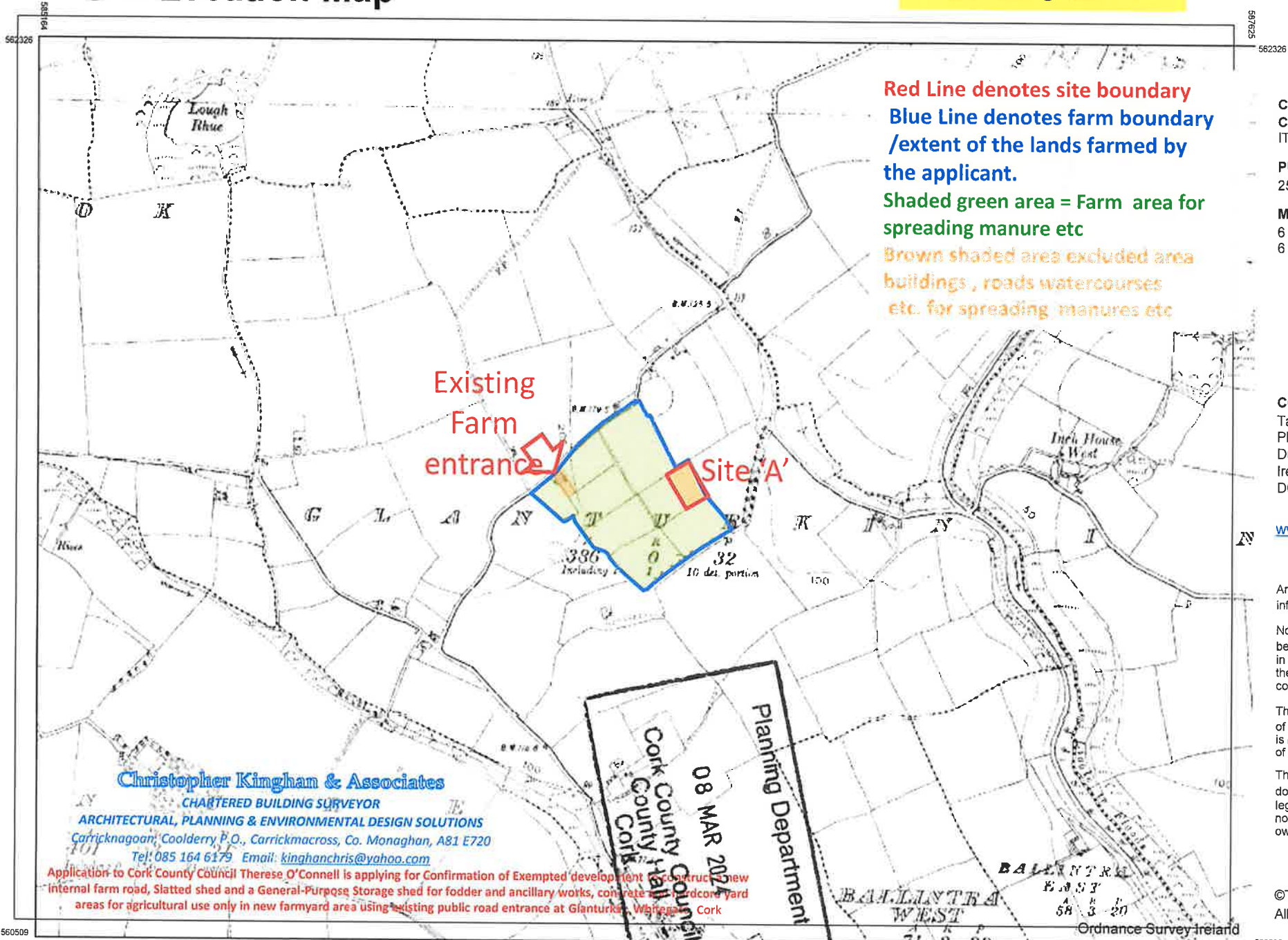


Site Location Map

Nutrient management Plan 2



Tailte Éireann



Red Line denotes site boundary
Blue Line denotes farm boundary
/extent of the lands farmed by the applicant.
Shaded green area = Farm area for spreading manure etc
Brown shaded area excluded area buildings, roads watercourses etc. for spreading manures etc

Existing Farm entrance
 Site 'A'

CENTRE COORDINATES:
 ITM 586395,561418
PUBLISHED: 25/01/2024
ORDER NO.: 50379407_1
MAP SERIES: 6 Inch Raster
MAP SHEETS: CK088 CK100+100A

COMPILED AND PUBLISHED BY:
 Tailte Éireann,
 Phoenix Park,
 Dublin 8,
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 D08F6E4

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ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

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Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, Slatted shed and a General-Purpose Storage shed for fodder and ancillary works, concrete and tarmac yard areas for agricultural use only in new farmyard area using existing public road entrance at Gianturk, Whitegate, Cork

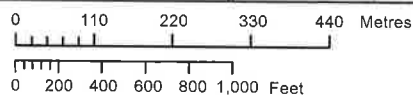
Planning Department
 08 MAR 2022
 Cork County Council
 Cork County Hall
 Cork

