

Valleyport Limited,  
C/O Piersa O'Kelly,  
RDF Architects & Planning,  
Office 7, Charleville Town Centre,  
Bakers Road,  
Charleville,  
Co. Cork

4<sup>th</sup> March, 2025

REF: D/210/25  
LOCATION: Longueville House, Longueville, Ballyclough, Co. Cork P51 WD88

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE  
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Sir,

On the basis of the information submitted by you on 5<sup>th</sup> February, 2025 the Planning Authority, having considered whether the proposed fire performance upgrade works namely (a) Upgrade existing lath and plaster ceilings to 30 minute fire rating (b) Upgrade existing door set to minimum 30 minutes fire resistance with self-closing device and (c) Replace existing downlights in ceiling with 30 minute fire rated equivalent at **Longueville House, Longueville, Ballyclough, Co. Cork P51 WD88** is or is not development or is or is not exempted development, has declared that it is **exempted development**.

**Reason for Decision**

The Planning Authority in considering this referral, had particular regard to:

- Sections 2, 3, 4 and 57 of the Planning and Development Act 2000, as amended.
- Article 6(1) and 9(1) of the Planning and Development Regulations 2001, as amended
- The nature, extent and scope of the development outlined in the documentation and correspondence submitted to the Planning Authority on the 5<sup>th</sup> February and 4<sup>th</sup> March, 2025

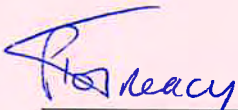
**And Whereas the Planning Authority** hereby concludes that the proposed fire performance upgrade works at Longueville House, Longueville, Ballyclough, Mallow, Co. Cork, P51 WD88 would not materially affect the character of Longueville House (RPS ID: 00266).

**NOW THEREFORE, Cork County Council**, in exercise of the powers conferred on it by Section 5 of the 2000 Act, hereby decides that proposed fire performance upgrade works at **Longueville House**,

**Longueville, Ballyclough, Mallow, Co. Cork, P51 WD88** would not materially affect the character of Longueville House (RPS ID: 00266) and the said works are **exempted development**.

**Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.**

Yours faithfully,



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**PIO TREACY,  
A/SENIOR EXECUTIVE OFFICER,  
PLANNING DEPARTMENT.**

*In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>*



Planning and Development Directorate  
Section 5 – Application for Declaration of Exemption Certificate

Ref: D/210/25 – Section 5 Declaration

Name: Valleyport Ltd

Development:

Whether the proposed fire performance upgrade works outlined below is or is not exempted development:

- I. Upgrade existing lath and plaster ceilings to 30 minute fire rating
- II. Upgrade existing door set to minimum 30 minutes fire resistance with self-closing device
- III. Replace existing downlights in ceiling with 30 minute fire rated equivalent.

Site Location/Address: Longueville House, Longueville, Ballyclough, Mallow, Co. Cork, P51 WD88.

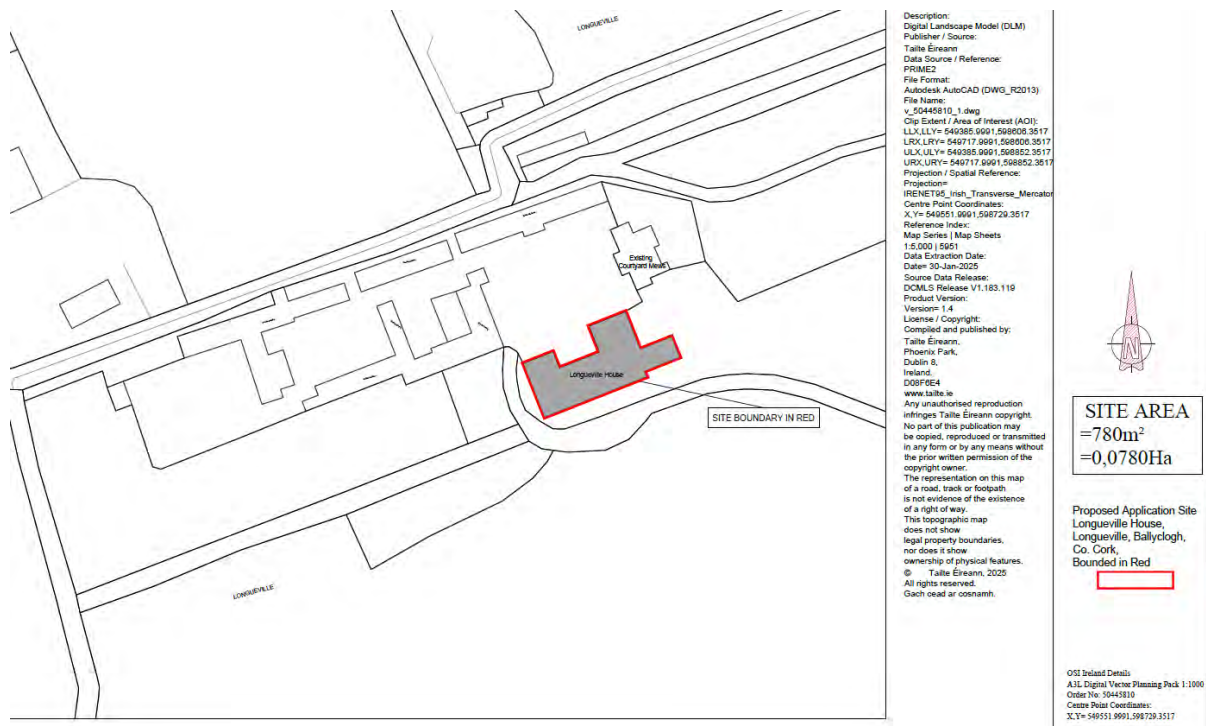


Fig.1: Submitted Site Location Map

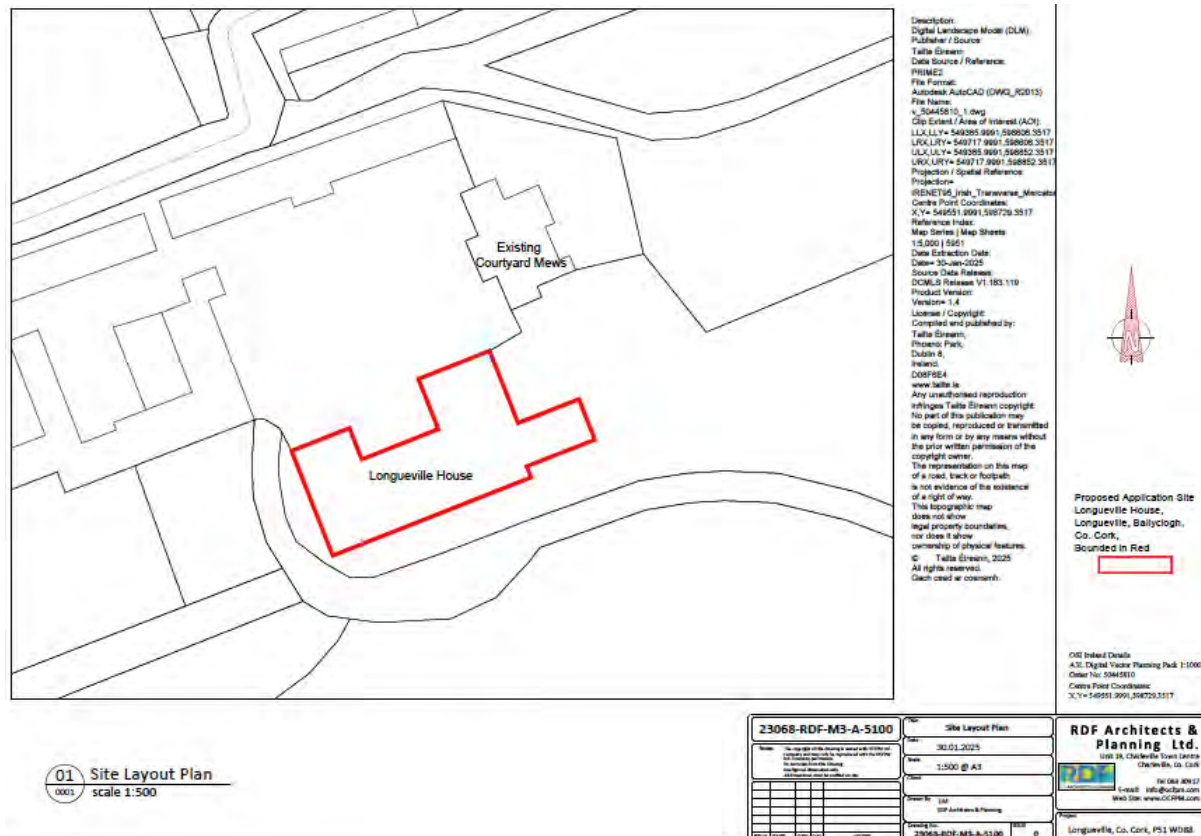


Fig.2: Submitted Site Layout

Longueville House is listed on the Record of Protected Structures (RPS ID: 266). The property is also listed on the NIAH (Reg. No. 20903222).

Longueville House is a Recorded Monument (CO032-034) and subject to protection by way of inclusion in the Record of Monuments and Places and in accordance with the National Monuments Acts as amended.

**Submitted details:**

- Application Form
- Cover Letter
- Site location map
- Site layout plan
- Floorplans
- Architectural Heritage Impact Assessment Report

**Relevant Planning History:**

Subject site:

04/9504: Michael O’Callaghan - Alterations to and an extension to the rear of Longueville House Hotel, alteration, refurbishment, conversion and change of use of existing ancillary storage buildings, the demolition of 590 sq.m of additional buildings including the part demolition and change of use of an existing habitable residential unit, and the construction of 5181 sq.m. of additional buildings all to facilitate the provision of 60 additional hotel bedrooms, 21 suites, 18 staff bedrooms with laundry, a spa facility, an additional restaurant/bar and an oratory to the existing hotel. Provision of additional car parking areas and extension of existing car park to provide in total 140 spaces, upgrading of existing



access at the public road including alterations to the existing entrance walls. Provision of a new sewage treatment plant and sand filter/percolation system and an underground storm water attenuation tank to the west of the site and all associated development works and landscaping – Granted.

964318: William O’Callaghan - Planning permission was granted for a large extension to existing domestic quarters to the rear of Longueville House Hotel – Granted.

92:3162: William O’Callaghan - extension to the rear and side of the hotel – Granted.

### **Question subject of the Section 5:**

On the basis of the information submitted the question to be addressed under this request is as follows:

*Whether the proposed fire performance upgrade works outlined below is or is not exempted development:*

- I. Upgrade existing lath and plaster ceilings to 30 minute fire rating*
- II. Upgrade existing door set to minimum 30 minutes fire resistance with self-closing device*
- III. Replace existing downlights in ceiling with 30 minute fire rated equivalent.*

### **Legislative Context:**

*Planning and Development Act 2000 (as amended)*

**Section 3(1)** of the Act states ‘development’ means:

*“In this Act, except where the context otherwise requires, "development" means— (a) the carrying out of any works in, on, over or under land, or the making of any material change in the use of any land or structures situated on land, or (b) development within the meaning of Part XXI (inserted by section 171 of the Maritime Area Planning Act 2021)”*

**Section 2** of the Act defines ‘works’ as:

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure*

**Section 4** of the Act, as amended, sets out the types of works that while considered 'development', can be considered 'exempted development' for the purposes of the Act.

**Section 4 (4)** of the Act, as amended, states as follows:-

*4 (4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.*

*Planning and Development Regulations 2001 (as amended)*

**Article 6** states:- (1) Subject to Article 9, development of a class specified in column 1 part 1 of schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said part 1 opposite the mention of that class in the said column 1.

**Article 9** sets out that development to which article 6 relates shall not be exempted development if the carrying out of such development would conflict with certain criteria.

### **Internal Consultees:**

Architectural Conservation Officer – Satisfied that the works proposed under this section 5 application would not negatively impact the character of the RPS, and should thus there are no de-exemptions from a conservation standpoint.

County Archaeologist – Satisfied.

Area Engineer – No issues.

### **Assessment:**

The proposal involves “works” and constitutes “development” as defined under the Act.

The provisions of Section 57 of the PDA 2000 (as amended) are noted below

*“Notwithstanding section 4(1)(a), (h), (i), (ia), (j), (k), or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—*

*(a) the structure, or*

*(b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest”.*

Section 4(1)(h) of the PDA 2000 (as amended) is also noted:

**4.—(1) The following shall be exempted developments for the purposes of this Act—**

*(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”;*

Article 9(1) states that “development to which article 6 relates shall not be exempted development for the purposes of the Act –

*(a) if the carrying out of such development would —*

*(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan*

*(viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,”*

I note the report of the Architectural Conservation Officer (dated 03/04/2025):

*“The alteration of Longueville House, listed on the record of Protected Structures as RPS ID 266 is proposed. The works include alteration of the building, and are therefore only exempt if they do not alter the character of the building or its setting.*

*The application is supported by an Architectural Heritage Impact Assessment (ACP, January 2025) and detailed fire safety guidance which highlight the heritage assets of the building. The report also makes references to Section 12 of the National Monuments Acts 1930 and as amended, I will defer to the National Monuments Department for comments in respect of same, I note that typically any such notification would be required to be supported by documentation and method statements of a similar nature to those I would require as conservation officer.*

*The applicant has been in regular communication with this office, and the following process was outlined as the best way to achieve permissions for the fire cert works and we have both informally agreed to same;*

- (a) Fire consultant sets out requirements*
- (b) This goes to ACP to assess*
- (c) ACP and fire consultant try find the best “balance” if conflicting requirements*
- (d) Then at that stage*
  - a. Fire consultant approach Fire officer with any deviations that may be necessitated*
  - b. ACP approach ACO with plan of action.*
- (e) Based on feed back from you and fire officer, we revise plan.*
- (f) Then proceed for relevant formal approvals.*

*I believe that we are currently at stage d above. The application includes significant high quality assessment of the site by David Humphreys of ACP, and plan detail on proposed works, materials and methods. I, broadly speaking, have no significant issue with the general approach, however the site is still awaiting some feedback from the fire officer. Detail is provided on works to ceilings, however I need to have confirmation from the fire officer that the proposed works are acceptable to them- it is often the case that specifications can change following a declaration and this may injure the RPS.*

*Very good detail is provided in the impact assessment on proposed works to low, medium, and high risk doors, however having reviewed the information and discussed the proposed works (via email and at site meetings), it is apparent that some small uncertainty remains in relation to the exact specifications of works to doors within the building- which doors are categorised at which risk level, and which doors require certification is still under discussion with the fire officer.*

*Overall I have no objection in principle to the works outlined, but the final specifications and decisions need to be confirmed before I can have total certainty as to the potential impacts on the character of the site (and therefore sign off on the section 5). The applicants have indicated that they are in communication with the fire safety officer in Mallow in respect of this and expect this clarity soon. I will recommend in this case to defer a recommendation on the section 5 application to await information and clarity”.*

*The applicant submitted unsolicited further information by e-mail on the 04/03/2025 which states that:*

*“Just to follow on from yesterday’s meeting. I can confirm that the fire officer wants us to upgrade all the doors indicated on the submitted plans to the level 4. This will be the proposed strategy on site.*

*4. MEDIUM TO HIGH RISK: EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR\* INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF -CLOSING DEVICE AND*

*COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE \* WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT”*

The Council’s Architectural Conservation Officer has reviewed and states that:

*“In light of the below email I am happy to sign off on the proposed interventions at Longueville. The earlier discussed email confirmed the works to the doors, which are all in line with conservation best practice we just needed some clarity on what was proposed. The below email indicates that the proposed works to the ceilings as outlined are acceptable to the fire officer – these are again in best practice. Pierce notes that any change from proposal outlined would need a new section 5 application anyway.*

*In light of these discussions and reports I am satisfied that the works proposed under this section 5 application would not negatively impact the character of the RPS, and should thus there are no de-exemptions from a conservation standpoint”.*

The report and e-mail correspondence from the County Archaeologist is also noted. Given the property is listed on the RMP, the applicant confirms that a ministerial notification application will be submitted to the National Monuments Service in advance of the works. The County Archaeologist states that:

*“Further to my Section 5 report dated 25/02/2025, I consider that the building will be dealt with in accordance with best conservation practice and has been assessed by the Architectural Conservation Officer.*

*The owner via their agent RDF Architects have also confirmed that they will submit a Ministerial Notification in accordance with the National Monuments Acts 1930 and amended.*

*I do not see the requirement for Further Information therefore”.*

The proposed works could be considered under section 4(1)(h) and having regard to the reports and email correspondence from the Council’s Architectural Conservation Officer and County Archaeologist the proposed development would not be de-exempted under article 9(1).

With regard to Section 4(4) of the Act, having regard to the nature and scale of the proposed works they would not require an environmental impact assessment or an appropriate assessment of the development.

### **Conclusion**

Is development and is exempted development.

### **Recommendation:**

**WHEREAS** a question has arisen as to:

*whether the proposed fire performance upgrade works outlined below [and within the submitted documentation] is or is not exempted development:*

- I. Upgrade existing lath and plaster ceilings to 30 minute fire rating*
- II. Upgrade existing door set to minimum 30 minutes fire resistance with self-closing device*
- III. Replace existing downlights in ceiling with 30 minute fire rated equivalent.*

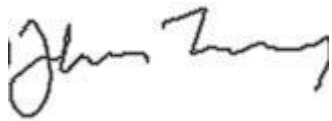
**AND WHEREAS** Cork County Council, in considering this referral, had regard particularly to –



- (a) Sections 2, 3, 4 and 57 of the Planning and Development Act, 2000, as amended,
- (b) Article 6(1) and 9(1) of the Planning and Development Regulations, 2001, as amended,
- (c) The nature, extent and scope of the development outlined in the documentation and correspondence submitted to the Planning Authority on the 06/02/2025 and the 04/03/2025,

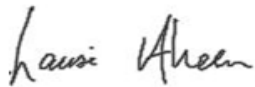
**AND WHEREAS** Cork County Council has concluded that the proposed fire performance upgrade works at Longueville House, Longueville, Ballyclough, Mallow, Co. Cork, P51 WD88 would not materially affect the character of Longueville House (RPS ID: 00266).

**NOW THEREFORE, Cork County Council**, in exercise of the powers conferred on it by Section 5 of the 2000 Act, hereby decides that proposed fire performance upgrade works at Longueville House, Longueville, Ballyclough, Mallow, Co. Cork, P51 WD88 would not materially affect the character of Longueville House (RPS ID: 00266) and the said works are exempted development.



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J. Tierney  
Executive Planner  
04/03/2025



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L Ahern  
A/Senior Executive Planner  
04/03/2025

# Section 5 application D/210/25

## Status

RPS; NIAH

## De-exemptions on built heritage grounds

The planning and development act 2000 section 57 includes the following provision; “—(1) Notwithstanding section 4 (1)(h), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.”

## Policy

### County Development Plan Objectives HE 16-14: Record of Protected Structures

- a) The identification of structures for inclusion in the Record will be based on criteria set out in the Architectural Heritage Protection Guidelines for Planning Authorities (2011).
- b) Extend the Record of Protected Structures in order to provide a comprehensive schedule for the protection of structures of special importance in the County during the lifetime of the Plan as resources allow.
- c) Seek the protection of all structures within the County, which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. In accordance with this objective, a Record of Protected Structures has been established and is set out in Volume Two Heritage and Amenity, Chapter 1 Record of Protected Structures.
- d) Ensure the protection of all structures (or parts of structures) contained in the Record of Protected Structures.

- e) Protect the curtilage and attendant grounds of all structures included in the Record of Protected Structures.
- f) Ensure that development proposals are appropriate in terms of architectural treatment, character, scale and form to the existing protected structure and not detrimental to the special character and integrity of the protected structure and its setting.
- g) Ensure high quality architectural design of all new developments relating to or which may impact on structures (and their settings) included in the Record of Protected Structures.
- h) Promote and ensure best conservation practice through the use of specialist conservation professionals and craft persons.
- i) In the event of a planning application being granted for development within the curtilage of a protected structure, that the repair of a protected structure is prioritised in the first instance i.e. the proposed works to the protected structure should occur, where appropriate, in the first phase of the development to prevent endangerment, abandonment and dereliction of the structure.

## County Development Plan Objectives HE 16-15: Protection of Structures on the NIAH

Protect where possible all structures which are included in the NIAH for County Cork, that are not currently included in the Record of Protected Structures, from adverse impacts as part of the development management functions of the County.

16.3.9 It is important to recognise the contribution that all historic structures, features and landscapes including those which are not listed in the Record of Protected Structures, make to the county's heritage. The Council will seek the enhancement of these elements in recognition of their quality, character and local distinctiveness.

### ACO Assessment

The alteration of Longueville House, listed on the record of Protected Structures as **RPS ID 266** is proposed. The works include alteration of the building, and are therefore only exempt if they do not alter the character of the building or its setting.