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LEGEND:

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OUTPUT SCALE: 1:10,560

560509

561504

560509

561504

Planning Pack Map

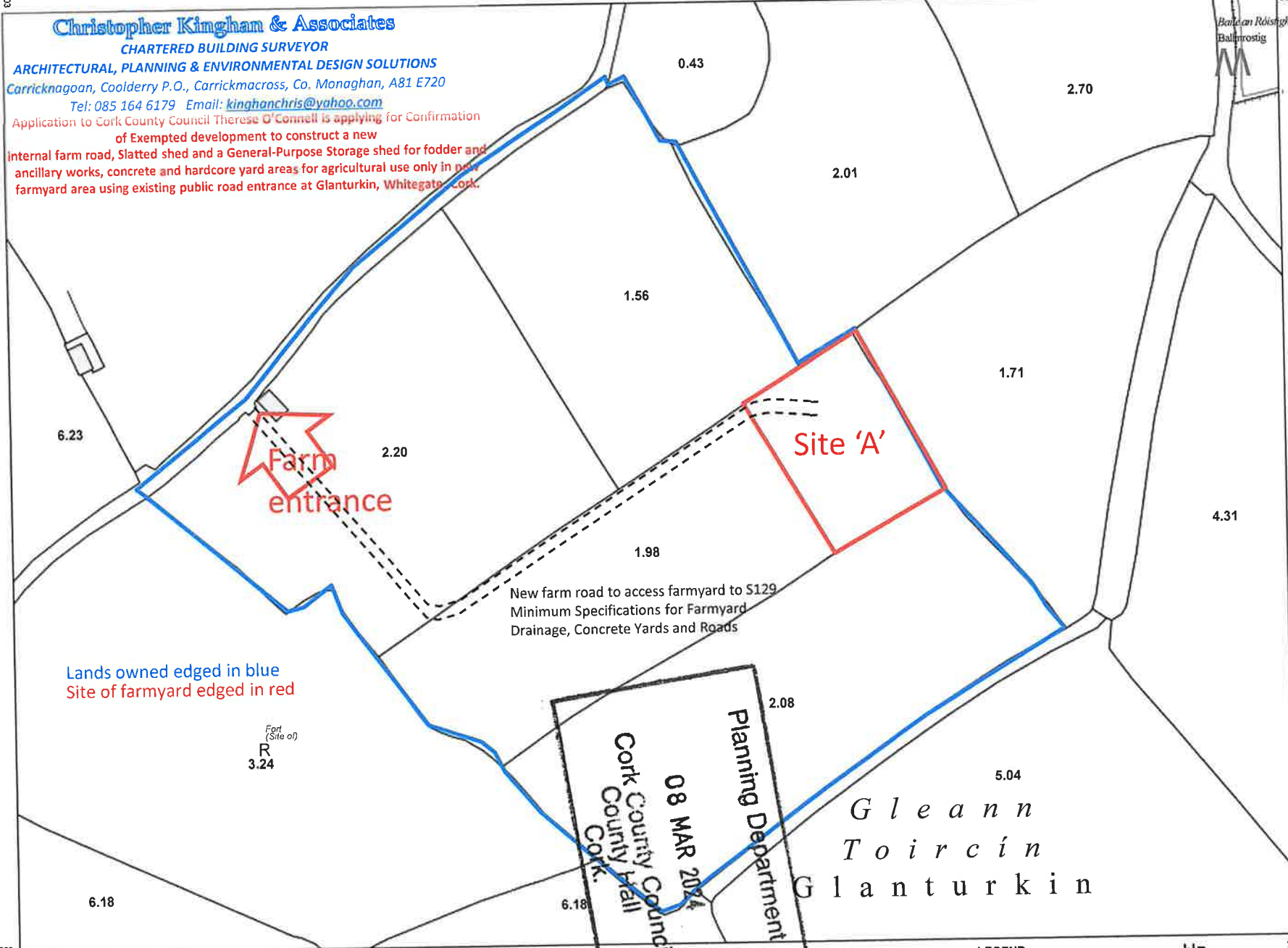
Site Location Plan Scale 1;2,500



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CENTRE COORDINATES:
ITM 586395,561418
PUBLISHED: 25/01/2024
ORDER NO.: 50379407_1
MAP SERIES: 1:2,500
MAP SHEETS: 6513-D

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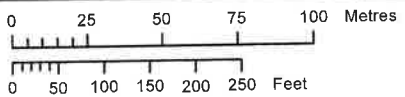
www.tailte.ie

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LEGEND:
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Cork County Council
08 MAR 2024
Planning Department
Cork County Hall
Cork.

Gleann Toircín
Glanturkin

Planning Pack Map

Nutrient management Plan 1



Tailte Éireann

CENTRE COORDINATES:
ITM 586395,561418

PUBLISHED: 25/01/2024
ORDER NO.: 50379407_1

MAP SERIES: 1:2,500
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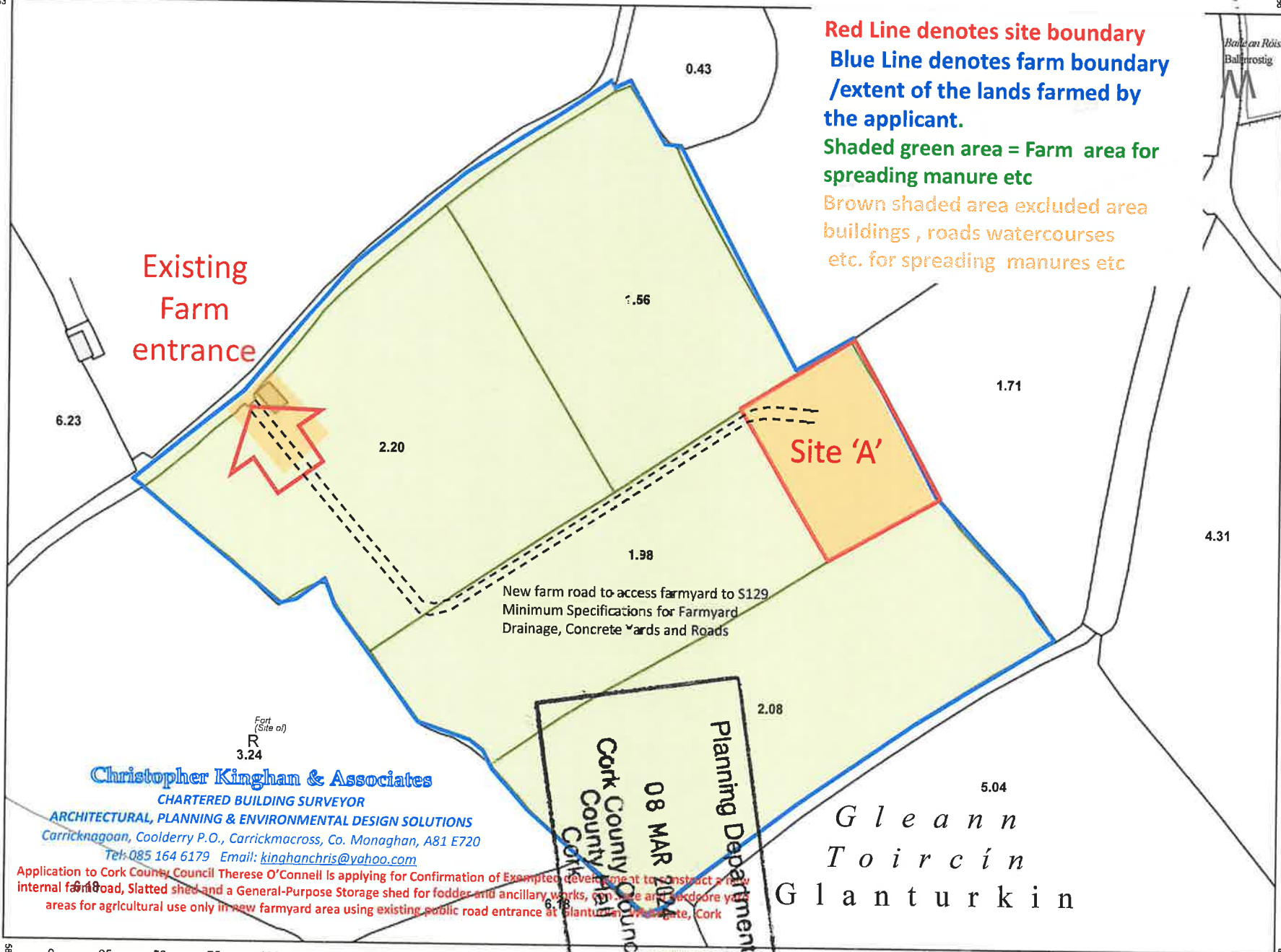
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Blue Line denotes farm boundary /extent of the lands farmed by the applicant.
Shaded green area = Farm area for spreading manure etc
Brown shaded area excluded area buildings , roads watercourses etc. for spreading manures etc



New farm road to access farmyard to S129
Minimum Specifications for Farmyard
Drainage, Concrete Yards and Roads

Site 'A'

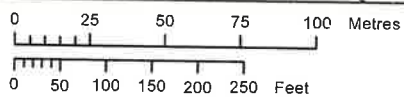
Existing Farm entrance

Gleann Toircín Glanturkin

08 MAR 2024
Cork County Council
Planning Department

Christopher Kinghan & Associates
CHARTERED BUILDING SURVEYOR
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Tel: 085 164 6179 Email: kinghanchris@yahoo.com