The application is supported by an Architectural Heritage Impact Assessment (ACP, January 2025) and detailed fire safety guidance which highlight the heritage assets of the building. The report also makes references to Section 12 of the National Monuments Acts 1930 and as amended, I will defer to the National Monuments Department for comments in respect of same, I note that typically any such notification would be required to be supported by documentation and method statements of a similar nature to those I would require as conservation officer.

The applicant has been in regular communication with this office, and the following process was outlined as the best way to achieve permissions for the fire cert works and we have both informally agreed to same;

- (a) Fire consultant sets out requirements
- (b) This goes to ACP to assess
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  - a. Fire consultant approach Fire officer with any deviations that may be necessitated
  - b. ACP approach ACO with plan of action.
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I believe that we are currently at stage d above. The application includes significant high quality assessment of the site by David Humphreys of ACP, and plan detail on proposed works, materials and methods. I, broadly speaking, have no significant issue with the general approach, however the site is still awaiting some feedback from the fire officer. Detail is provided on works to ceilings, however I need to have confirmation from the fire officer that the proposed works are acceptable to them- it is often the case that specifications can change following a declaration and this may injure the RPS.

Very good detail is provided in the impact assessment on proposed works to low, medium, and high risk doors, however having reviewed the information and discussed the proposed works (via email and at site meetings), it is apparent that some small uncertainty remains in relation to the exact specifications of works to doors within the building- which doors are categorised at which risk level, and which doors require certification is still under discussion with the fire officer.

Overall I have no objection in principle to the works outlined, but the final specifications and decisions need to be confirmed before I can have total certainty as to the potential impacts on the character of the site (and therefore sign off on the section 5). The applicants have indicated that they are in communication with the fire safety officer in Mallow in respect of this and expect this clarity soon. I will recommend in this case to defer a recommendation on the section 5 application to await information and clarity.

## Conclusions

The applicants should assess feedback from the fire safety officer and revert to the planning department with the final specifications for the site. I will then review in light of the section 5/requirements of the planning and development act for RPS buildings.





Annette Quinn | County Archaeologist | Planning & Development Cork County Council | Tel: 021-4285329 M 086-1688826

## D/210/25 Section 5 Application - Longueville House

### Status

The applicants have prepared an Architectural Heritage Impact Assessment which makes reference to the Recorded Monument status of the house CO032-034. Longueville House is a Recorded Monument and subject to protection by way of inclusion in the Record of Monuments and Places and in accordance with the National Monuments Acts as amended. Section 4.3.3 of the report (page 17) refers to an archaeologist being appointed to '*ascertain whether permission is required for these works*'.

Works will be required to items such as door and ceilings in order to achieve fire certification.

### County Development Plan - Objectives

#### County Development Plan 2022 Objectives HE 16-2:

##### Protection of Archaeological Sites and Monuments

*Secure the preservation (i.e. preservation in situ or in exceptional cases preservation by record) of all archaeological monuments and their setting included in the Sites and Monuments Record (SMR) (see [www.archaeology.ie](http://www.archaeology.ie)) and the Record of Monuments and Places (RMP) and of sites, features and objects of archaeological and historical interest generally. In securing such preservation, the planning authority will have regard to the advice and recommendations of the Development Applications Unit of the Department of Housing, Local Government and Heritage as outlined in the Frameworks and Principles for the Protection of the Archaeological Heritage policy document or any changes to the policy within the lifetime of the Plan.*

#### County Development Plan 2022 Objectives HE 16-3:

##### Underwater Archaeology

*Protect and preserve the archaeological value of underwater archaeological sites and associated underwater and terrestrial features. In assessing proposals for development, the development will take account of the potential underwater archaeology of rivers, lakes, wetlands, intertidal and sub-tidal environments through appropriate archaeological assessment by a suitably qualified archaeologist.*

#### County Development Plan 2022 Objectives HE 16-5:

##### Zones of Archaeological Potential

*Protect the Zones of Archaeological Potential (ZAPs) located within historic towns, urban areas and around archaeological monuments generally. Any development within the ZAPs will need to take cognisance of the upstanding and potential for subsurface archaeology, through appropriate archaeological assessment.*

#### County Development Plan 2022 Objectives HE 16-6:

##### Industrial and Post Medieval Archaeology

*Protect and preserve industrial and post-medieval archaeology and long-term management of heritage features such as mills, limekilns, forges, bridges, piers and harbours, water-*



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*related engineering works and buildings, penal chapels, dwellings, walls and boundaries, farm buildings, estate features, military and coastal installations. There is a general presumption for retention of these structures and features. Proposals for appropriate redevelopment including conversion should be subject to an appropriate assessment and record by a suitably qualified specialist/s.*

**County Development Plan 2022 Objectives HE 16-7:**

**Battlefield, Ambush and Siege Sites and Defensive Archaeology**

*Protect and preserve the defensive archaeological record of County Cork including strategic battlefield, ambush and siege sites, and coastal fortifications and their associated landscape due to their historical and cultural value. Any development within or adjoining these areas shall undertake a historic assessment by a suitably qualified specialist to ensure development does not negatively impact on this historic landscape.*

**County Development Plan Objectives HE 16-8:**

**Burial Places**

*Protect all historical burial places and their setting in County Cork and encourage their maintenance and care in accordance with appropriate conservation principles.*

**County Development Plan Objectives HE 16-9:**

**Archaeology and Infrastructure Schemes**

*All large scale planning applications (i.e. development of lands on 0.5 ha or more in area or 1km or more in length) and Infrastructure schemes and proposed roadworks are subjected to an archaeological assessment as part of the planning application process which should comply with the Department of Arts, Heritage and the Gaeltacht's codes of practice. It is recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.*

**County Development Plan Objectives HE 16-10:**

**Management of Monuments within Development Sites**

*Where archaeological sites are accommodated within a development it shall be appropriately conservation/ protection with provision for a suitable buffer zone and long-term management plan put in place all to be agreed in advance with the County Archaeologist.*

**County Development Plan Objectives HE 16-11:**

**Archaeological Landscapes**

*To protect archaeological landscapes and their setting where the number and extent of archaeological monuments are significant and as a collective are considered an important archaeological landscape of heritage value.*

**County Development Plan Objectives HE 16-12:**

**Raising Archaeological Awareness**

*As part of the Heritage Plan it is an objective to develop a management plan, if resources allow, for the archaeology of County Cork, which could include an evaluation of the Historic Character Assessment of Cork County helping to identify areas for tourism potential, and strategic research while also promoting best practice in archaeology and encouraging the*



Annette Quinn | County Archaeologist | Planning & Development Cork County Council | Tel: 021-4285329 M 086-1688826

*interpretation, publication and dissemination of archaeological findings from the development application process.*

### **County Development Plan Objectives HE 16-13: Undiscovered Archaeological Sites**

*To protect and preserve previously unrecorded archaeological sites within County Cork as part of any development proposals. The Council will require preservation in situ to protect archaeological monuments discovered. Preservation by record will only be considered in exceptional circumstances.*

## **Impact / Conclusion**

### **Planning Regulations, Exemption and Archaeology**

***Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would—***

***(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan.***

**Comment:** The alteration of Longueville House (in order to achieve fire certification) is proposed and its protection and conservation is clearly stated in the County Development Plan HE16-2 Protection of monuments and their setting.

**(vii a) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended.**

**Comment:**

The alteration of Longueville House, A Recorded Monument CO032-034 is proposed and therefore in accordance with 9 1 (vii) (a) above would not typically be EXEMPT. That said the application has been submitted with an Architectural Heritage Impact Assessment (ACP, January 2025), the structure also being listed in the Record of Protected Structures and therefore best conservation practice is required in achieving fire certification. The report makes references to Section 12 of the National Monuments Acts 1930 and as amended (page 9 of the report). In this regard, the applicant is required to notify the Minister for Housing Local Government and Heritage 2 months in advance of any proposed works. *“When the owner or*



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*occupier of a property, or any other person proposes to carry out, or to cause, or to permit the carrying out of any work at or in relation to a Recorded Monument or a Registered Monument they are required to give notice in writing to the Minister 2 months before commencing that work. This is to allow the National Monuments Service time consider the proposed works and how best to proceed to further the protection of the monument.*

*Any notification of works at or in relation to a Recorded or Registered Monument should be given using this form - Ministerial Notification - Works at/near Monument - and forwarded to nationalmonuments@housing.gov.ie marked "Notification under the National Monuments Acts 1930-2004".*

Page 17 of the ACP report makes reference to consulting with an archaeologist to ascertain whether or not these proposed works require permission under the National Monuments Acts (i.e. for any alteration or carrying out of work to a Recorded Monument as described above).

I do not consider that further information is required given that the applicant has submitted an Architectural Heritage Impact Assessment for the house (which is a Recorded Monument). I cannot recommend conditions for a Section 5 application, however, the developers / owners are advised to comply with Section 12 of the National Monuments Acts by providing 2 months advance notice to the National Monuments Service of the Dept. of Housing, Local Government and Heritage.

## **Overall Conclusion:**

If the owners can confirm that a Ministerial Notification application will be submitted to the National Monuments Service 2 months in advance of the work (or an enquiry to ascertain same), then I would consider that the proposed development is EXEMPT.

Clarification is required and it is recommended that the ACP report submitted be updated to reflect the applicant's obligations to comply with the National Monuments Acts as detailed above.



John,

No issue from a roads viewpoint.

Kind Regards

Andreana

-----  
Andreana Sheehan | Innealtóir Feidhmiúcháin | Roinn na mBóithre  
Comhairle Contae Chorcaí | Annabella | Mala | P51 Y6YT | Éire  
T +353 - (022) 54807

[Andreana.sheehan@corkcoco.ie](mailto:Andreana.sheehan@corkcoco.ie) | [www.corkcoco.ie](http://www.corkcoco.ie)

Tirseach na gcustaiméirí : [www.yourcouncil.ie](http://www.yourcouncil.ie)

# Comhairle Contae Chorcaí Cork County Council

William O'Callaghan,  
Longueville House,  
Ballyclough,  
Co. Cork

Pleanáil agus Forbairt,  
Halla an Chontae,  
Bóthar Charraig Ruacháin,  
Corcaigh T12 R2NC.  
Fón: (021) 4276891  
R-phost: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Suíomh Gréasáin: [www.corkcoco.ie](http://www.corkcoco.ie)  
Planning & Development,  
County Hall,  
Carrigrohane Road, Cork T12 R2NC.  
Tel (021) 4276891  
Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Web: [www.corkcoco.ie](http://www.corkcoco.ie)



7<sup>th</sup> February, 2025

**Our Ref.: D/210/25**

**Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.**

***Whether the proposed fire performance upgrade works at Longueville House, Longueville, Ballyclough, Co. Cork P51 WD88 is or is not exempted development.***

Dear Sir,

Please be advised that a declaration has been sought with respect to Section 5 of the Planning and Development Act 2000 (as amended) from the Planning Authority by Valleyport Limited with respect to whether the above description at Longueville House, Longueville, Ballyclough, Co. Cork constitutes development.

You are being notified as the applicant has indicated that you are the legal owner of the land in question.

Yours faithfully,

  
\_\_\_\_\_  
**Angela Carrigy,**  
**ASO, Planning Department**

*In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>*

Planning Department,  
Cork County Council,  
County Hall,  
Carrigrohane Road,  
Cork, Ireland.  
Eircode: T12 R2NC.

4<sup>th</sup> February 2025

---

Dear Sir/ Madam,

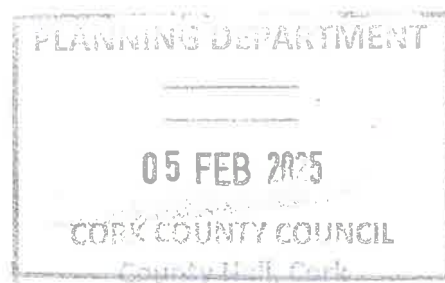
On behalf of our clients, Valleyport Limited, please find enclosed an application for Section 5, Exempted Development, at the following address:

- Longueville House, Longueville, Ballyclough, Co. Cork, P51 WD88

A declaration of exemption is sought for the following.

*Whether The Proposed Fire Performance Upgrade Works Outlined Below Is or Is Not Exempted Development.*

- *Upgrade Existing Lath & Plaster Ceilings To 30 Minute Fire Rating as Outlined in The Attached Architectural Drawings*
- *Upgrade Existing Door Set to Minimum 30 Minutes Fire Resistance with Self-Closing Device as Outlined in The Attached Architectural Drawings*
- *Replace Existing Downlights in Ceiling With 30 Minute Fire Rated Equivalent as Outlined in The Attached Architectural Drawings and All Associated Fire Upgrade Works.*



Please find enclosed the following accompanying Documents:

- Application Fee, Cheque for €80.00
- 4 x Application Form for Section 5
- 4 x Architectural Heritage Impact Assessment by ACP Conservation Professionals

4 x Copies of the following:

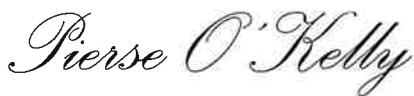
ARCHITECTS DRAWINGS			
DRAWINGS NUMBER:	DRAWING DESCRIPTION	SIZE	SCALE
23068-RDF-M3-A-5000	Site Location Map	A3	1:1000
23068-RDF-M3-A-5000 A	Site Location Map	A3	1:10560
23068-RDF-M3-A-5100	Site Layout Plan	A3	1:500
23068-RDF-M3-A-5001	Basement Floor Plan	A1	1:100
23068-RDF-M3-A-5002	Ground Floor Plan	A1	1:100
23068-RDF-M3-A-5003	First Floor Plan	A1	1:100
23068-RDF-M3-A-5004	Second Floor Plan	A1	1:100

If any additional information is required, please do not hesitate to contact me.

Please acknowledge receipt of this application at your earliest convenience.

Yours sincerely,

Regards,



Piersie O'Kelly  
Architectural Technician  
086-0323448

[pokelly@rdfarchitects.com](mailto:pokelly@rdfarchitects.com)





## **CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION**

### **APPLICANT CHECKLIST**

(Please tick ✓)

**4 No. Copies of Application Form:**

**1 No. Copy of Contact Details:**

**4 No. Copies 6" O.S. Maps:**

**4 No. Copies 25" O.S. Maps:**

**4 No. Copies of Site Layout Plan:**

**4 No. Copies Scaled Drawings of Development:**

**€80 Application Fee:**

<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>

### **FOR OFFICE USE ONLY**

Receipt No.	
Cash/Cheque/ Credit Card	
Date	
Declaration Ref. No.	

**DATE STAMP HERE**

**You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3<sup>rd</sup> parties to view.**

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

### **DATA PROTECTION**

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

*Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to [dpo@corkcoco.ie](mailto:dpo@corkcoco.ie) or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.*







**4. APPLICATION DETAILS:**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m<sup>2</sup>)

(a) Floor area of existing/proposed structure(s):	2040. Msq
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas (m <sup>2</sup> ) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following:  Existing/previous use Hotel	Proposed use Hotel
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

**5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:**

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input type="checkbox"/>	B. Other <input checked="" type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:		
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):	William O'Callaghan	

**6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:**

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please state relevant reference No. _____
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**7. APPROPRIATE ASSESSMENT:**

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes  No




**8. DATA PROTECTION DECLARATION:**

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

***Processing of your Declaration of Exemption application by the Planning Authority***

I give permission for my personal information to be processed for the purpose stated above

Signed (By Applicant Only)	
Date	31-Jan-2025

**GDPR Special Categories of data / Sensitive Personal data - Explicit Consent**

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.


Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation

In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

**Sensitive personal data being submitted in support of Declaration of Exemption Application**

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	
Date	31-Jan-2025

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie) or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: [westcorkplanninginfo@corkcoco.ie](mailto:westcorkplanninginfo@corkcoco.ie) However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

**Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.**




**ADVISORY NOTES:**

The application must be accompanied by the required fee of €80  
 The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.  
 Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.  
 The application should be sent to the following address:  
 The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.*

**9. I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:**

<i>Signed (Applicant or Agent as appropriate)</i>	
<b>Date</b>	31-Jan-2025

# ACP *Architectural Conservation Professionals*



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**builtenvironment**  
AWARDS 2024

**WINNER**

 **cabe**  
**builtenvironment**  
AWARDS 2024

## **Architectural Heritage Impact Assessment Report**

For  
Section 5 Declaration Application  
Longueville House, Mallow, Co. Cork  
(RPS No. 266)

**Client:** Valleyport Limited



**Date:** 31<sup>st</sup> January 2025

**Ireland:-** Grageen House, Cappanuke, Cappamore, Co Limerick, Ireland  
**Phone:** +353 (0) 61 574894, **Email:** [info@acpgroup.ie](mailto:info@acpgroup.ie)  
**Web:** [www.acpgroup.ie](http://www.acpgroup.ie)

**Singapore:-** Block 25, Kim Kleat Close #06-01 Singapore 328933  
**Phone:** +65 96425182, **Email:** [noel@acpgroup.sg](mailto:noel@acpgroup.sg)  
**Web:** [www.acpgroup.sg](http://www.acpgroup.sg)



**Authorship:** This Report has been prepared by:-

**David Humphrey's**, FRICS, FCSI, FCABE, BCAS, CMLI, MILI, C.Env.  
Group Director  
RICS Certified Historic Building Professional  
SCSI Building Conservation Accredited Surveyor  
Chartered Building Engineer  
Chartered Building Surveyor  
Chartered Landscape Architect  
Chartered Project Manager  
Chartered Environmentalist

And

**Sheena Ryan** BA(Hons) Fine Art  
Historic Building Consultant



**Copies of this report  
have been presented  
by ACP to:**

The Client (Valleyport Limited)

**Acknowledgements:**

Architectural Conservation Professionals acknowledges any information supplied by the Client and information obtained from the Record of Protected Structures (RPS), the National Inventory of Architectural Heritage (NIAH) and record of Monuments and Places (RMP)

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	International Preservation and Conservation Award 2019	
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	International Preservation and Conservation Award 2021	
	Winners	

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**Web:** [www.acpgroup.sg](http://www.acpgroup.sg)



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## GLOSSARY OF TERMS

### **1. ACA**

**An Architectural Conservation Area** is a place, area, group of structures or townscape that is of special architectural, scientific, social or technical interest, or that contributes to the appreciation of a protected structure, whose character it is the objective of a development plan to preserve - Section 52 (1) (b) of the 2000 Act.

### **2. Area of Special Planning Control**

**Areas of Special Planning Control** provide powers to planning authorities not alone to give protection to the character of certain qualifying areas, but also to enhance that character, that is, to restore it and to require owners and occupiers to conform to a planning scheme – Section 84, of the 2000 Act

### **3. NIAH**

The **National Inventory of Architectural Heritage**. The purpose of the NIAH is to identify, record, and evaluate the post-1700 architectural heritage of Ireland, uniformly and consistently as an aid in the protection and conservation of the built heritage. NIAH surveys provide the basis for the recommendations of the Minister for Arts, Heritage and the Gaeltacht to the planning authorities for the inclusion of particular structures in their Record of Protected Structures (RPS)

### **4. Protected Structure**

A “**protected structure**” is defined as any structure or specified part of a structure, which is included in the Record of Protected Structures. The term “structure” is defined by Section 2 of the 2000 Act to mean ‘any building, structure, excavation or other thing constructed, or made on, in or under any land, or any part of a structure so defined, and where the context so admits, includes the lands on, in, or under which the structure is situate’. – Section 2 (1) of the 2000 Act

### **5. Section 57 Declaration**

**Section 57 Declaration** Owners or occupiers of a protected structure may request a ‘declaration’ under Section 57 of the 2000 Act. The purpose of which is for planning authorities to clarify in writing the kind of works that would or would not materially affect the character of that structure or any element of that structure which contributes to its special interest. Declarations guide the owner as to what works would and would not require planning permission in the context of the protection of the architectural heritage. This is because the character of a protected structure cannot be altered without first securing planning permission to do so.

### **6. RMP**

**Archaeological sites** are legally protected by the provisions of the National Monuments Acts, the National Cultural Institutions Act 1997 and the Planning Acts. The **National Record of Monument & Places (RMP)** is a statutory list of all known archaeological monuments provided for in the National Monuments Acts. It includes known monuments and sites of archaeological importance dating to before 1700AD, and some sites which date from after 1700AD.

### **7. RPS**

**Record of Protected Structures**. A Protected Structure is a structure which is considered to be of special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social or technical point of view. The Record of Protected Structures (RPS) is a list of the buildings held by a Local Authority which contains buildings considered to be of special interest in its operational area. Section 51 (of the 2000 Act) requires that the development plan



shall include a Record of Protected Structures and that the Record shall include every structure which is, in the opinion of the Planning Authority, of special interest.

## **8. SAC**

Special Area of Conservation are prime wildlife conservation areas in the country, considered to be important on a European as well as Irish level. Most Special Areas of Conservation (SACs) are in the countryside, although a few sites reach into town or city landscapes, such as Dublin Bay and Cork Harbour.