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OUTPUT SCALE: 1:2,500

CAPTURE RESOLUTION:
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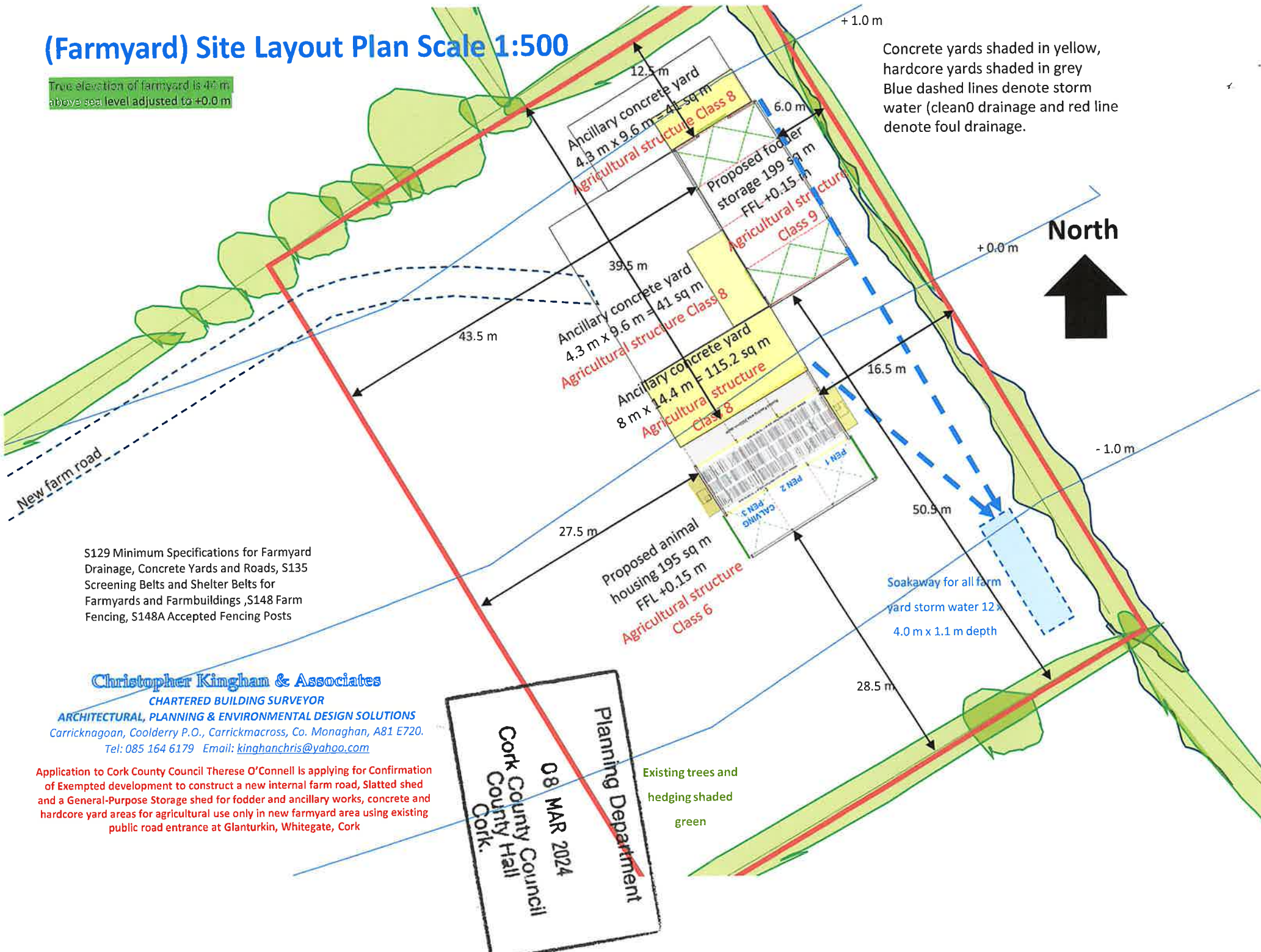


561633
586395
561203
586395

(Farmyard) Site Layout Plan Scale 1:500

True elevation of farmyard is 49 m above sea level adjusted to +0.0 m

Concrete yards shaded in yellow, hardcore yards shaded in grey
Blue dashed lines denote storm water (clean) drainage and red line denote foul drainage.



S129 Minimum Specifications for Farmyard Drainage, Concrete Yards and Roads, S135 Screening Belts and Shelter Belts for Farmyards and Farmbuildings, S148 Farm Fencing, S148A Accepted Fencing Posts

Christopher Kinghan & Associates

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Existing trees and hedging shaded green

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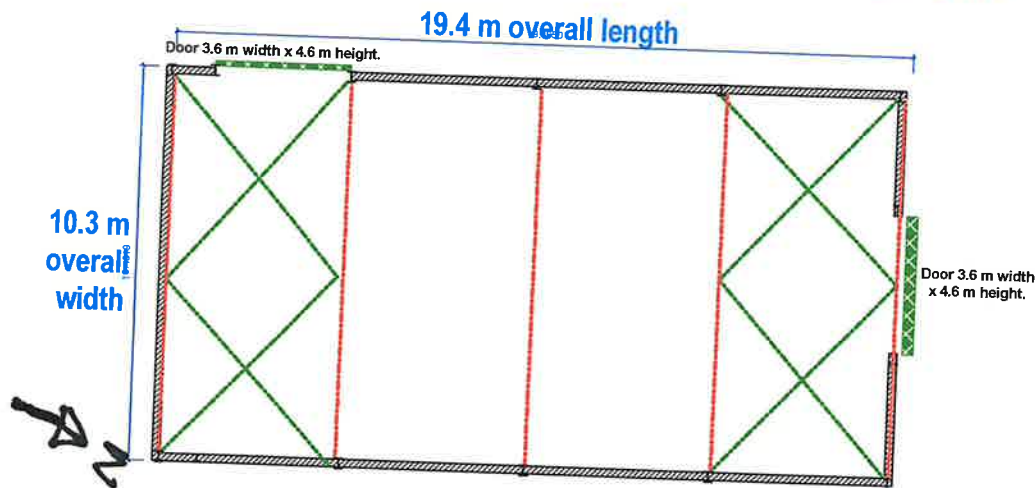
SITE LAYOUT PLAN NOTES

Please read in conjunction with desktop study and drawing

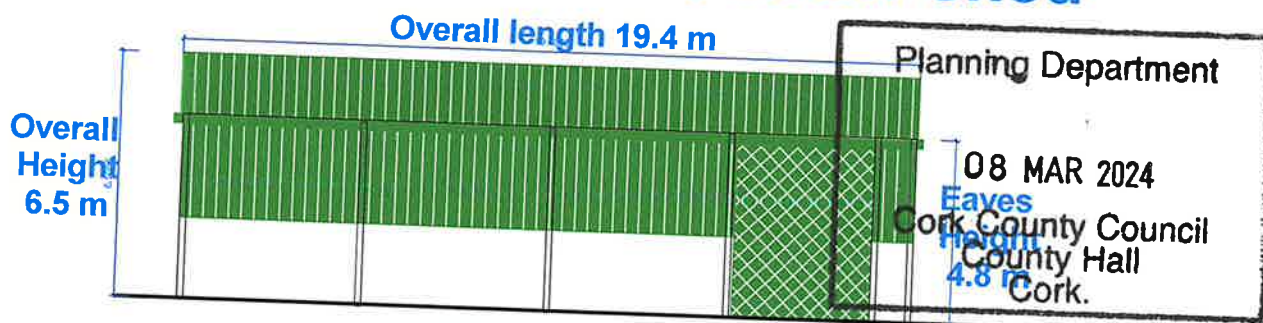
- 1) **SETTING OUT** - **Point A *** is an exact fixed point on the drawing from which all proposed buildings can be set out
- 2) Full surface water and effluent drainage facilities are to be provided throughout the farm yard in accordance with **Department of Agriculture Specification S129 Farmyard drainage, concrete yards and roads.**
- 3) All uncontaminated surface waters from all existing and proposed buildings, roofs and yards shall be separately collected, kept clean and piped directly by an impermeable system to soakaways or to the land drains system as indicated on the Site Layout Plan drawing. Uncontaminated drainage is signified on the drawing by a broken/dotted blue line.
- 4) Contaminated surface water i.e. soiled yard water, and all other effluents including silage effluents **shall not be** allowed to enter drains or waterways. Such effluents shall be directed to slatted tanks or effluent holding tanks. In instances where silage effluent is to be stored, the concrete specification for the holding tank needs to be upgraded accordingly. Contaminated drainage is signified on the drawing by a broken/dotted red line.
- 5) All effluent/slurry holding tanks shall be constructed so that groundwater is prevented from entering said tanks.
- 6) All material waste generated during construction, including any waste waters, shall be recovered and disposed of properly in accordance with the Waste Management Acts 1996-2008. With the exception of excavated material from the site which can be re-used within the applicant's farm boundary.
- 7) All solid manure from existing and proposed buildings is to be stored undercover in a purpose designed covered Manure Pit to be spread on the land in the spreading season.
- 8) Main plan dimensions (for validation purposes) are shown for all new buildings.
- 9) The Site boundary is depicted by a solid red line - it is a notional boundary/ not a legal boundary for planning purposes only.
- 10) The position of the site notice is shown on plan, as the site is a considerable distance from the public road an additional notice is located on the public road accordingly.
- 11) It is not intended to screen existing farmyards with hedging.



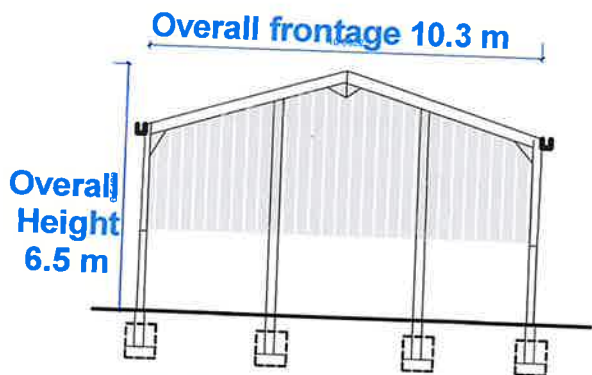
ELEVATIONS & PLAN DRAWINGS Scale 1:200



FLOOR PLAN 199 sq m **General Purpose/
Fodder shed**



SIDE ELEVATION



SECTION A-A (Cross-Section)