## **9. SPA**

Ireland is required under the terms of the EU Birds Directive (2009/147/EC) to designate Special Protection Areas (SPAs) for the protection of:-

- Listed rare and vulnerable species;
- Regularly occurring migratory species;
- Wetlands especially those of international importance.

## **Levels of significance – NIAH Definitions 2021**

***International Significance*** Structures of sufficient architectural heritage significance to be considered in an international context. These are exceptional structures that can compare with the finest architectural heritage of other countries. Examples include the Custom House in Dublin and Saint Fin Barre's Cathedral in Cork

***National Significance*** Structures that make a significant contribution to the architectural heritage of Ireland. These are structures that are considered to be of considerable architectural heritage significance in an Irish context and examples include Ardnacrusha Generating Station in County Clare; Sligo Courthouse; the Carroll Cigarette Factory in Dundalk; Emo Court in County Laois; and Lismore Castle in County Waterford.

***Regional Significance*** Structures that make a significant contribution to the architectural heritage of their region. They also bear comparison with similar structures in other regions in Ireland. Examples include the Georgian terraces of Dublin and Limerick; the Wikinson-designed workhouses in each county; and the Halpin-designed lighthouses around the Irish coastline. Increasingly, structures that warrant protection make a significant contribution to the architectural heritage of their locality. Examples include modest terraces and commercial buildings with early shopfronts.

***Local Significance*** These are structures that make a contribution to the architectural heritage of their locality but which do not merit inclusion on the RPS.

***Record only*** These are structures that are considered to have insufficient architectural heritage significance at the time of recording to warrant a higher Rating.



## Penalties for Offences

### Architectural Heritage Protection

A Protected Structure and built fabric within its curtilage is protected by law under Part IV of the Planning and Development Act 2000. The penalties for breaches of this Act are severe. Section 156 of the Act states:-

(1) A person who is guilty of an offence under *sections 58(4), 63, 151, 154, 205, 230(3), 239 and 247* shall be liable—

(a) on conviction on indictment, to a fine not exceeding £10,000,000, or to imprisonment for a term not exceeding 2 years, or to both, or

(b) on summary conviction, to a fine not exceeding £1,500, or to imprisonment for a term not exceeding 6 months, or to both.

### Monuments and Places included in the Record

Section 12 (3) of the Act provides for the protection of monuments and places included in the record stating that

"When the owner or occupier (not being the Commissioners) of a monument or place which has been recorded under subsection (1) of this section or any person proposes to carry out, or to cause or permit the carrying out of, any work at or in relation to such monument or place, he shall give notice in writing of his proposal to carry out the work to the Commissioners and shall not, except in the case of urgent necessity and with the consent of the Commissioners, commence the work for a period of two months after having given the notice."

**A person contravening this requirement for two months notification to the Commissioners of Public Works in Ireland of proposed works at or in relation to a recorded monument or place shall (under Section 13 of the Act) be guilty of an offence and be liable on summary conviction to a maximum penalty of a £1000 fine and 12 months imprisonment and on conviction on indictment to a maximum penalty of a £50,000 fine and 5 years imprisonment.**

It should also be noted that Section 16 of the National Monuments (Amendment) Act 1994 amended the National Monuments (Amendment) Act 1987 (the Act of 1987) so that under Section 2 (1) (a) (iv) of that Act **the use or possession of a detection device**

*"in, or at the site of, a monument recorded under section 12 of the National Monuments (Amendment) Act, 1994,"*

**is prohibited** otherwise than in accordance with a consent of the Commissioners of Public Works in Ireland granted under the provisions of Section 2 of the Act of 1987.

**A person contravening the above provisions relating to use or possession of detection devices shall (under Section 2 (5) of the Act of 1987) be guilty of an offence and be liable (under Section 23 (1) of the Act of 1987) on summary conviction to a maximum penalty of a £1000 fine and 6 months imprisonment or on conviction on indictment to a maximum penalty of a £50,000 fine and 12 months imprisonment.**

It should be further noted that under Section 7 (1) (a) of the National Monuments (Amendment) Act 1994 a member of the Garda Síochána may without warrant seize and detain:

*"a detection device found in, at the site of, or in the vicinity of a monument recorded under Section 12 of the Act unless the person in possession of the device has a consent of the Commissioners of Public Works in Ireland in accordance with the provisions of Section 2 of the Act of 1987."*



## 1.0 Scope of Study

This report has been prepared following a request by the client, Valleyport Limited, to undertake an Architectural Heritage Impact Assessment in conjunction with the Section 5 Declaration Application for the upgrading of the fire management system at Longueville House, Mallow, Co. Cork.

This Impact Assessment aims to provide the following:

- A brief historical overview of Longueville House.
- An assessment under Conservation Principles<sup>1</sup>
- A comprehensive understanding of the impact of the proposed works.
- Conclusion and mitigation of the proposed works.

## 2.0 Method of Study

The following methods and resources were used in establishing the Conservation Impact Assessment of the proposed works.

- The subject site was studied, visited and inspected by a Building Conservation Accredited Surveyor (SCSI and RICS).
- The subject site was studied, visited and inspected by a Chartered Building Engineer.
- The Record of Protected Structures constraint maps and lists (RPS) and the sites were studied.
- The author worked with the design team and fire safety consultants during the design stage to agree proposals that would meet with conservation best practice and minimise the impact on the historic fabric.
- The proposals were studied and assessed for their impact.

This report was prepared in accordance with national practice deriving from Architectural Heritage Protection Guidelines for Planning Authorities by the Department of the Arts, Heritage and Gaeltacht 2011 (Appendix B) and International practice from The Burra Charter 2013 (The Australia ICOMOS Charter for places of Cultural Significance)

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<sup>1</sup> adapted from Architectural Heritage Protection Guidelines for Planning Authorities by the Department of the Arts, Heritage and Gaeltacht 2011



### 3.0 Existing Environment

Longueville House is a former country house and hotel, located in the Blackwater Valley on the north of the N72 approximately 10 kilometres West of Mallow.



**Figure 1 - Location Google Maps**



**Photograph 1 - Longueville House Front Entrance**

The building consists of a three storey, south facing, former country house, built c.1720 with flanking additions c.1800 and a cast iron conservatory added c.1860. The complex includes farmyard outbuildings to the rear and a walled garden to the Northeast.

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**Photograph 2 - View of Main Staircase towards Front Entrance**

The ceilings to the main block of the building comprise of lath and plaster with varying levels of decorative plasterwork mouldings including cornice motifs and rosettes. The principal reception rooms are described in Burke's Guide to Country Houses as having simple early C19th plasterwork and doors of inlaid mahogany<sup>2</sup>. A number of the internal doors have been replaced over time.



**Photograph 3 - Living Room A Ceiling**

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<sup>2</sup> Bence-Jones, M, (1978), *Burke's Guide to Country Houses, Volume 1 Ireland*, New York, British Book Centre, p191.



**Photograph 4 - Doorway between Living Room B & Living Room A**

### **3.1 Proposed Development**

Longueville House is partly in use as residential accommodation. The proposed works are for the main house only. For the building to continue to be used as a residential space the fire management system must be upgraded to comply with current Fire Safety regulations. The proposed works will ensure the fire safety and management system is certified for the current use.

### **3.2 Site Inspection**

The site was inspected on the 2<sup>nd</sup> of December 2024 by David Humphreys and Sheena Ryan of ACP with members of the design team and Regent Fire Consultants. A ceiling inspection and assessment was carried out on the 21<sup>st</sup> and 22<sup>nd</sup> of January 2025 by David Humphreys & Ronan Humphreys of ACP.

### **3.3 Building Survey**

The following surveys/inspections were undertaken as part of the data gathering process:-

- J1070 Longueville House Ceiling Inspection & Assessment Report – refer to appendix 1 of this report.
- Architectural Survey by RDF Architects.
- Fire Risk Assessment by Regent Fire Consultants.

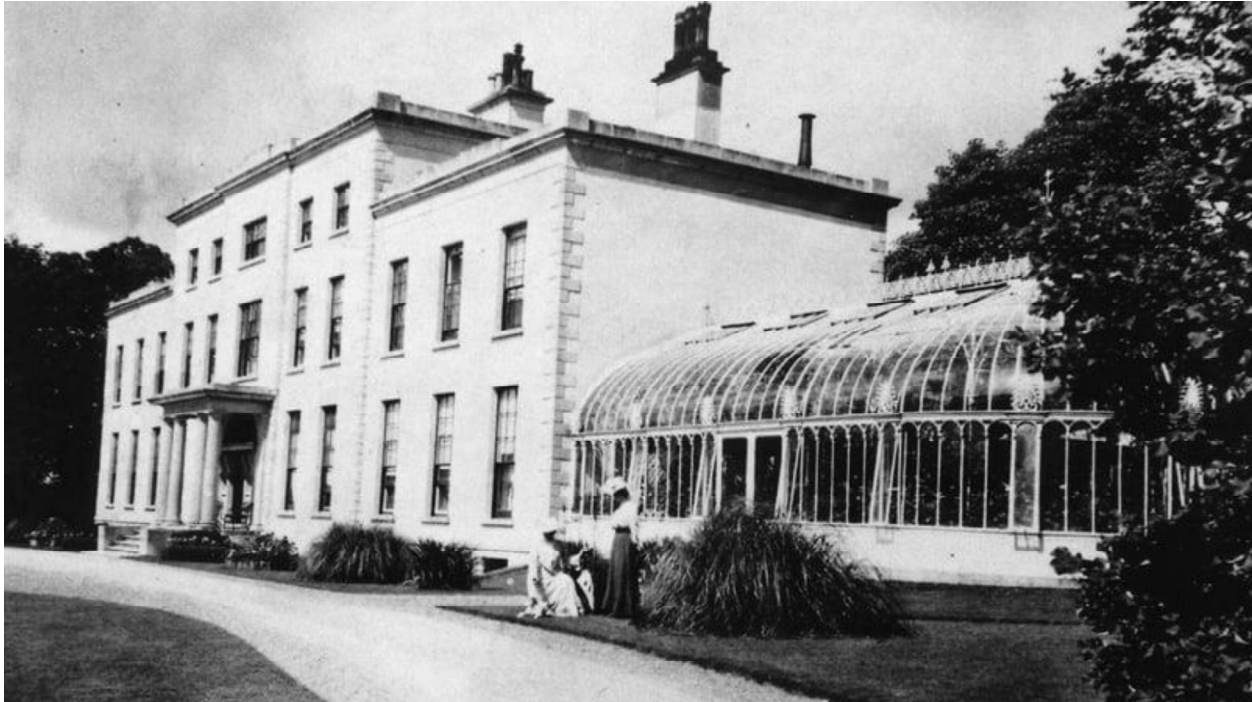
This information was used to inform the design team during the design development stage.





## 4.0 History of the Site/Structure and Vicinity

### 4.1 Historical background- Brief History of Longueville House



**Photograph 5 - Longueville House Historic Photograph, Date Unknown - Irish Life & Lore**

The following extract from the book *Houses of Cork*, gives a brief history of Longueville Estate:

*“The land around Longueville originally belonged to Donough O’Callaghan. It was forfeited to Bartholemew Purdon, a Cromwellian soldier, after the rebellion of 1641, and later sold to the Longfields, a family of French extraction who came to Ireland with Cromwell from Wales... The oldest section of the house is the quoined main block, which was constructed c. 1720. It is of five bays and three storeys over basement, with a quoined single bay breakfront. The central doorway retains its original door and large fanlight beneath a Doric portico, but some of the windows have been altered between 1800 and 1805 to match those on the three bay, two storey wings added at that time. The large conservatory of curved ironwork, which projects from the east gable, was built in 1862 and is one of the last drawn up by Richard Turner, the great Victorian designer of conservatories... The Longueville estate was vast, consisting in 1876 of almost nine and a half thousand acres. It returned to the O’Callaghans in 1938, when the Longfields sold the property to Senator William O’Callaghan. His descendants now run the house as a hotel and restaurant renowned for the quality of its food.”<sup>3</sup>*

### 4.2 Conservation of the site and vicinity

We are not aware of any ongoing conservation projects in the vicinity at this time.

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<sup>3</sup> Hajba, A-M, (2002), *Houses of Cork Volume 1 – North*, Whitegate, Ballinakella Press, p250.



### 4.3 Protection Status

Protection Status	Y/N	Details
Record of Protected Structures	Y	RPS No. 266
Architectural Conservation Area (ACA)	N	
Recorded Monument	Y	CO032-034. Country House
Zone of Archaeological Potential preservation order		Data Unknown
State Guardianship or ownership	N	Office of Public Works
NIAH Building Record	Y	Country House: 20903222, Conservatory: 20903241, Farmyard Complex (North): 20903223, Farmyard Complex (Northwest): 20903236
NIAH Garden Record	Y	2920

Table 1 - Protection Status

#### 4.3.1 Protected Structures

The building is a protected structure (RPS 266) however, it is not located within an Architectural Conservation Area in County Cork.

RPS No	Name of Structure	Townland	Location
00266	Longueville House	Longueville	East of Mallow

Figure 2 – Cork County Development Plan 2022 – 2028, Record of Protected Structures

#### 4.3.2 NIAH

<b>Reg. No:</b>	20903222
<b>Date:</b>	1700 - 1810
<b>Previous Name:</b>	
<b>Towns-land:</b>	Longueville
<b>County:</b>	Cork
<b>Coordinates:</b>	149655, 98671
<b>Categories of Special Interest:</b>	Architectural, Artistic, Historical
<b>Rating:</b>	Regional
<b>Original Use:</b>	Country House
<b>In Use as:</b>	Hotel

Table 2 - National Inventory of Architectural Heritage Record



## Description

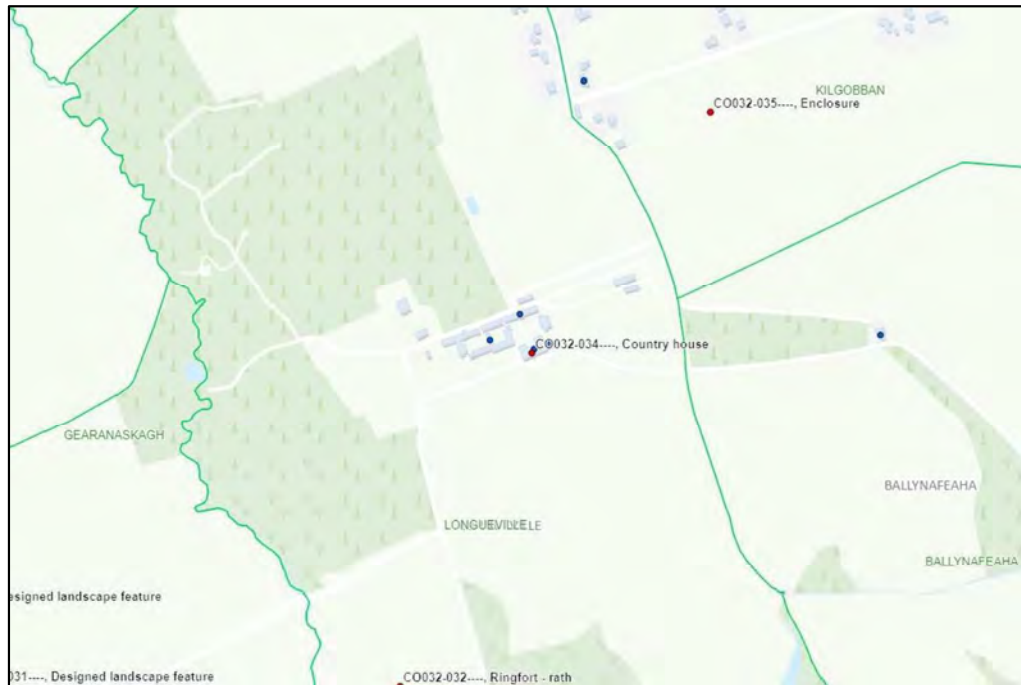
Detached U-plan former country house, now hotel, facing south, comprising central five-bay three-storey over half-basement block built c. 1720, remodelled 1800-5, refenestrated, breakfront and tetrastyle Doric portico added and three-bay two-storey over half-basement flanking blocks added. East flanking block has further five-bay three-storey block at right angle to rear, and cast-iron conservatory added 1862 to east elevation. West flanking block has equivalent of five-bay two-storey elevation with slightly projecting middle bay, and southmost part of elevation being blank. Three-bay single-storey porch to rear of main block. Hipped slate roofs with rendered chimneystacks having terracotta chimney pots. Limestone ashlar parapet to front blocks, with moulded cornice throughout and having parapets front and sides of main block and to all elevations of rear blocks except inner sides. Painted ruled and lined rendered walls with tooled limestone quoins, plinth course and eaves course. Square-headed window openings having limestone sills and timber sliding sash windows, front elevation having three-over-three pane windows to third floor and to basement, some of latter having cast-iron bars, nine-over-one pane windows to ground floor and some six-over-six pane and replacement timber windows to first floor. One-over-one pane windows to west elevation, middle bay having tripartite windows with decorative brackets to mullions, and pilasters, brackets and moulded cornice to first floor window, ground floor now having doorway to centre with cast-iron railings atop limestone plinth over basement area. Tripartite three-over-six pane windows to middle bay of rear elevation, having tooled limestone surrounds and top floor having elliptical-headed fanlight to width of window. Other windows to same elevation are six-over-six pane and some replacement uPVC. Side and rear elevations of west block have one-over-one pane and various timber and replacement uPVC sliding sash elsewhere. Rear porch has slightly projecting middle bay with open-bed pediment having moulded limestone detailing, rendered walls with moulded limestone plinth, and round-headed openings with moulded render impostes and archivolt, former central doorway having fluted consoles, west opening having one-over-one pane timber sliding sash window with limestone sill and east opening having timber panelled door with fanlight. Portico to front elevation has flat roof with moulded cornice supported on limestone columns and pilasters approached by moulded limestone steps with projecting parapet walls having cast-iron bootscrapes. Elliptical-headed door opening having timber panelled door with ornate elliptical petal fanlight and flanked by sidelights having geometric glazing and limestone risers, door opening and sidelights being surmounted by limestone cornice. Gate to lawn to front of house has cast-iron pineapple finials and wrought-iron gate.

## Appraisal

This elegant, classically proportioned house is attractively situated in landscaped surrounds and retains a host of notable features including many and varied timber sash windows, including tripartite windows, a decorative limestone doorcase with a fine fanlight, and numerous outbuildings and estate features. Its exterior form and character is mainly early nineteenth century, but the core of the main block is early eighteenth century. The various added blocks make Longueville House one of the largest in North Cork. The conservatory, added in 1862, considerably enhances the building.



Figure 3 below shows the various NIAH structures and SMR's within the vicinity of Longueville House.



**Figure 3 - Buildings of Ireland – Map of NIAH buildings (blue dot) and SMR's (red dot) within the vicinity of the structure**

### 4.3.3 Archaeology

The building is a Recorded Monument (CO032-034) with an associated Zone of Archaeological Potential for the Country House. See description below from [www.buildingsofireland.ie](http://www.buildingsofireland.ie).

CO032-034---- : Country house : LONGUEVILLE

Description: Mid-18th century 3-storey house, over basement; now functioning as restaurant and guesthouse. Entrance front (S) of 5 bays; central 1-bay breakfront framed by limestone quoins (see photograph Grove White 1905-25, vol. 4, opp. 58). Central round-headed door ope, behind limestone Doric portico, sidelights incorporated into frame; brackets support wide fanlight. Sash windows with glazing bars; central tripartite windows on 1st and 2nd floor. Cornice and parapet wall conceal hipped roof with central valley. Entrance front prolonged by addition of 2-storey, 3-bay wings, built c. 1800-1805 by John Longfield (Bence-Jones 1978, 191); hipped roof concealed behind cornice and parapet wall. West wing extended to rear in 1866, conservatory of curved ironwork added to E wing around same time (ibid.). Fine range of 2-storey farm buildings around yard to rear; bellcote and clock in pediment of N range. Two gate lodges each with pedimented Doric portico; duck decoy (14966) 550m to S, canal (15257) along demesne boundary to S.

The above description is derived from the published 'Archaeological Inventory of County Cork. Volume 4: North Cork' (Dublin: Stationery Office, 2000). In certain instances the entries have been revised and updated in the light of recent research.

Note: An archaeologist should be consulted to ascertain whether or not these proposed works require permissions under the National Monuments Act.



#### 4.3.4 Historic Maps

The historic maps below inform us of the evolution of Longueville house between 1844 and 1904. During this time the additions to the East and West of the main building were constructed, including the conservatory, alterations were made to the front and rear entrances of the building, the farmyard complex to the rear was expanded and developed, the defined paths and plots within the walled garden were removed.