**ALL DRAWINGS MUST BE READ
IN ACCORDANCE
WITH SAFETY NOTES AND SPECIFICATION
SPECIFICATION TAKES PRECEDENCE
NATURAL VENTILATION AND NATURAL
LIGHTING TO MEET MINIMUM
REQUIREMENTS AS LAID DOWN IN DEPT
OF AGRICULTURE SPECIFICATIONS**

Application to Cork County Council Therese O'Connell is applying for Confirmation of Exempted development to construct a new internal farm road, Slatted shed and a General-Purpose Storage shed and ancillary works, concrete and hardcore yard areas for agricultural use only in new farmyard area using public road entrance at Glanturkin, Whitegate, Cork

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Email: kinghanchris@yahoo.com

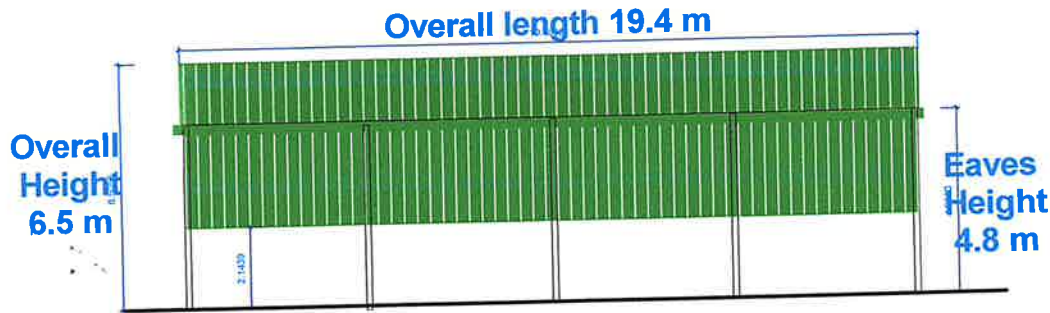
Planning Department

08 MAR 2024

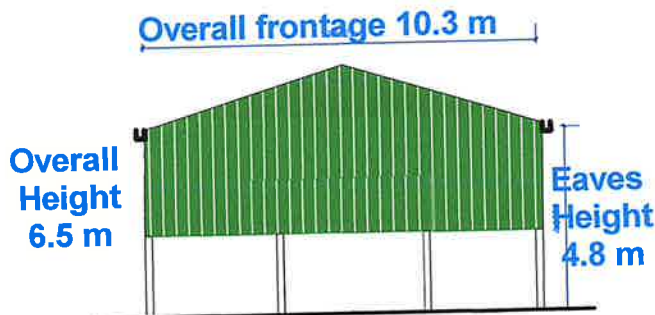
Eaves
Height
4.8 m
Cork County Council
County Hall
Cork.

ELEVATIONS & PLAN DRAWINGS Scale 1:200

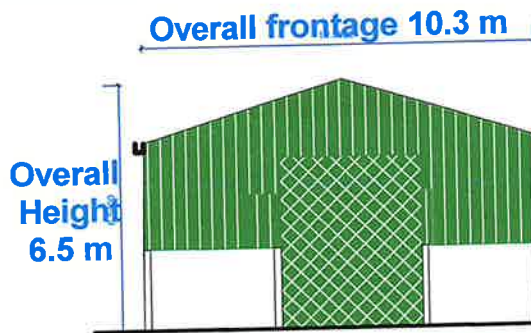
General Purpose/ Fodder shed



SIDE ELEVATION

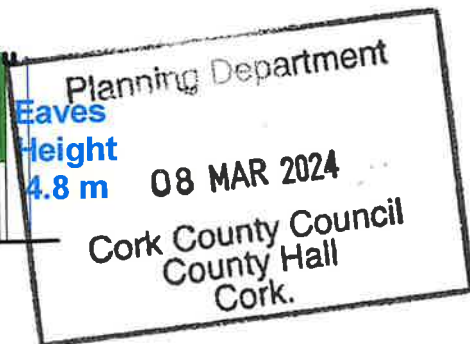


REAR ELEVATION



FRONT ELEVATION

All masonry cement grey in colour
All cladding - doors and rainwater goods -
agricultural green



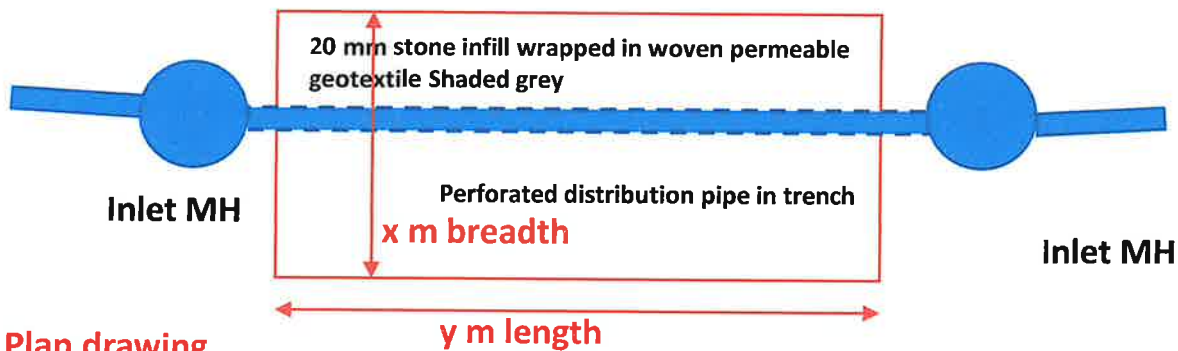
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SUDS Soakaway trench design Schematic only.

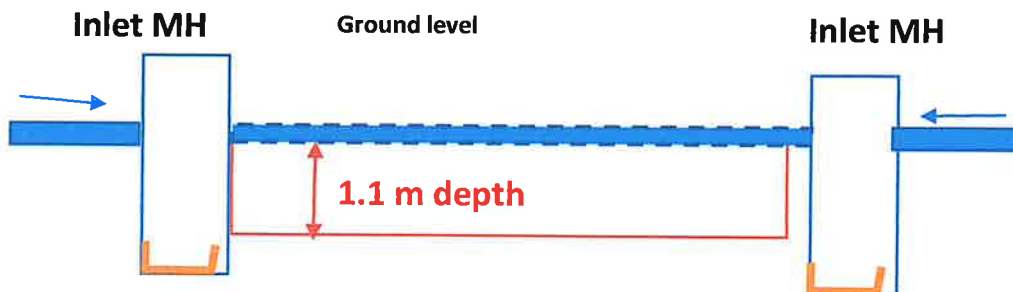
Not to scale.



Plan drawing

length breadth depth dimension determined in calculations
 And actual soakaway dimensions detailed on Site (Farmyard) Layout Plan.

20 mm stone infill wrapped in woven permeable geotextile Shaded grey



Section drawing

Construct 1.2 m diameter inlet chambers as Silt trap ie. 0.3 m below bottom of trench. Removable collection pans for silt to each side of the trench



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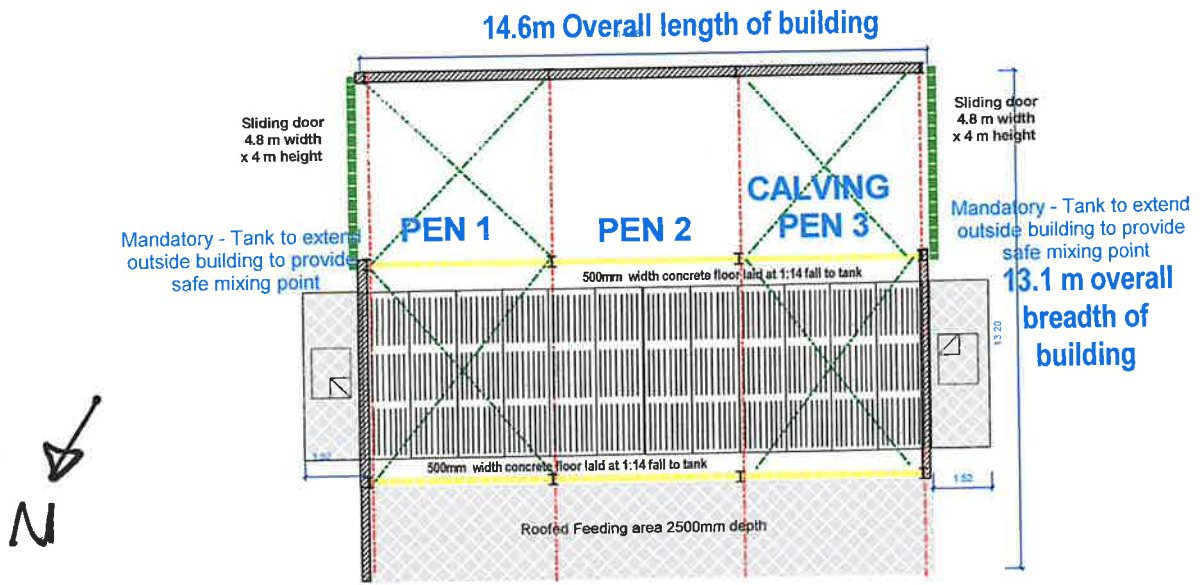
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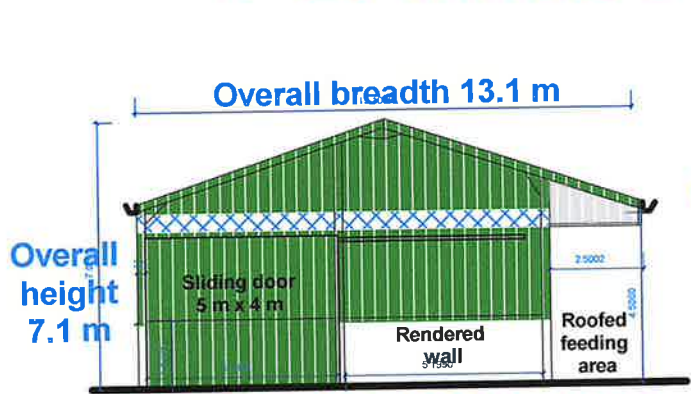
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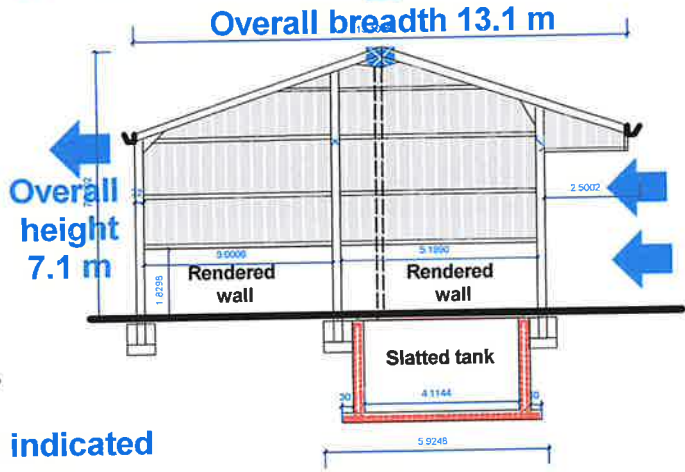