Figure 4 - Ordnance Survey of Ireland Historic 6 Inch Map, Surveyed 1840, Published 1844



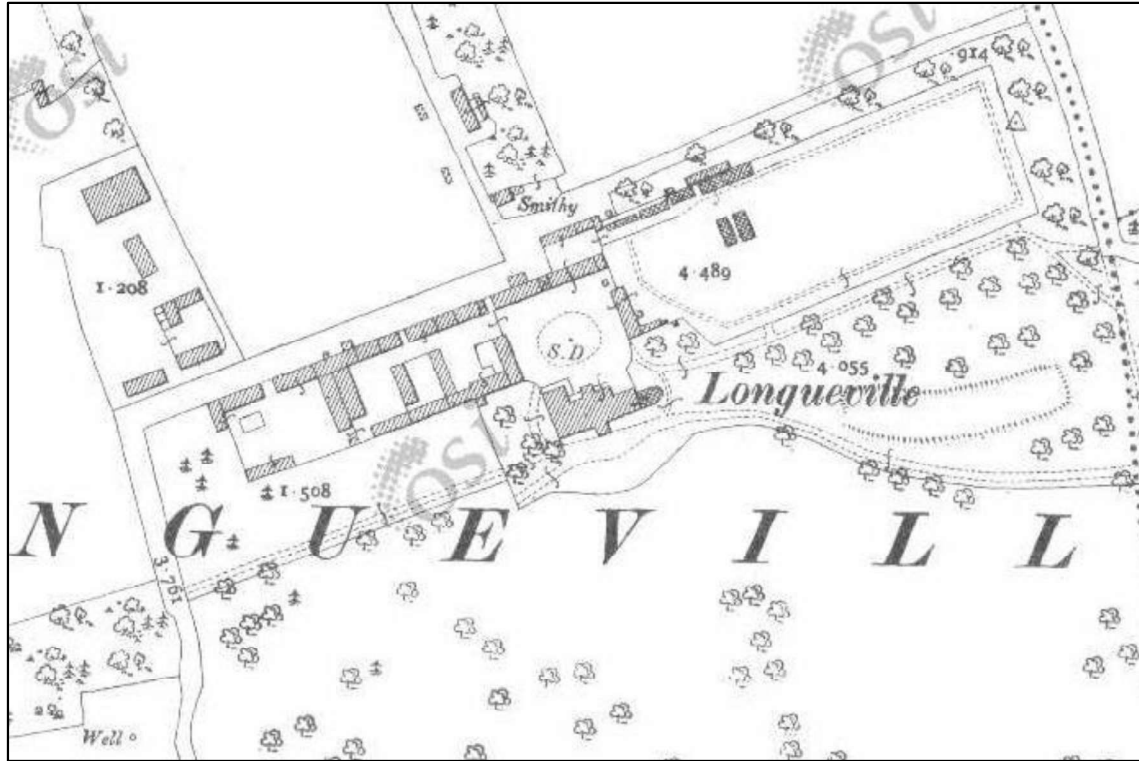


Figure 5 - Ordnance Survey of Ireland Historic 25 Inch Map, Surveyed 1903, Published 1904

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## 5.0 Impact of Proposed Development

The fire management strategy was developed by the design team using a combination of fire risk assessment and fire loading of the individual rooms of the building. An assessment of the condition of the historic ceilings was undertaken by ACP to inform this strategy. Refer to Appendix 1 of this report. The details of the management strategy are set out below in section 5.2 Predicted Impacts.

This section is only a prediction of proposed impacts as no impact has actually occurred as of yet. Please refer to Architectural Drawings by RDF Architects in Appendix 2 of this report. Figure 6 below is an example.

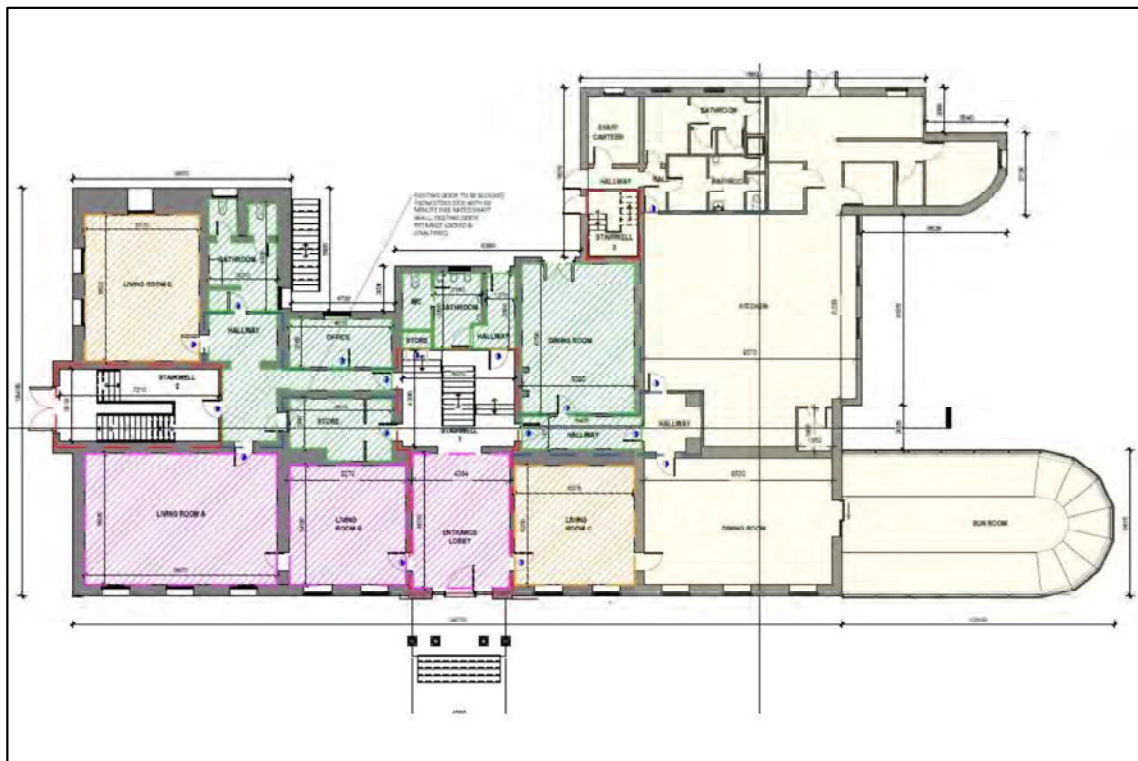


Figure 6 - Longueville House, Ground Floor - RDF Architects

### 5.1 The 'do nothing' impact

If no works are carried out, then the building will not be certified for compliance to fire safety standards and regulations. The building will continue to present a fire safety risk to the public. This would result in the building falling into disuse, or complete loss of the fabric and the historic record and possible injury or death to members of the public.

A 'do-nothing' approach in relation to this site is not acceptable and all efforts should be undertaken to upgrade the fire management system of the building, bringing the building up to current modern standards and complying with all necessary regulations, and keeping the building in use while retaining and protecting the historic fabric of building.





## 5.2 The Predicted Impacts

It is predicted that the proposed works will have a positive impact ensuring that the building complies with current fire safety standards and regulations with minimal impact to the historic fabric. The upgrading of the fire management system and building fabric will ensure the continued use of the building for the foreseeable future.

Internal Works	Predicted Impact
<p>Ceiling works:-</p> <p>All ceilings to be repaired following inspection and assessment of cracks or other damage.</p> <ol style="list-style-type: none"> <li>1. Existing ceilings without decorative elements or coloured finish, and in good condition are proposed to have any cracks or damage repaired and finished with intumescent coating system.</li> <li>2. Existing decorative ceilings with elements of colour, in good condition, are proposed to have any cracks or damage repaired followed by the application of clear intumescent coating system to the decorative and coloured features and white intumescent coating system applied to the plain white areas.</li> <li>3. Existing ceilings with a large amount of decorative and ornamental material and use of colour (name rooms) are proposed to be retained unaltered. Fire resistance is proposed to be achieved by the application of under floor fire barrier within the floor of the room directly above.</li> <li>4. Existing ceiling lights are to be removed and replaced with fire rated equivalent e.g. fire guards above light units.</li> </ol>	<p>Overall positive impact on the building. These works are necessary for upgrading the fire management system of the building and keeping the building in use. The proposed upgrades will ensure that the building will meet all building regulations and health and safety standards.</p> <p>Positive impact on the historic fabric whereby the fabric will be repaired and retained and upgraded to fire safety standards without impacting the fabric.</p>



<p>Door Works:-</p> <ol style="list-style-type: none"><li>1. Low risk doors: to have closing device installed.</li><li>2. Low to medium risk doors: to have self-closing device and cold smoke seals installed.</li><li>3. Medium risk doors: to have self-closing device and cold smoke seals installed, and 30 minute burnt through upgrade.</li><li>4. Medium to high risk doors: to be removed to workshop for upgrades and painted with clear* intumescent coating system, installation of self-closing device and cold smoke seals and 30 minute burnt through upgrade.</li><li>5. Existing door to ground floor store room to be blocked up from store side with 60 minute fire rated shaft wall. Existing door retained unaltered.</li></ol> <p>(*or white intumescent coating system where appropriate on doors that are already white)</p> <p>Where the area between the wall and the doorframe behind the architrave must be fire rated the architrave will be carefully removed and a suitable fire rated seal/material applied, and the architrave replaced.</p>	<p>Overall positive impact on the building as this will ensure that the building meets all fire regulations and health and safety standards.</p> <p>The proposed upgrades meet current best conservation and fire management practices in a historic building.</p>
---	--

### 5.3 The 'Worst Case' Scenario

The 'worst case' scenario in this case, would be if the proposed project was not undertaken and the necessary works to ensure the protection of the historic fabric and building inhabitants were not carried out. This would mean the building is left in its current state without fire safety compliance resulting in the building being abandoned and falling into disrepair with no sense of purpose.



## 5.4 Assessment under Conservation Principles

The following Conservation Principles have been identified and are described in detail in the following sections.

- Principle 1 – Keeping a building in use
- Principle 2 – Researching and Analyzing
- Principle 3 – Using expert Conservation advice
- Principle 4 – Protecting the special interest
- Principle 5 – Promoting minimum intervention
- Principle 6 – Respecting earlier alterations of interest
- Principle 7 – Repairing rather than replacing
- Principle 8 – Promoting honesty of repairs and alterations
- Principle 9 – Using appropriate materials and methods
- Principle 10 – Ensuring reversibility of alterations
- Principle 11 – Avoiding incremental damage
- Principle 12 – Discouraging the use of Architectural salvage from other buildings
- Principle 13 – Complying with building regulations

### 5.4.1 Principle 1 – Keeping a building in use

*It is generally recognised that the best method of conserving a historic building is to keep it in active use. Where a structure is of great rarity or quality, every effort should be made to find a solution which will allow it to be adapted to a new use without unacceptable damage to its character and special interest*

The proposed works involve the necessary upgrade of the fire management system at Longueville House and are necessary to keep the building in use.

### 5.4.2 Principle 2 – Researching and Analysing

*Before formulating proposals for works to a protected structure, the developer should research its historical development and understand thoroughly the present condition of the structure. The research should encompass not only the main structure and its interior but also its curtilage and attendant grounds, where relevant and any structures or features within them which contribute to the special interest of the protected structure/site.*

*The research should include an analysis of the physical fabric of the site and any available documentary or other evidence. The work should only be undertaken by those with the appropriate knowledge and skill.*

ACP undertook desktop research on the subject building and site as part of our obligations to our client and the building. The available accessible records of the building were sourced and studied with any relevant information recorded and presented within the body of this report. The knowledge gained from this has informed the design development of the project.



#### **5.4.3 Principle 3 – Using expert Conservation advice**

*Building conservation is a specialised discipline and the method of work needs to be specified by experts with a knowledge and experience of historic buildings.*

ACP Archcon Professionals Ltd have been engaged by the client to oversee the Building Conservation aspects of the project. ACP have two team members qualified as Building Conservation Accredited Surveyors with the SCSi and RICS.

#### **5.4.4 Principle 4 – Protecting the special interest**

*The character and special interest of a protected structure can be damaged by inappropriate works. The most obvious being demolishing or partly demolishing a structure. It can also be stripped of its value and distinctiveness by neglect and decay, unsuitable alteration, uninformed repair or over restoration.*

There have been detailed discussions between the Project Design Team and client to ensure that the proposed works protect the character, historic fabric of the property and special interest where possible within the constraints of the client's requirements. All the historic fabric of the building will be retained and conserved within the principles of Architectural Conservation.

#### **5.4.5 Principle 5 – Promoting minimum intervention**

*The principle of promoting minimum intervention in a protected structure can be summed up by the maxim 'Do as much as necessary and as little as possible'. Dramatic interventions in a protected structure are rarely appropriate. The best work in conservation terms is often that which is low key, involves the least work and can be inexpensive*

In this case the minimum intervention is being proposed to make the building safe and to bring it up to modern regulations. All materials and methods used where interventions with the original historic fabric will be undertaken within the principles of architectural conservation.

#### **5.4.6 Principle 6 – Respecting earlier alterations of interest**

*Alterations and additions to a structure can themselves be an irreplaceable part of a unique history. Different periods of alteration can inform the social and architectural history of the build heritage.*

*In order to appreciate the integrity of a structure, it is important to respect the contribution of different stages of its historical development.*

Any proposed works in and around earlier alterations will be considered carefully with the first principle always being the reuse of the alteration within the proposed works, where feasible. In this case all of the existing fabric is to be retained.

#### **5.4.7 Principle 7 – Repairing rather than replacing**

*It should be the aim of good conservation practice to preserve the authentic fabric which contributes to the special interest of the structure. Good repair will arrest the process of the decay of the structure and prolong its life without damaging its character and special interest.*



Works to the historic fabric will follow the Principles of Historic Conservation. Traditional methods and materials will be used when working with historic elements of the subject building. The architects' drawings identify what is to be repaired and maintained as part of the proposed development.

#### **5.4.8 Principle 8 – Promoting honesty of repairs and alterations**

*To promote good conservation practice in line with the recommendations of international charters, repairs to a protected building or structure should generally be carried out without attempt at disguise or artificial ageing. This does not mean that the repair should be obtrusive or that inappropriate materials should be used in order to contrast with the historic fabric. A good repair, carried out with skill, leaves an interesting record of works done. Deliberately obscuring alterations confuses the historical record that is the building. New repairs should not detract from the visual integrity of the structure but should be discernible on closer inspection.*

Where repairs / replacements are required for the subject building, these works will be undertaken using traditional materials, sourced to match the existing in so far as is possible, considering the constraints around the sourcing of bespoke materials.

Any repairs / replacements / alterations within this building will be undertaken with no attempt made to alter the appearance of the new traditional material, the material will be finished naturally, clearly distinguishable from the original extant materials of the building.

#### **5.4.9 Principle 9 – Using appropriate materials and methods**

*Only appropriate material and methods should be used in works to a protected structure. The use of modern materials and techniques should only be permitted where their appropriateness is supported by firm scientific evidence or where they have proved themselves over a sufficient period and where traditional alternatives cannot be sourced.*

The use of traditional materials and techniques is planned in this project when repairs are being carried out on the original traditional fabric of the building. Modern materials and methods in relation to the fire system upgrades will be installed as required, without any impact to historic fabric and agreed with the inspecting conservation consultant beforehand, with these interventions kept to an absolute minimum.

#### **5.4.10 Principle 10 – Ensuring reversibility of alterations**

*The use of processes which are reversible or substantially reversible, when understanding works to a protected structure is always preferable as this allows for the future correction of unforeseen problems, should the need arise, without lasting damage being caused to the architectural heritage.*

Detailed records and archival quality photographs will be taken, and further recording will continue during the proposed work to ensure the reversibility of the building. The proposed works are to be reversible where practical. On site discussions were undertaken by the Design Team to discuss and agree all interventions and to ensure that this principle is respected.



#### **5.4.11 Principle 11 – Avoiding incremental damage**

*Thought must be given by the planning authority to the potential cumulative impact of minor works to the character of protected structures and of ACA's. The quality and character of both can be damaged by incremental alterations. In the case of protected structures this applies to both internal and external works.*

The design intention is to repair and retain all of the historic fabric while upgrading it to comply with modern fire safety standards. The approach has been carefully designed with the design team and fire consultants to minimise the potential cumulative impact on the character of the building.

#### **5.4.12 Principle 12 – Discouraging the use of Architectural salvage from other buildings**

*The use of architectural salvage from other buildings should not be encouraged for two reasons. Firstly, the re-use of architectural features from elsewhere can confuse the understanding and appreciation of a building, casting doubt on the authenticity of even the untouched part of the fabric. Secondly, creating a market for salvaged building materials promotes the dismantling of other older buildings, for example the removal slates or cut-stone elements from a building for reuse elsewhere.*

There is no proposal to use any salvaged architectural material in this project.

#### **5.4.13 Principle 13 – Complying with building regulations**

*The building regulations are designed to secure the health and safety of people in and around buildings.*

Building Regulations will be complied with in so far as is practical, as outlined with the Technical Guidance Documents applicable to each of the parts of the regulations, Part A to M. Upgrades to the building are required to meet the fire safety standards under modern building regulations.





## 6.0 Statement of Justification for Works

The proposed works are necessary to bring the building up to current Fire Safety standards and to comply with regulations regarding Fire Safety. The proposed design is based on a fire risk and fire load assessment. The approach has been designed to minimise the impact on the historic fabric.

## 7.0 Conclusions and Suggested Mitigation

In conclusion the proposal set out in this report, will ensure that the building will continue to have a sustainable purpose and prolong the use of the building for many years. The proposed mitigation measures will ensure that the impact of the individual and overall impacts are mitigated and any loss of fabric will be retained by record to an internationally accepted standard.

The following mitigation measures are proposed:

1. High resolution digital photographs are to be taken on a regular and ongoing basis for the duration of the works and a detailed description of the works undertaken be kept and compiled.
2. A conservation record survey and fabric condition assessment are to be carried out by the Building Conservation Accredited Surveyor on the ceilings and doors in the building prior to the works commencing in conjunction with the fire engineer and the fire safety contractor. This will ensure that a comprehensive record of the existing building is established and added to the historical record before any changes are made and that appropriate repairs are carried out.
3. Specifications, plans, and method statements prepared by the Building Conservation Accredited Surveyor are to be read and adhered to by the contractor, staff and all involved with the proposed works.
4. All works on site are to be supervised on an ongoing basis by the Project Building Conservation Accredited Surveyor (Accredited by the RICS and SCSI). A detailed record of works is to be kept and compiled for submission to the building record after proposed works have been completed.
5. All specialist conservation works are to be undertaken by appropriately qualified and experienced tradesmen e.g. Heritage Joiner.



## 8.0 Signing Off Statement

### Conservation Company:

ACP Archcon Professionals Limited. (Registration No: 591604). Trading as ACP (Registration No. 588345).

### Author(s):

David Humphrey's, FRICS, FSCSI, FCABE, BCAS, CMLI, MILI, C.Env.  
Group Director  
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Chartered Building Engineer  
Chartered Building Surveyor  
Chartered Landscape Architect  
Chartered Project Manager  
Chartered Environmentalist

And

Sheena Ryan BA(Hons) Fine Art  
Historic Building Consultant

**Client:** Valleyport Limited

**Signed:**

For ACP Archcon Professionals Limited.

**Date:** 31<sup>st</sup> January 2025





## 9.0 Project References

The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.

<http://australia.icomos.org/>

National Inventory of Architectural Heritage

<http://www.buildingsofireland.ie/>

Planning and Development Act 2000, Part IV

<http://www.irishstatutebook.ie/eli/2000/act/30/section/51/enacted/en/html#partiv>

Architectural Heritage Protection – Guidelines for Planning Authorities, DAHG 2011

[http://www.buildingsofireland.ie/FindOutMore/Architectural%20Heritage%20Protection%20-%20Guidelines%20for%20Planning%20Authorities%20\(2011\).pdf](http://www.buildingsofireland.ie/FindOutMore/Architectural%20Heritage%20Protection%20-%20Guidelines%20for%20Planning%20Authorities%20(2011).pdf)

Irish Architectural Archive

<https://iarc.ie/>

National Monuments Service Ireland

<https://www.archaeology.ie/>

County Council Web Site

[www.corkcoco.ie](http://www.corkcoco.ie)

Ordnance Survey Ireland

[www.osi.ie](http://www.osi.ie)

Trinity College Dublin – Glucksman Map Library

<https://www.tcd.ie/library/map-library/>



## 10.0 Appendices

1. J1070 Longueville House Ceiling Inspection & Assessment Report
2. Architects Drawings by RDF Architects
3. Fire Risk Assessment by Regent Fire Consultants



## Multidisciplinary Conservation Practice

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Chartered Building Surveyors

Building Conservation Accredited Surveyors (SCSI/RICS)

Conservation Building Engineers

Historic and Ecological Landscape Consultants

Project Managers, Quantity Surveyors and Building Economists

Historic Metalwork Consultants

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# - APPENDIX 1 -

J1070 Longueville House, Mallow – Ceiling Inspection & Assessment Report



# ACP *Architectural Conservation Professionals*



International Preservation and Conservation Award 2021

Winners



## **Ceiling Inspection and Assessment report for Section of Longueville House, Mallow.**

**Client: Valleyport Limited**



**Date: 27<sup>th</sup> January 2025**

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Chartered Building Surveyor



**Copies of this report  
have been presented  
by ACP to:**

Valleyport Limited.

**Acknowledgements:**

Architectural Conservation Professionals acknowledges any information supplied by the Client and information obtained from the Record of Protected Structures (RPS), the National Inventory of Architectural Heritage (NIAH) and record of Monuments and Places (RMP)

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## GLOSSARY OF TERMS

### 1. *ACA*

**An Architectural Conservation Area** is a place, area, group of structures or townscape that is of special architectural, scientific, social or technical interest, or that contributes to the appreciation of a protected structure, whose character it is the objective of a development plan to preserve - Section 52 (1) (b) of the 2000 Act.

### 2. *Area of Special Planning Control*

**Areas of Special Planning Control** provide powers to planning authorities not alone to give protection to the character of certain qualifying areas, but also to enhance that character, that is, to restore it and to require owners and occupiers to conform to a planning scheme – Section 84, of the 2000 Act

### 3. *NIAH*

The **National Inventory of Architectural Heritage**. The purpose of the NIAH is to identify, record, and evaluate the post-1700 architectural heritage of Ireland, uniformly and consistently as an aid in the protection and conservation of the built heritage. NIAH surveys provide the basis for the recommendations of the Minister for Arts, Heritage and the Gaeltacht to the planning authorities for the inclusion of particular structures in their Record of Protected Structures (RPS)

### 4. *Protected Structure*

A “**protected structure**” is defined as any structure or specified part of a structure, which is included in the Record of Protected Structures. The term “structure” is defined by Section 2 of the 2000 Act to mean ‘any building, structure, excavation or other thing constructed, or made on, in or under any land, or any part of a structure so defined, and where the context so admits, includes the lands on, in, or under which the structure is situate’. – Section 2 (1) of the 2000 Act

### 5. *Section 57 Declaration*

**Section 57 Declaration** Owners or occupiers of a protected structure may request a ‘declaration’ under Section 57 of the 2000 Act. The purpose of which is for planning authorities to clarify in writing the kind of works that would or would not materially affect the character of that structure or any element of that structure which contributes to its special interest. Declarations guide the owner as to what works would and would not require planning permission in the context of the protection of the architectural heritage. This is because the character of a protected structure cannot be altered without first securing planning permission to do so.

### 6. *RMP*

**Archaeological sites** are legally protected by the provisions of the National Monuments Acts, the National Cultural Institutions Act 1997 and the Planning Acts. The **National Record of Monument & Places (RMP)** is a statutory list of all known archaeological monuments provided for in the National Monuments Acts. It includes known monuments and sites of archaeological importance dating to before 1700AD, and some sites which date from after 1700AD.

### 7. *RPS*

Record of Protected Structures. A Protected Structure is a structure which is considered to be of special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social or technical point of view. The Record of Protected Structures (RPS) is a list of the buildings held by a Local Authority which contains buildings considered to be of special interest in its operational area. Section 51 (of the 2000 Act) requires that the development plan shall include a Record of Protected Structures and that the



## 8. SAC

Record shall include every structure which is, in the opinion of the Planning Authority, of special interest.

Special Area of Conservation are prime wildlife conservation areas in the country, considered to be important on a European as well as Irish level. Most Special Areas of Conservation (SACs) are in the countryside, although a few sites reach into town or city landscapes, such as Dublin Bay and Cork Harbour.

## 9. SPA

Ireland is required under the terms of the EU Birds Directive (2009/147/EC) to designate Special Protection Areas (SPAs) for the protection of:-

- Listed rare and vulnerable species;
- Regularly occurring migratory species;
- Wetlands especially those of international importance.

## Levels of significance – NIAH Definitions 2021

***International Significance*** Structures of sufficient architectural heritage significance to be considered in an international context. These are exceptional structures that can compare with the finest architectural heritage of other countries. Examples include the Custom House in Dublin and Saint Fin Barre's Cathedral in Cork

***National Significance*** Structures that make a significant contribution to the architectural heritage of Ireland. These are structures that are considered to be of considerable architectural heritage significance in an Irish context and examples include Ardnacrusha Generating Station in County Clare; Sligo Courthouse; the Carroll Cigarette Factory in Dundalk; Emo Court in County Laois; and Lismore Castle in County Waterford.

***Regional Significance*** Structures that make a significant contribution to the architectural heritage of their region. They also bear comparison with similar structures in other regions in Ireland. Examples include the Georgian terraces of Dublin and Limerick; the Wikinson-designed workhouses in each county; and the Halpin-designed lighthouses around the Irish coastline. Increasingly, structures that warrant protection make a significant contribution to the architectural heritage of their locality. Examples include modest terraces and commercial buildings with early shopfronts.

***Local Significance*** These are structures that make a contribution to the architectural heritage of their locality but which do not merit inclusion on the RPS.

***Record only*** These are structures that are considered to have insufficient architectural heritage significance at the time of recording to warrant a higher Rating.





## Penalties for Offences

### Architectural Heritage Protection

A Protected Structure and built fabric within its curtilage is protected by law under Part IV of the Planning and Development Act 2000. The penalties for breaches of this Act are severe. Section 156 of the Act states:-

(1) A person who is guilty of an offence under *sections 58(4), 63, 151, 154, 205, 230(3), 239 and 247* shall be liable—

(a) on conviction on indictment, to a fine not exceeding £10,000,000, or to imprisonment for a term not exceeding 2 years, or to both, or

(b) on summary conviction, to a fine not exceeding £1,500, or to imprisonment for a term not exceeding 6 months, or to both.

### Monuments and Places included in the Record

Section 12 (3) of the Act provides for the protection of monuments and places included in the record stating that

"When the owner or occupier (not being the Commissioners) of a monument or place which has been recorded under subsection (1) of this section or any person proposes to carry out, or to cause or permit the carrying out of, any work at or in relation to such monument or place, he shall give notice in writing of his proposal to carry out the work to the Commissioners and shall not, except in the case of urgent necessity and with the consent of the Commissioners, commence the work for a period of two months after having given the notice."

**A person contravening this requirement for two months notification to the Commissioners of Public Works in Ireland of proposed works at or in relation to a recorded monument or place shall (under Section 13 of the Act) be guilty of an offence and be liable on summary conviction to a maximum penalty of a £1000 fine and 12 months imprisonment and on conviction on indictment to a maximum penalty of a £50,000 fine and 5 years imprisonment.**

It should also be noted that Section 16 of the National Monuments (Amendment) Act 1994 amended the National Monuments (Amendment) Act 1987 (the Act of 1987) so that under Section 2 (1) (a) (iv) of that Act **the use or possession of a detection device**

*"in, or at the site of, a monument recorded under section 12 of the National Monuments (Amendment) Act, 1994,"*

**is prohibited** otherwise than in accordance with a consent of the Commissioners of Public Works in Ireland granted under the provisions of Section 2 of the Act of 1987.

**A person contravening the above provisions relating to use or possession of detection devices shall (under Section 2 (5) of the Act of 1987) be guilty of an offence and be liable (under Section 23 (1) of the Act of 1987) on summary conviction to a maximum penalty of a £1000 fine and 6 months imprisonment or on conviction on indictment to a maximum penalty of a £50,000 fine and 12 months imprisonment.**

It should be further noted that under Section 7 (1) (a) of the National Monuments (Amendment) Act 1994 a member of the Garda Síochána may without warrant seize and detain:

*"a detection device found in, at the site of, or in the vicinity of a monument recorded under Section 12 of the Act unless the person in possession of the device has a consent of the Commissioners of Public Works in Ireland in accordance with the provisions of Section 2 of the Act of 1987.*



## 1.0 Scope of Study

This report has been prepared following a request by the Client. The study sets out to determine the condition of the historic and modern ceilings in the unoccupied part of Longueville House by a visual inspection of the surface of the ceiling and to determine its makeup using an existing opening in the ceiling (e.g. where cables for a fire alarm system are coming through the ceiling) primarily to determine the thickness of the historic lath and plaster.

### Note:

This is not a comprehensive building/structural survey and should not be taken as such. It must be noted that no new openings were made to the historic ceilings and that this report is based on a visual inspection only. We can only comment on those items which were both visible and accessible at the time of our inspection.

## 1.1 Method of Study

The following methods and resources were used in establishing this report. This list is not exhaustive.

- The subject building was visited and inspected by a qualified Building Conservation Accredited Surveyor and Chartered Building Engineer on the 21<sup>st</sup> and 22<sup>nd</sup> of January 2025.
  - The data, observations and figures provided within this report are representative of the condition of the subject structure(s) on the day of inspection only.
  - Access to the ceilings were provided by DNCF.
  - Many of the existing fire alarm detector units which were used to access the ceiling thickness measurement, were located at the side of the ceiling and not at the centre.
  - Using the existing openings created for the fire alarm system some time ago meant the now new holes were made in the historic ceilings.
- The thickness of the plaster from the surface to the underside of the laths was measured where possible in the lath and plaster ceilings.
- Plans drawn up by Regent Fire Consultants were used to identify the rooms
- The Record of Protected Structures constraint maps and lists (RPS) and the sites were studied.
- The Record of Monuments and Places from the National Monuments Service website was studied.



## 2.0 Existing Environment

### 2.1 Location

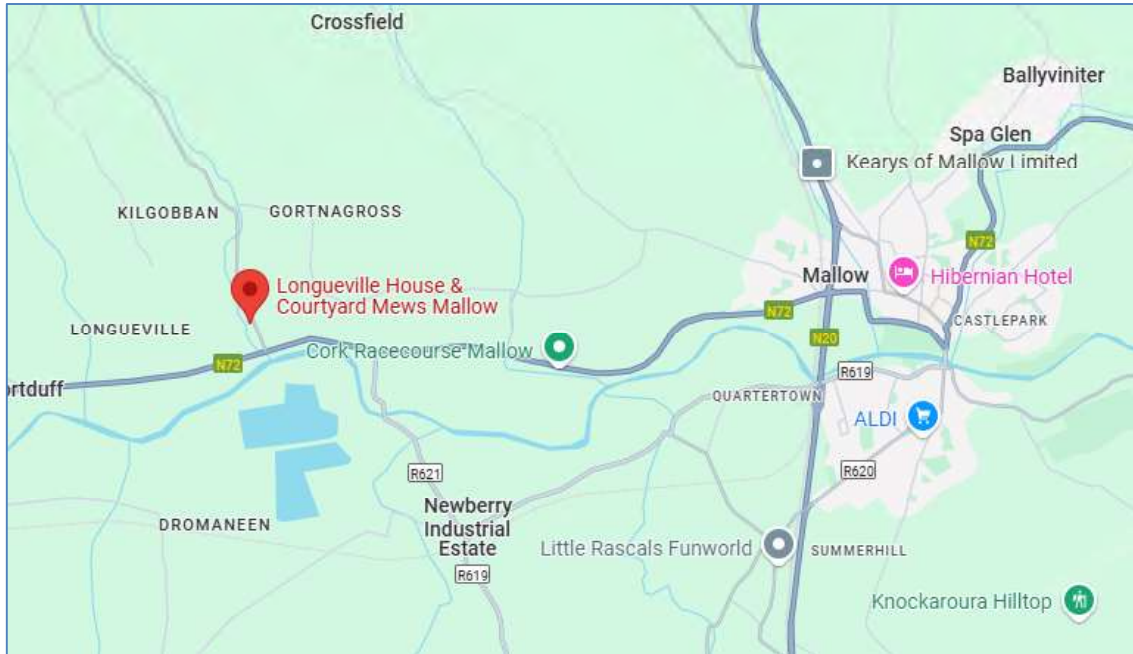


Figure 1 Location - Google maps



Figure 2 Location – Google Maps

### 2.2 Historic Maps

**Ireland:-** Grageen House, Cappanuke, Cappamore, Co Limerick, Ireland  
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Figure 3 1<sup>st</sup> Edition Map 6”

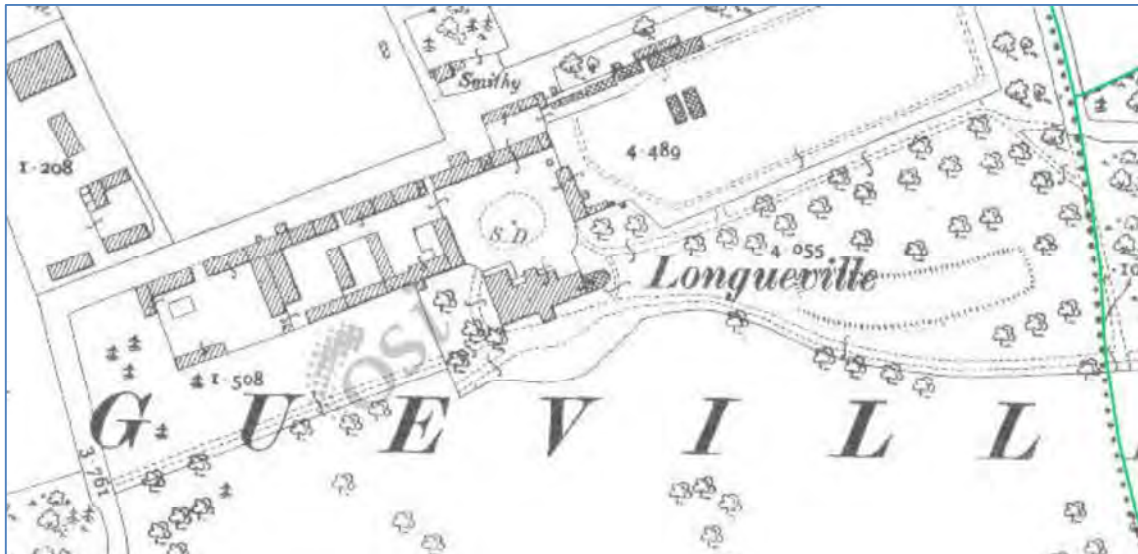


Figure 4 2<sup>nd</sup> Edition Map 25”





Figure 5 MapGenie (ITM)

## 2.3 Protection Status

Protection Status	Y/N	Details
Record of Protected Structures (RPS)	Y	RPS ID 266
Recorded Monument (RMP)	Y	CO032-034. Country House
Architectural Conservation Area (ACA)	N	
NIAH Building Record	Y	20903222, 20903241, 20903236, and 20903223
NIAH Garden Record		

### 2.3.1 Record of Protected Structures (RPS)

RPS ID No 266.

## 2.4 National Inventory of Architectural Heritage (NIAH) Description

<b>Reg. No:</b>	20903222
<b>Date:</b>	1700 - 1810
<b>County:</b>	Cork
<b>Coordinates:</b>	149655, 98671
<b>Categories of Special Interest:</b>	
<b>Rating:</b>	Regional
<b>Original Use:</b>	Country House
<b>In Use as:</b>	Hotel

The NIAH record has 4 separate records for Longueville House – the House, Conservatory and 2 no for the farmyard complex.

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## Description

Detached U-plan former country house, now hotel, facing south, comprising central five-bay three-storey over half-basement block built c. 1720, remodelled 1800-5, refenestrated, breakfront and tetrastyle Doric portico added and three-bay two-storey over half-basement flanking blocks added. East flanking block has further five-bay three-storey block at right angle to rear, and cast-iron conservatory added 1862 to east elevation. West flanking block has equivalent of five-bay two-storey elevation with slightly projecting middle bay, and southmost part of elevation being blank. Three-bay single-storey porch to rear of main block. Hipped slate roofs with rendered chimneystacks having terracotta chimney pots. Limestone ashlar parapet to front blocks, with moulded cornice throughout and having parapets front and sides of main block and to all elevations of rear blocks except inner sides. Painted ruled and lined rendered walls with tooled limestone quoins, plinth course and eaves course. Square-headed window openings having limestone sills and timber sliding sash windows, front elevation having three-over-three pane windows to third floor and to basement, some of latter having cast-iron bars, nine-over-one pane windows to ground floor and some six-over-six pane and replacement timber windows to first floor. One-over-one pane windows to west elevation, middle bay having tripartite windows with decorative brackets to mullions, and pilasters, brackets and moulded cornice to first floor window, ground floor now having doorway to centre with cast-iron railings atop limestone plinth over basement area. Tripartite three-over-six pane windows to middle bay of rear elevation, having tooled limestone surrounds and top floor having elliptical-headed fanlight to width of window. Other windows to same elevation are six-over-six pane and some replacement uPVC. Side and rear elevations of west block have one-over-one pane and various timber and replacement uPVC sliding sash elsewhere. Rear porch has slightly projecting middle bay with open-bed pediment having moulded limestone detailing, rendered walls with moulded limestone plinth, and round-headed openings with moulded render impostes and archivolt, former central doorway having fluted consoles, west opening having one-over-one pane timber sliding sash window with limestone sill and east opening having timber panelled door with fanlight. Portico to front elevation has flat roof with moulded cornice supported on limestone columns and pilasters approached by moulded limestone steps with projecting parapet walls having cast-iron bootscrapes. Elliptical-headed door opening having timber panelled door with ornate elliptical petal fanlight and flanked by sidelights having geometric glazing and limestone risers, door opening and sidelights being surmounted by limestone cornice. Gate to lawn to front of house has cast-iron pineapple finials and wrought-iron gate.

## Appraisal

This elegant, classically proportioned house is attractively situated in landscaped surrounds and retains a host of notable features including many and varied timber sash windows, including tripartite windows, a decorative limestone doorcase with a fine fanlight, and numerous outbuildings and estate features. Its exterior form and character is mainly early nineteenth century, but the core of the main block is early eighteenth century. The various added blocks make Longueville House one of the largest in North Cork. The conservatory, added in 1862, considerably enhances the building.



### 3.0 Ceiling Inspection and Assessment

The ceiling inspection to determine the thickness of the historic plaster underneath the laths and the visual inspection of the ceilings was undertaken to advise the Fire Engineering Consultant and the Design Team regarding the condition and makeup as far as practically possible without carrying out intrusive destructive opening up works on the ceilings, If intrusive destructive opening up works was required this would need the written permission of the Planning Authority as the building is a Protected Structure.

**Note:-** no material testing of the constituents of the plaster ceilings was made. Access was via portable / mobile scaffolding and ladders. An electrician disconnected and reconnected the fire alarm units as required.

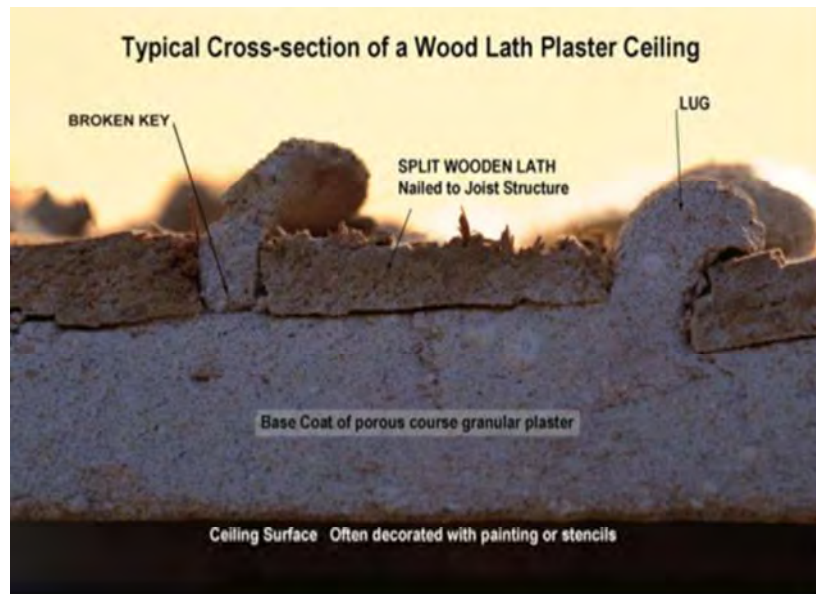


Figure 6 Typical Cross- section of Wood lath and Plaster Ceiling  
<https://www.labc.co.uk/sites/default/files/content/lath-and-plaster.jpg>



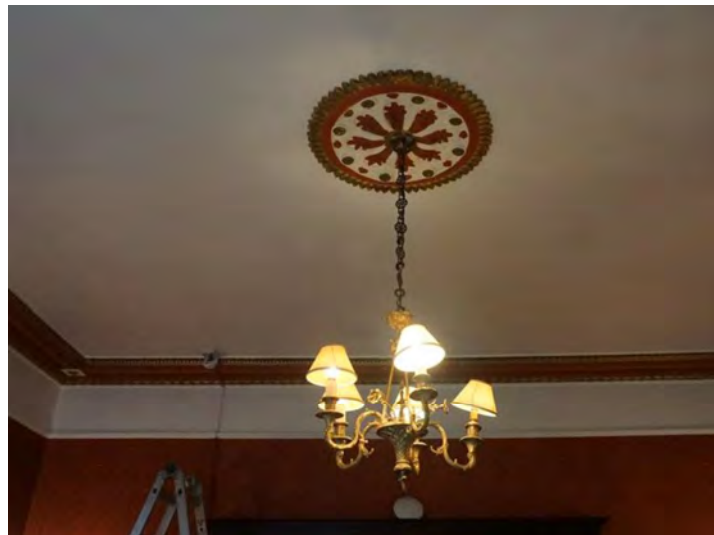
Figure 7 Upper surface of Lath and Plaster ceilings  
<https://cdn.britannica.com/64/132064-050-A7A9675C/laths-base-plaster.jpg>



**Figure 8 Using existing openings in the ceiling**



**Figure 9 Mobile scaffold tower**



**Figure 10 Historic ceiling center rose not used**



The sequence of the inspection was generally as follows: - ground floor, followed by the 1<sup>st</sup> floor, basement and 2<sup>nd</sup> floor. This sequence is not followed exactly due to practicalities on the day. However, the numbering system in the record starts at room no ne and follows in sequence. The modern slab and skim ceilings have unshielded downlighters particularly within the toilet shower areas.