FLOOR PLAN Detailing Slats etc.

PLANNING DRAWING



SIDE ELEVATION



SECTION A-A

ELEVATIONS & PLAN DRAWINGS Scale 1:200

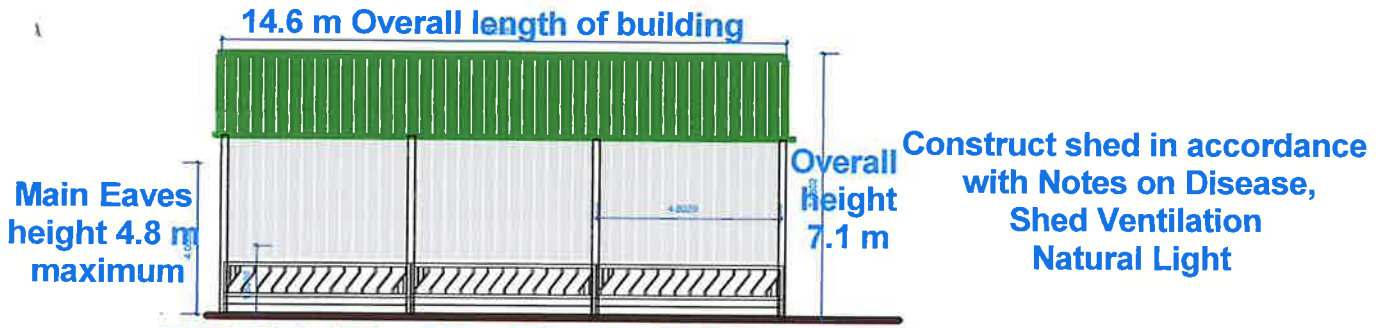
SLATTED / LOOSE CATTLE SHED 195 sq m

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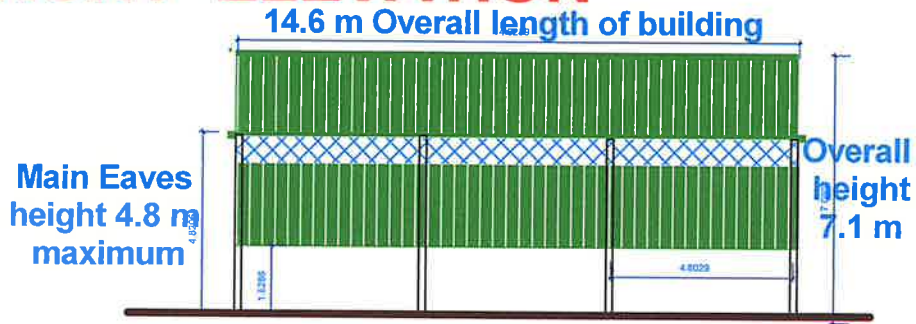
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 Carrigrohane, Co. Kerry P.O. Carrigrohane, Co. Monaghan, AS1 E72D.
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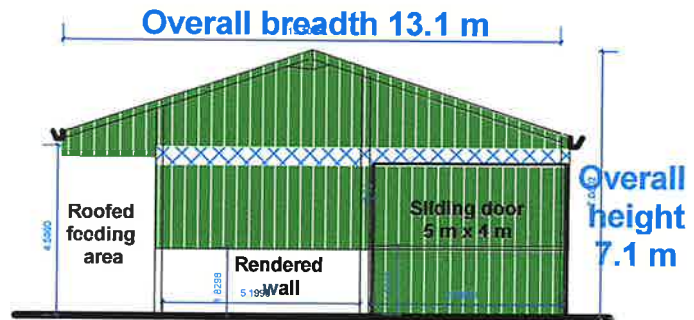


FRONT ELEVATION



REAR ELEVATION

PLANNING DRAWING



SIDE ELEVATION

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