**Figure 11 Downlighter in modern ceiling**

**Note:-**

- Photographs are numbered from number J1070\_740.jpg (740 is the number of the photograph and J1070 refers to the File reference) to J1070\_978.jpg.
- Due to very low light conditions some of the photographs are not in focus and in some cases there are duplicate photos.
- Where possible photographs of the doors and the ceilings were taken.
- Some of the rooms are numbered with a number and letter. This occurred due to the presence of a number of rooms that had rooms off of the main room. It has no significance other than it was used to retain the original numbering system.
- Items on the schedule with an orange colour require further investigation to specify repair works as there is significant cracking / sagging of the ceiling.





### 3.1 Schedule of Inspection

#### 3.1.1 Ground Floor

Room No	Plaster depth	Description	Photos	Downlighters	Flat roof
<b>Ground Floor</b>					
1	30 mm	Ornamental ceiling, good condition. Historic doors	740 - 749		
2	40 mm	Ornamental ceiling, good condition. Historic doors	750 - 757		
3	35 mm	Ornamental ceiling, cracked in parts.	758 - 764		
4	30 mm	Domed ceiling at top level of stairway	849 - 855		
4A	35 mm	minor crack in ceiling, good condition	766 - 767		
4B	35 mm	minor crack in ceiling, good condition	768		
5	30 to 20 mm	Bar area, fanlight over blocked door. Ceilings in good condition except for water damage in parts	769 - 780		
6	45 mm	uneven ceiling with pipe penetrations at high level. Ceiling poor condition. Pipe penetrations through stud wall	781 - 784		
7	40 mm	Top of ceiling first floor. Extensive cracking and sagging. Water damage	792 - 794		
8	25 mm	ceiling good condition	795 - 801		
9	20 mm	ceiling with cracking and repairs in past. modern skimmed slab under original ceiling.	789 - 791		
10	50 mm	Poor condition	802 - 806		
11 A		skim over lath and plaster	807 - 815	Y	
11 B	30 mm	skim over lath and plaster	816 - 819	Y	
11 C	30 mm	skim over lath and plaster	816 - 819	Y	
12		skim slab 130mm below roof (flat roof area)	831 - 834	Y	Y
13		skim slab 70 mm below roof. Central glass dome.	828 - 830	Y	Y
14	20 mm	lath and plaster ceiling with 120mm gap to roof	827, 836 - 842	Y	Y
		external roof over 12, 13, 14 and part 35	835, 843 - 848		Y
15	35 mm	lath and plaster ceiling, cracked and patchy	822 - 826		
33		modern skimmed slab. Minor cracks	899 - 904		
34		modern skimmed slab. Minor cracks. Access Hatch	909 - 913	Y	
35	35 mm	lath and plaster ceiling. Minor cracks. Part of flat roof area	905 - 908		Y

**Note:** - Rooms 12, 13, 14 and part of 35 were underneath a flat roof - photos 835, and 843 to 848.





### 3.1.2 First Floor

Room No	Plaster depth	Description	Photos	Downlighters	Flat roof
<u>First Floor</u>					
16 & 17		modern slab 750mm under original ceiling	866 - 870		
18	35 mm	lath and plaster ceiling. Good condition	862 - 863		
19		modern slab 750mm under original ceiling	864 - 865	Y	
20	35 mm	lath and plaster ceiling. Good condition	856 - 860		
20 A		modern slab 750mm under original ceiling	861	Y	
21	20 mm	lath and plaster ceiling. Cracked and displacement.	878 - 880		
22		modern slab 115mm under original ceiling	881 - 882	Y	
23		hardboard ceiling (20mm) under slab and skim	883 - 886	Y	
24		modern slab ceiling under other possible slab ceiling by 400 mm	887	Y	
25	30 mm	lath and plaster ceiling. Good condition	888 - 890		
26		modern skim and slab ceiling	891 - 893	Y	
27	35 mm	lath and plaster ceiling. Minor cracks	871 - 874		
27 A		modern slab 750mm under original ceiling	875 - 877	Y	
28	30 mm	Lath and plaster under flat roof.	897 - 898		
29	30 mm	lath and plaster ceiling. Good condition	919 - 921		
30	30 mm	lath and plaster ceiling. Good condition	914 - 918		
31	40 mm	lath and plaster ceiling. Water damaged	923 - 926		
32		modern slab 750 mm under original ceiling	927	Y	
33, 34, 35		see ground floor above			

### 3.1.3 Basement

Room No	Plaster depth	Description	Photos	Downlighters	Flat roof
<u>Basement</u>					
36	10 mm	Lath and plaster with slabbed repairs.	928 - 930	Y	
37	35 mm	Lath and plaster ceiling . Cracked and poor condition	931 - 934		
38	20 mm	Lath and plaster ceiling . Cracked and poor condition	935 - 936		
38 A	20 mm	lath and plaster. Good condition	937 - 939		
39	30 mm	lath and plaster. Good condition	940 - 943		
40	25 mm	lath and plaster. Cracked and poor condition	944 - 946		
40A		storage under stairs	947		
41	20 mm	lath and plaster. Cracked and poor condition 12mm particle board on original ceiling.	948 - 950		
41 A		Poor condition	951		
41 B	20 mm	lath and plaster. Cracked and poor condition	952		
42		Solid ceiling - possible brick arched	953 - 954		
Brick arched rooms in basement			955 - 963		

**Note:-** Photographs 955 to 963 are of the brick arched ceilings in the eastern end of the basement.

### 3.1.4 Second Floor

No ceilings were examined in detail in this area as this wasn't deemed necessary as it's the underneath the attic space. The photographs are a visual record of the rooms.

Room No	Plaster depth	Description	Photos
<u>Second Floor</u>			
		Top floor under roof - photos for record only.	
		Refer to locations in drawing	964 - 978



#### 4.0 Summary

Generally the historic ceilings are as to be expected for a house of this age. The condition varies a lot with cracking and some repairs. Some of the cracking is probably due to excessive shrinkage of the ceilings with the introduction of modern heating and temperature levels.

There is some water damage in places that has not been repaired appropriately which would compromise the fire resistance of the ceiling.

The ceilings highlighted in orange in the schedules will at a minimum require some repair works to the cracking and if the bulging is due to the failure of the laths or plaster above the laths, then significant repair will be required.

Any works to the Protected Structure even of a repair and maintenance type will require the permission of the Planning Authority. This may already be in place by the owners. If not then an application will be required.

#### 5.0 Signing Off Statement

**Conservation Company:**

ACP Archcon Professionals Limited. (Registration No: 591604). Trading as ACP (Registration No. 588345).

**Author(s):**

David Humphrey's, FRICS, FSCSI, FCABE, BCAS, C.Env. IHBC. .  
RICS Certified Historic Building Professional  
SCSI Building Conservation Accredited Surveyor  
Chartered Building Engineer  
Chartered Building Surveyor

**Signed:**

\_\_\_\_\_  
For ACP Archcon Professionals Limited.

**Date:**

27<sup>th</sup> January 2025





## **6.0 Appendices**

### **6.1 Schedule of Inspection**

### **6.2 Room location plans**

### **6.3 Photo record**



## 7.0 Project References

The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.  
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National Inventory of Architectural Heritage

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Ordnance Survey Ireland

[www.osi.ie](http://www.osi.ie)

Trinity College Dublin – Glucksman Map Library

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**Web:** [www.acpgroup.ie](http://www.acpgroup.ie)

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**Phone:** +65 96425182, **Email:** [noel@acpgroup.sg](mailto:noel@acpgroup.sg)  
**Web:** [www.acpgroup.sg](http://www.acpgroup.sg)





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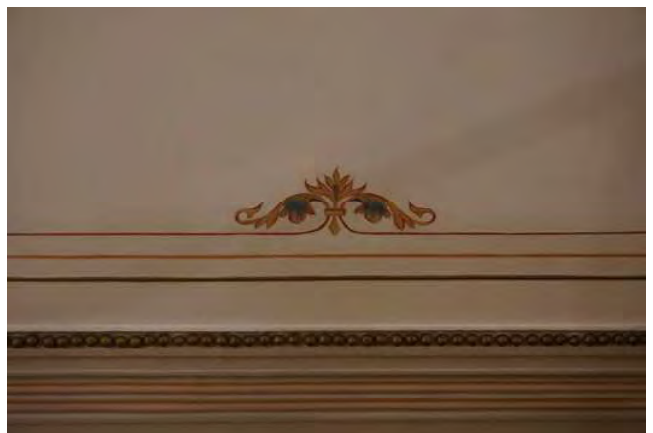
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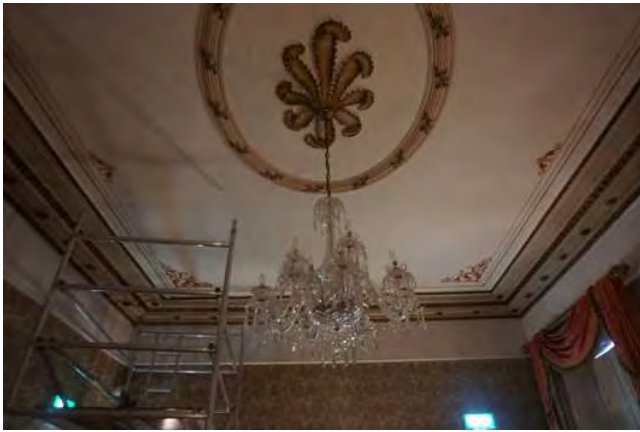
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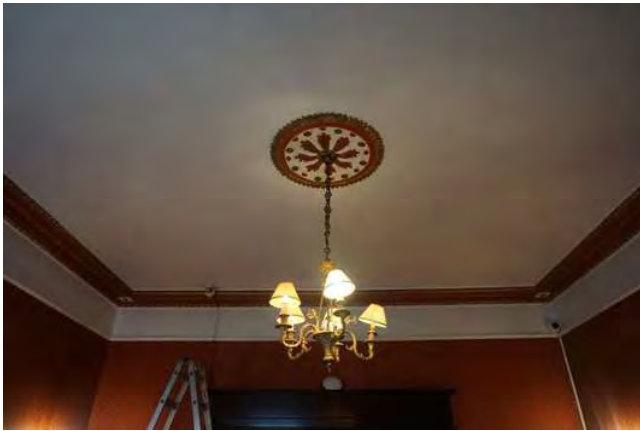
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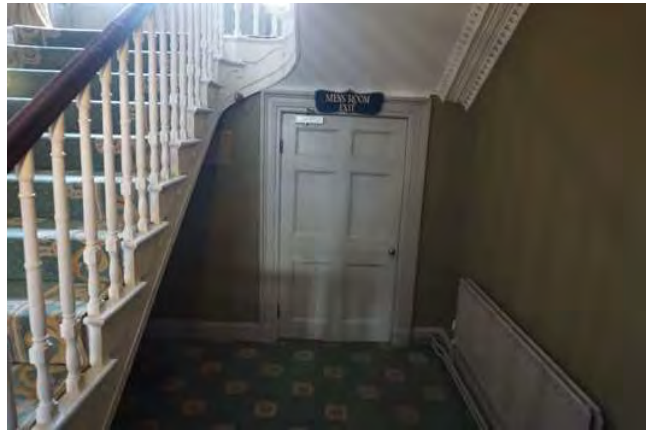


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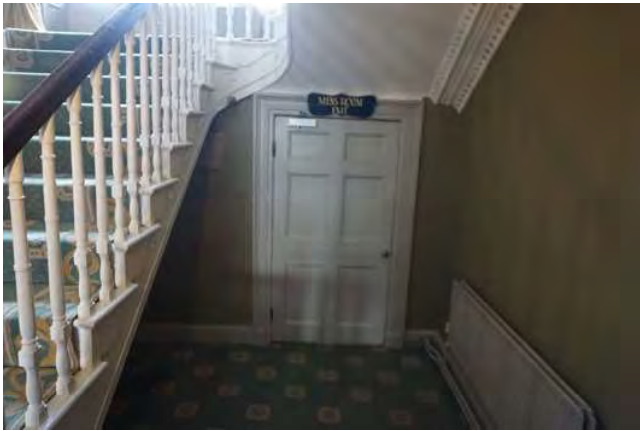




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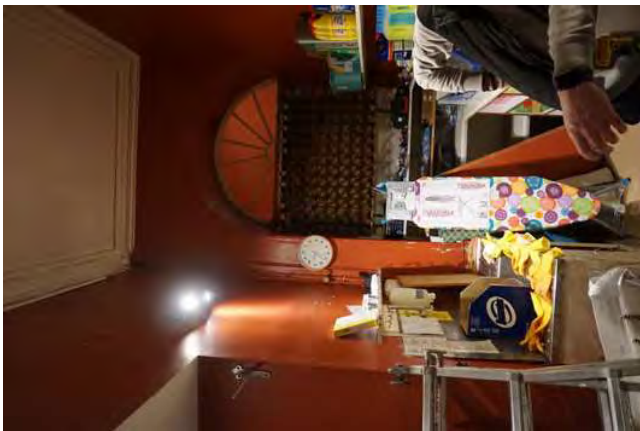
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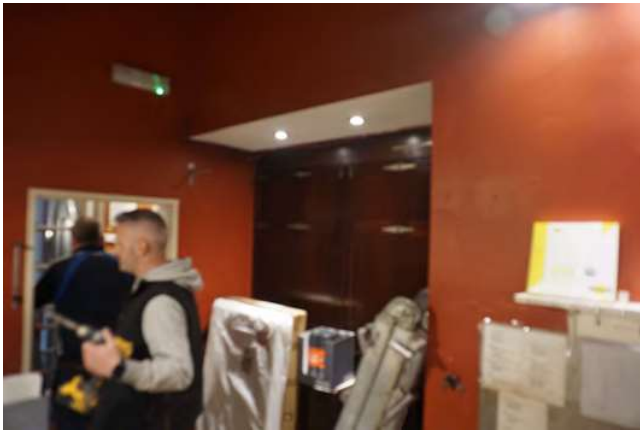


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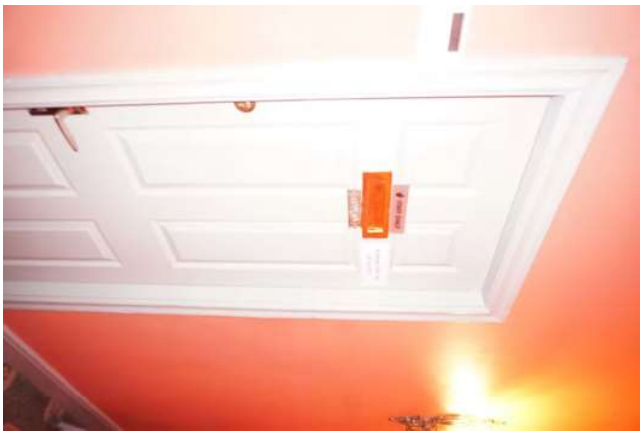
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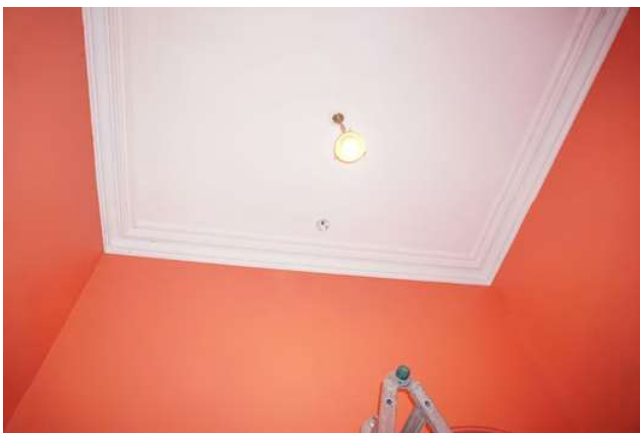
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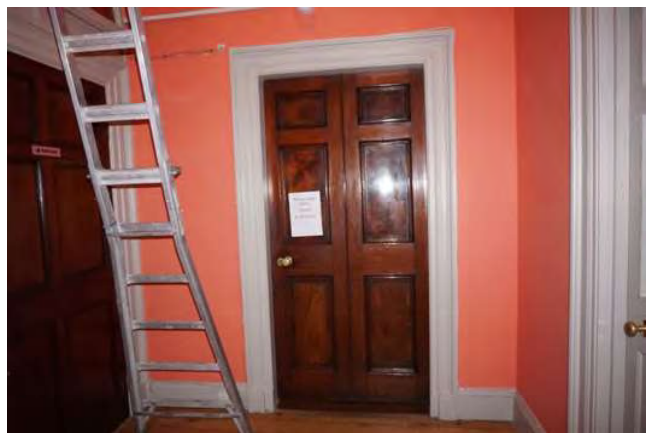
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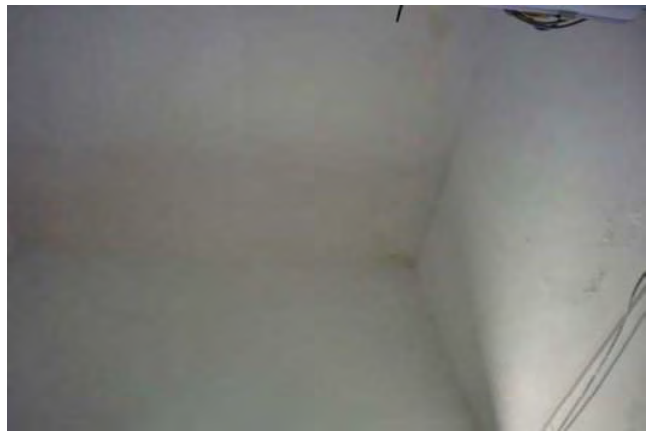
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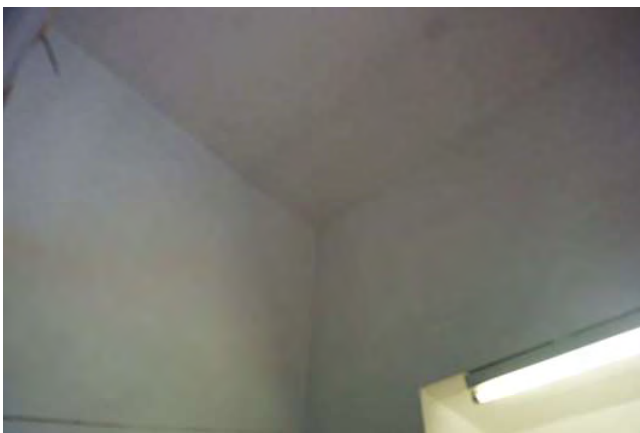
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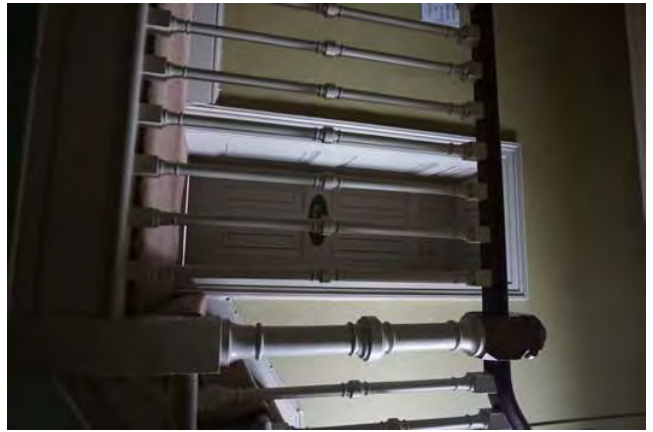
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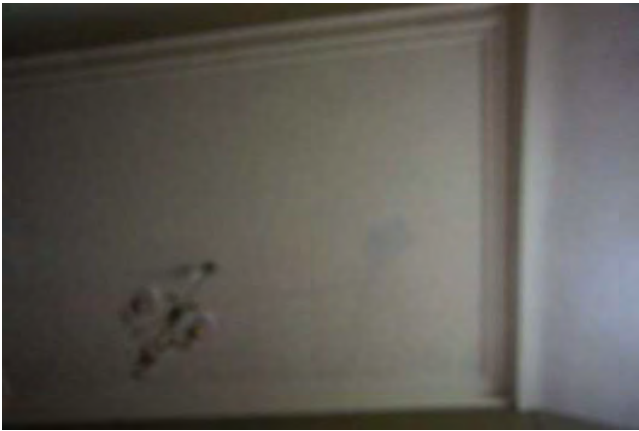
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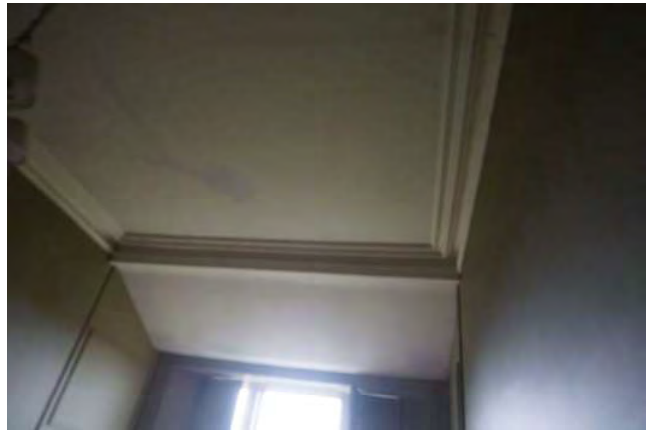
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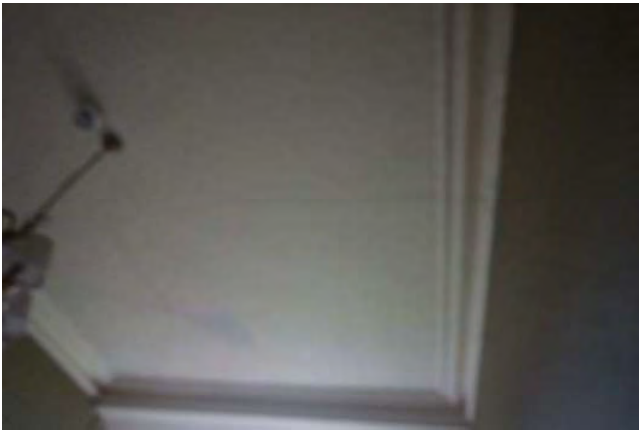
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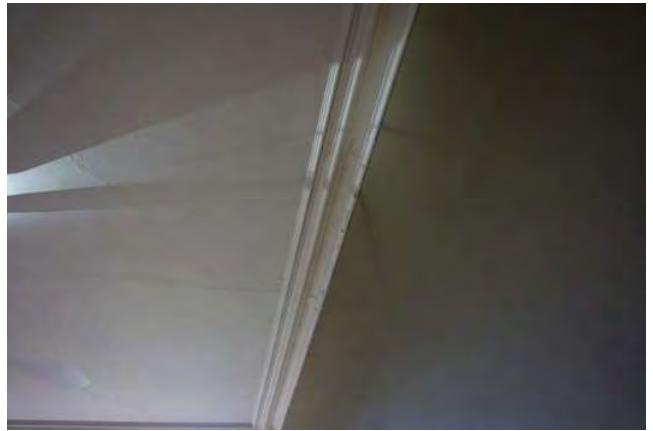
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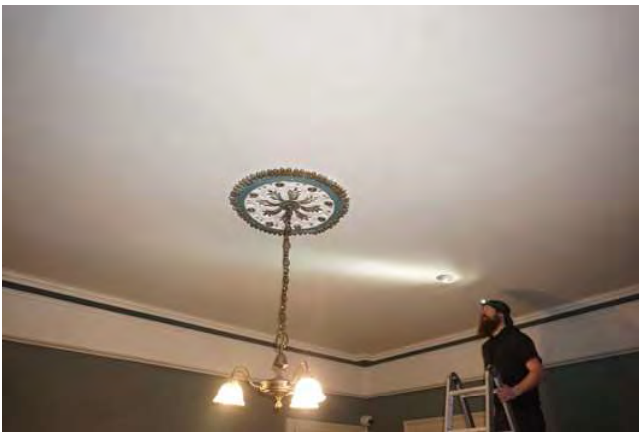
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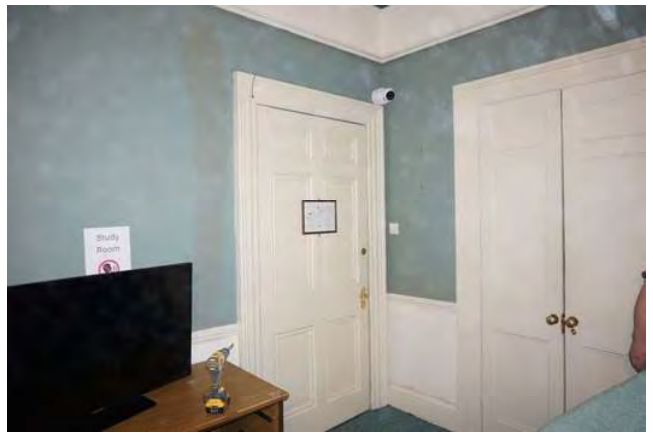
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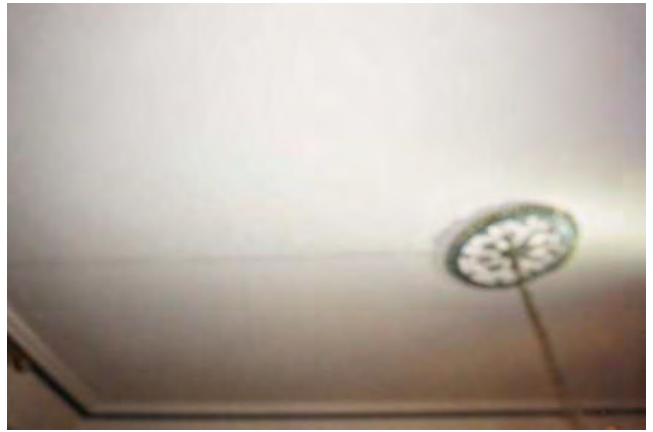


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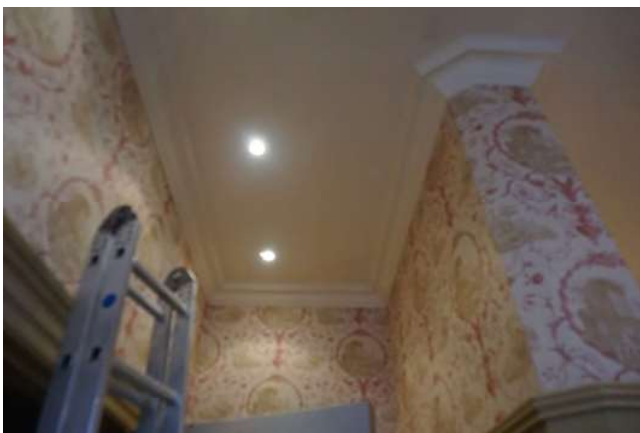
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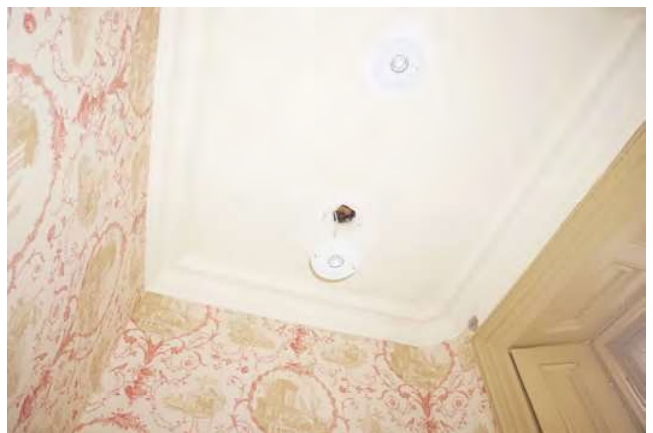
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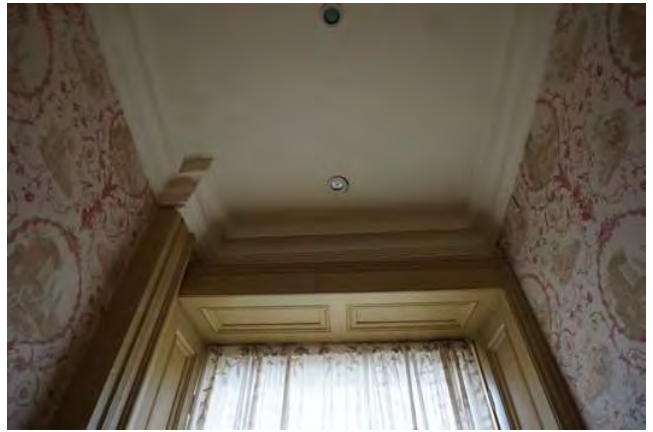


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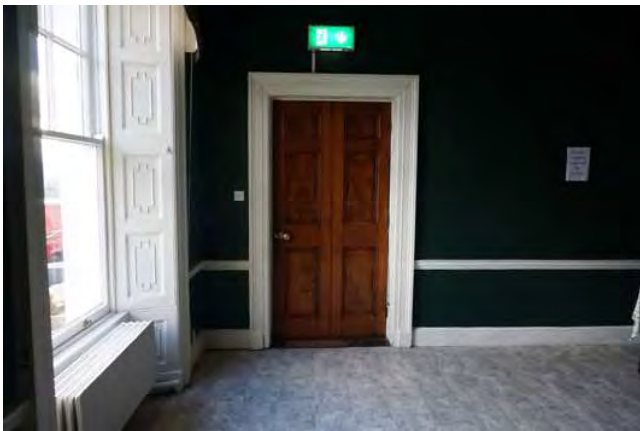
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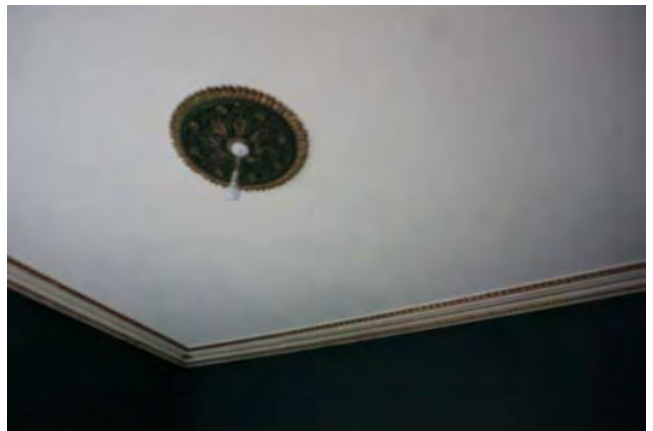
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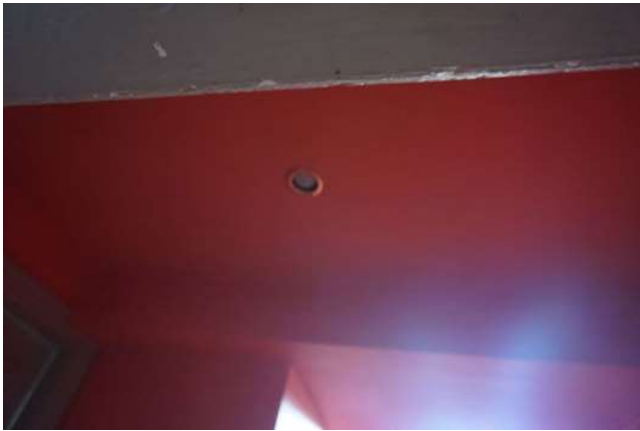




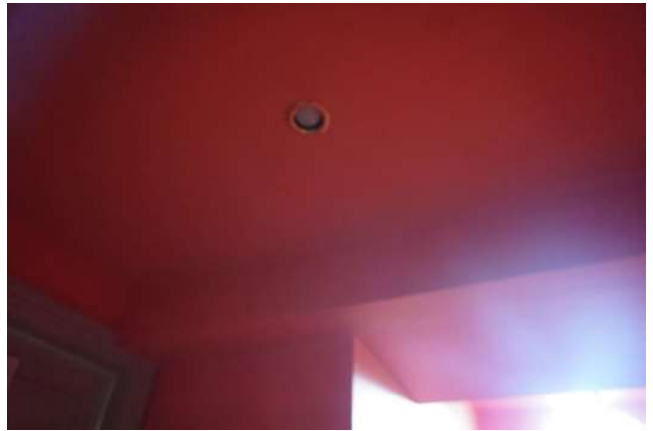
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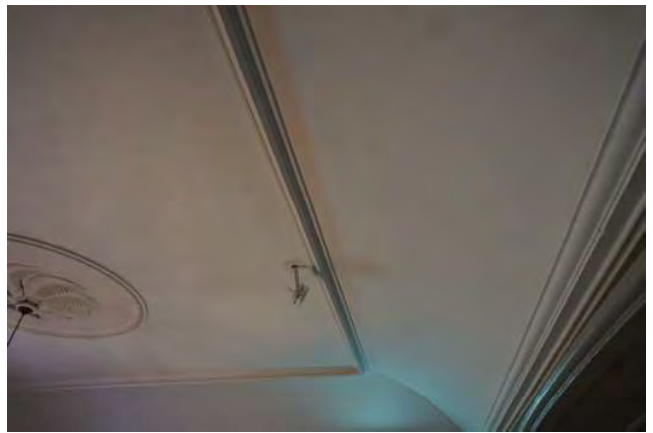
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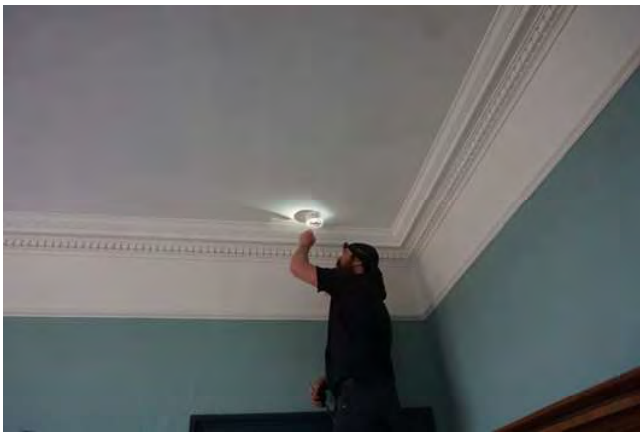
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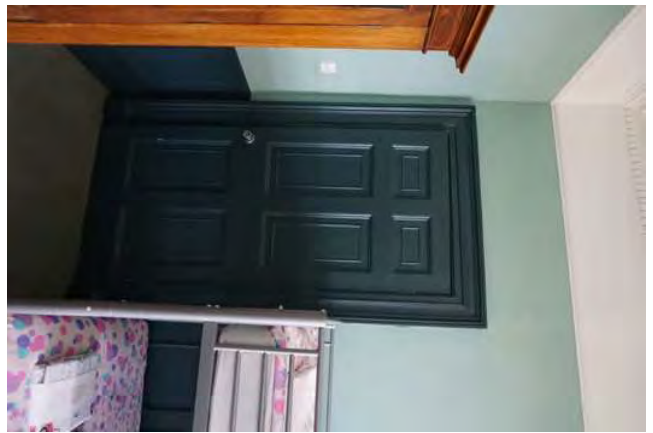
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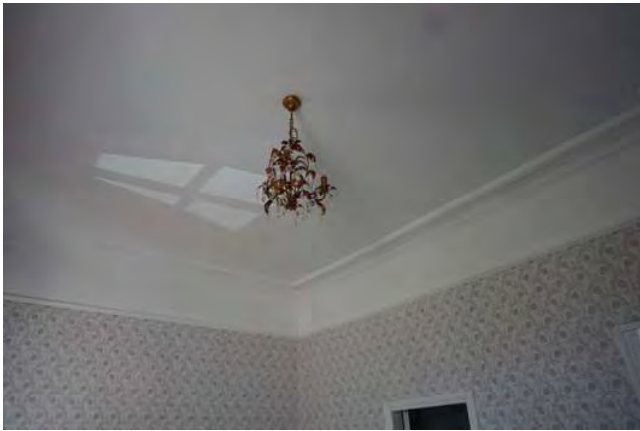




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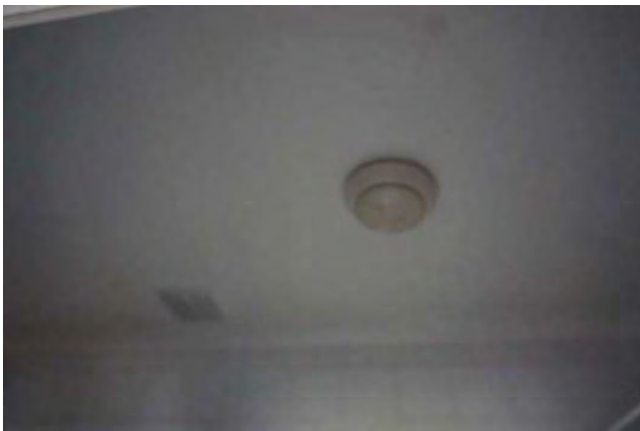
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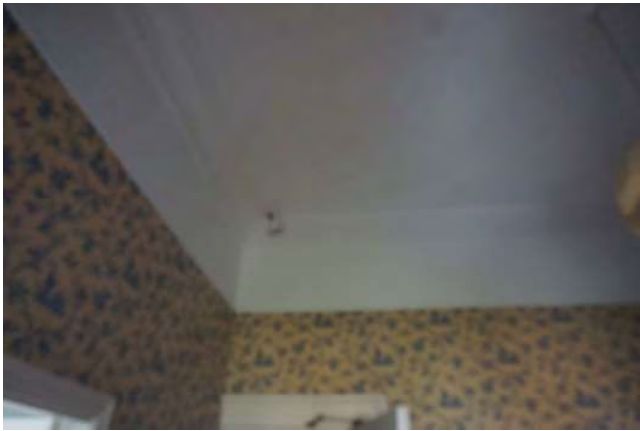
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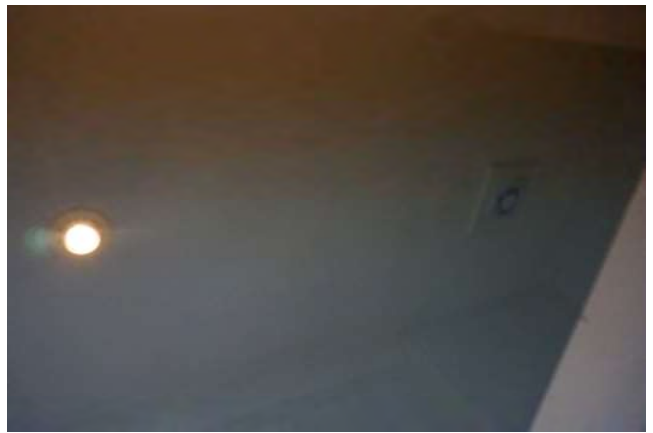
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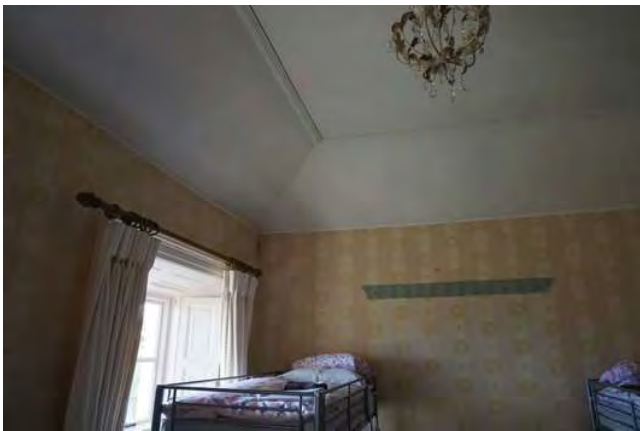
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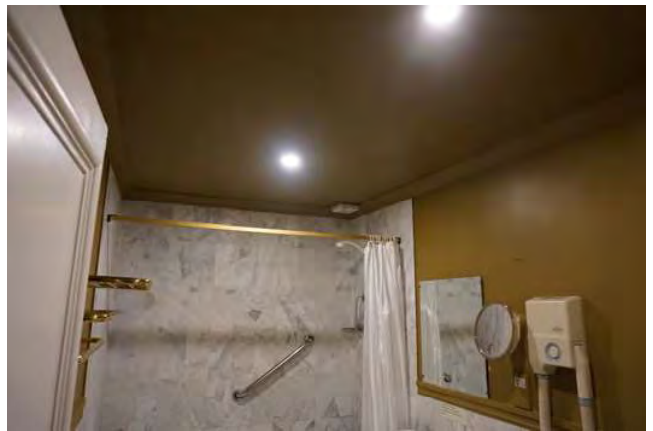
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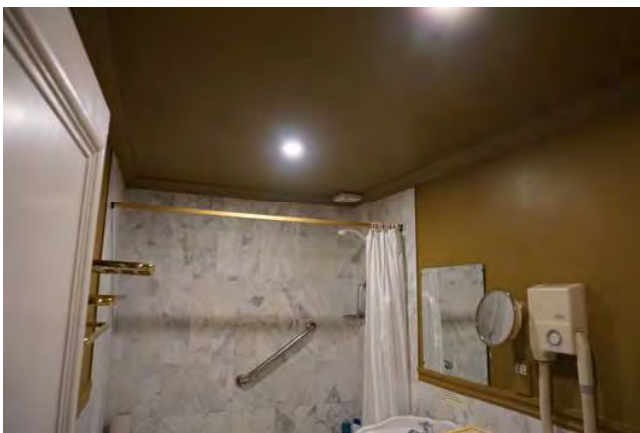
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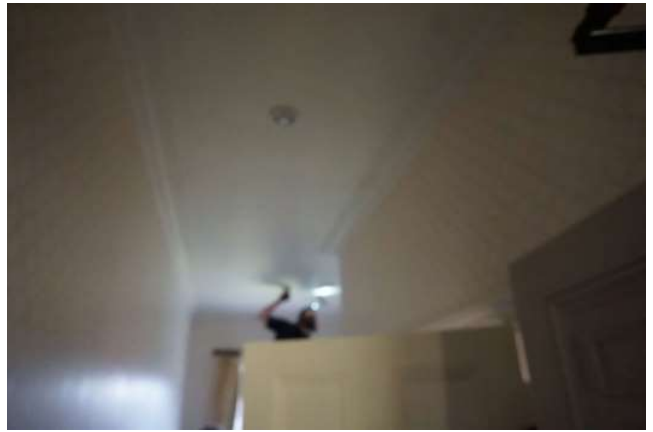


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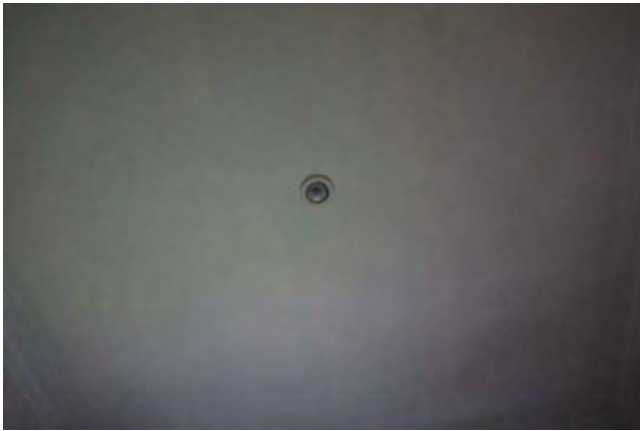




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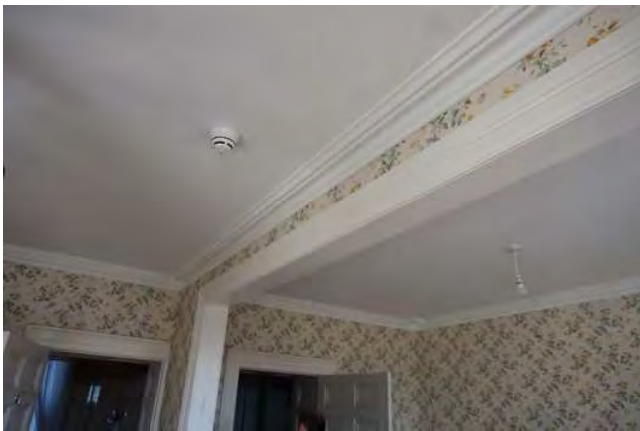
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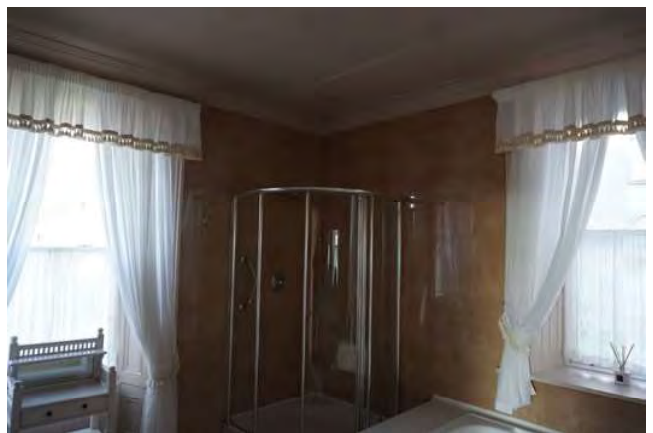
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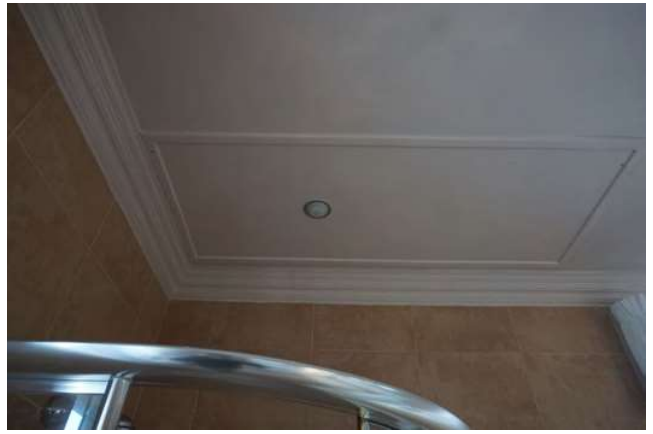


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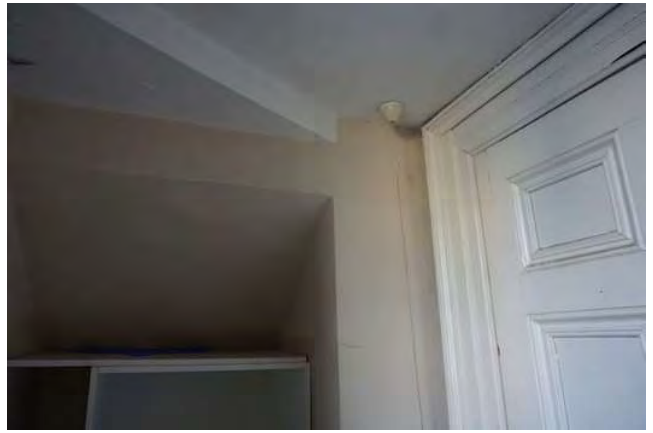
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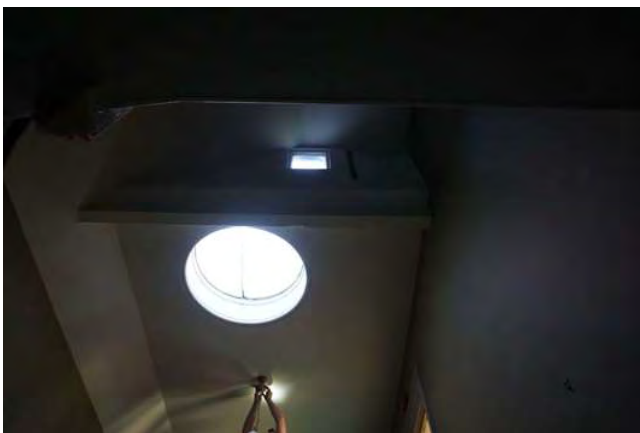
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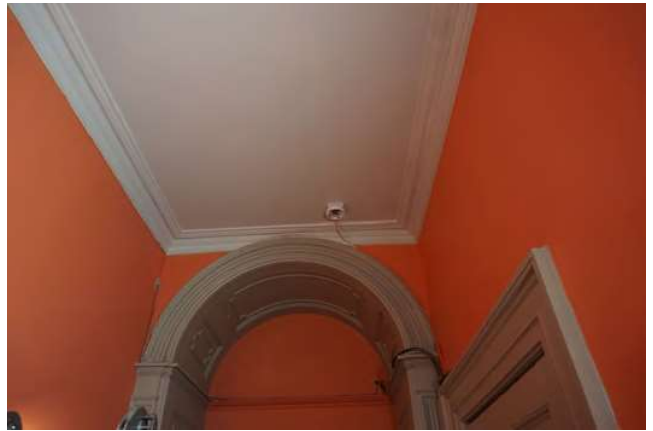
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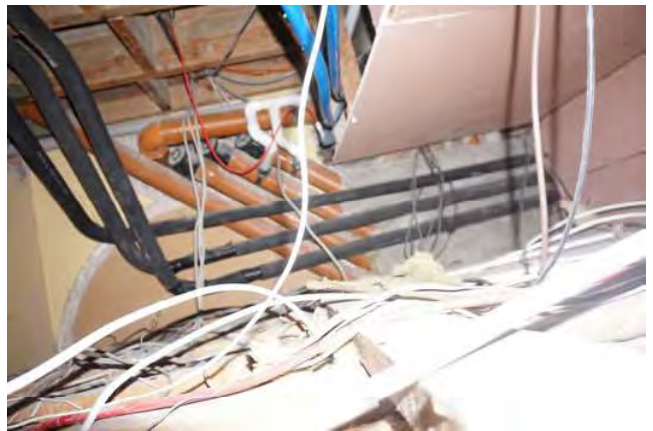
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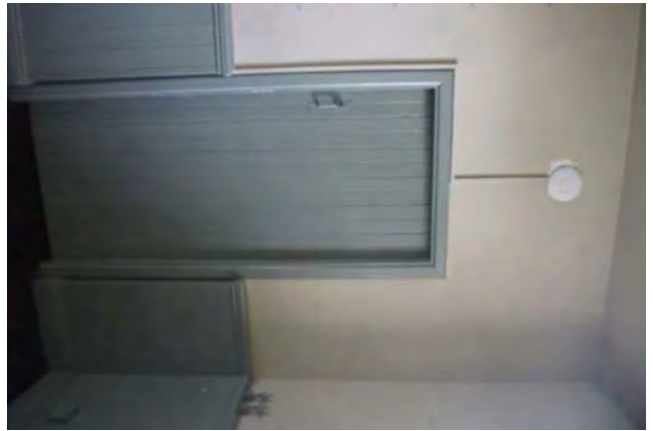
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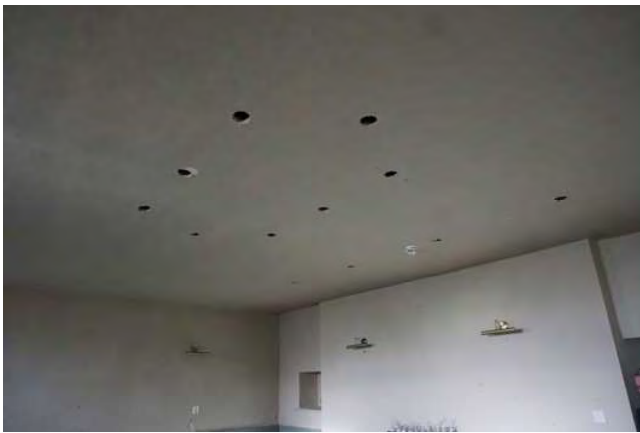
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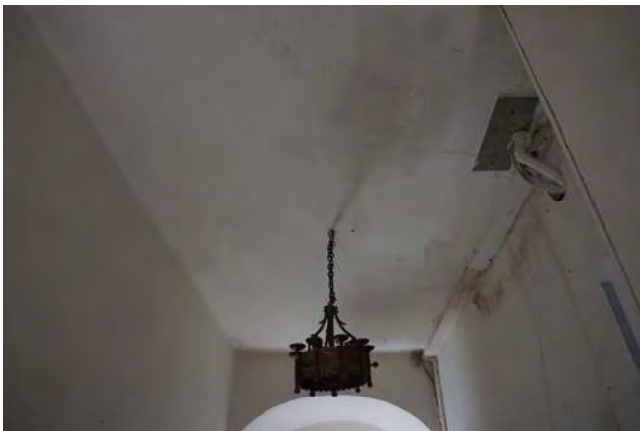
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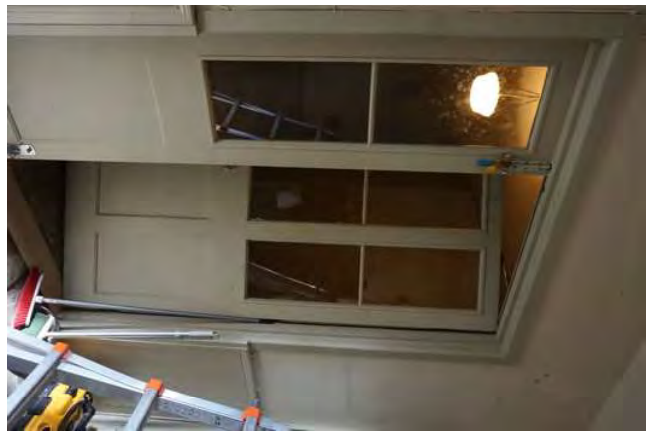
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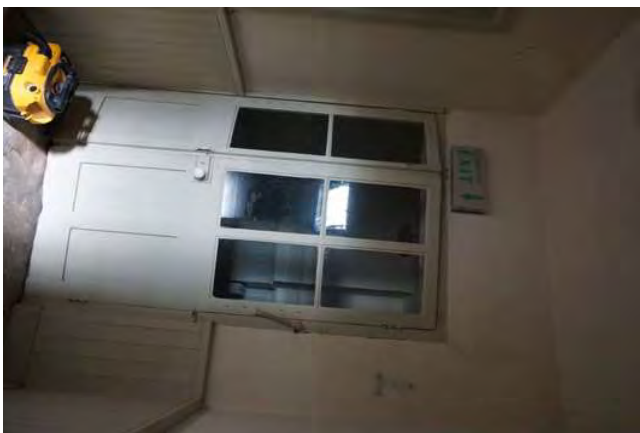
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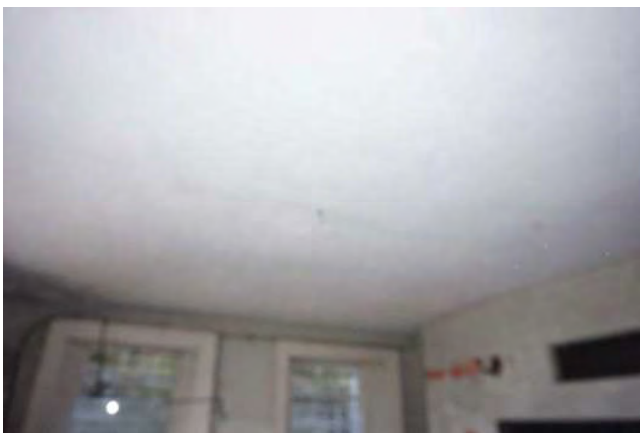
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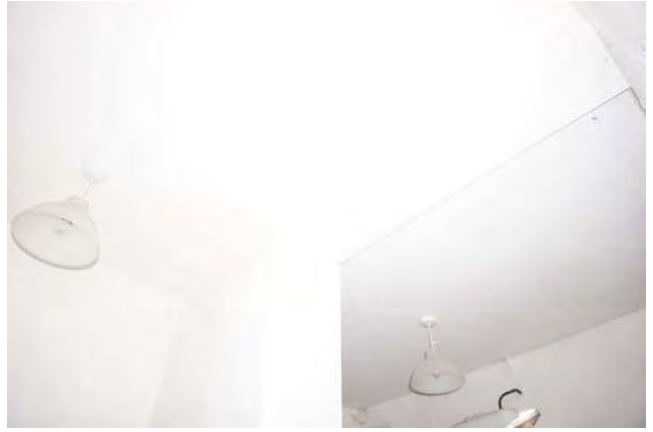
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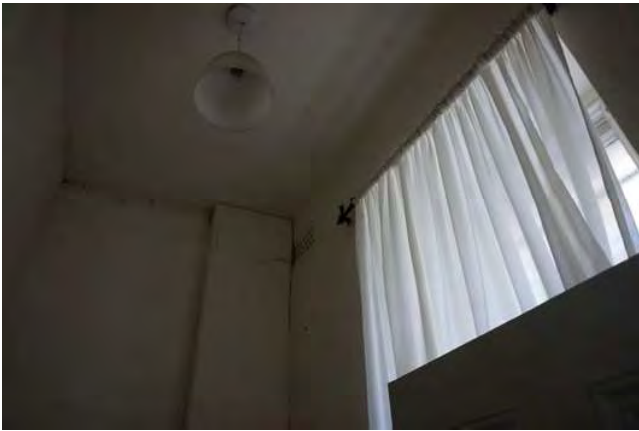
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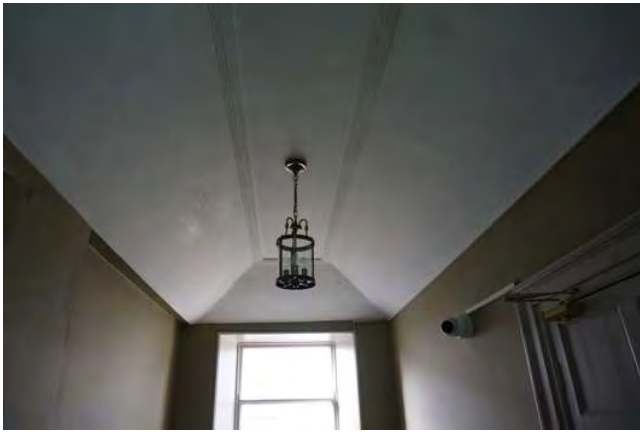
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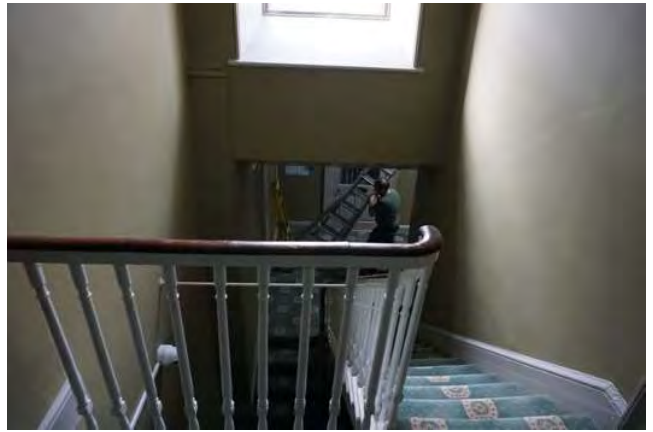
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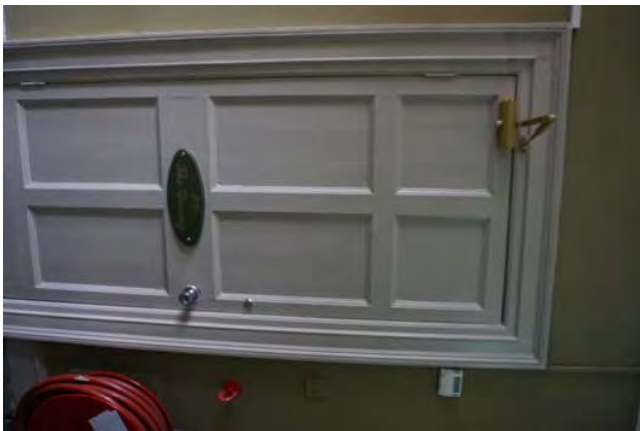
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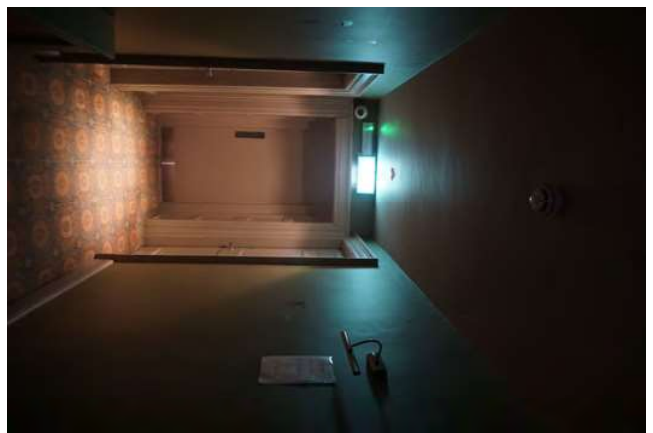
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J1070\_974.JPG



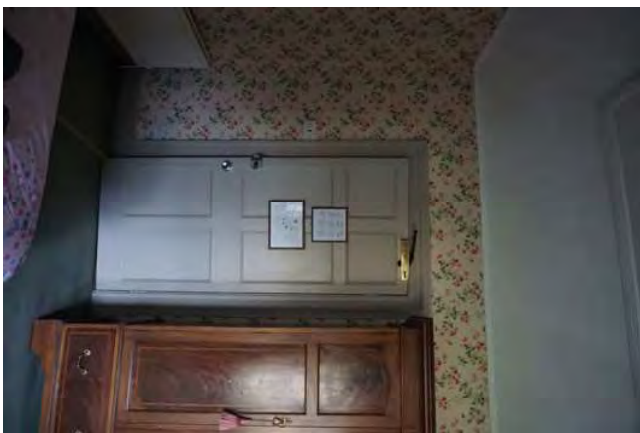
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J1070\_976.JPG



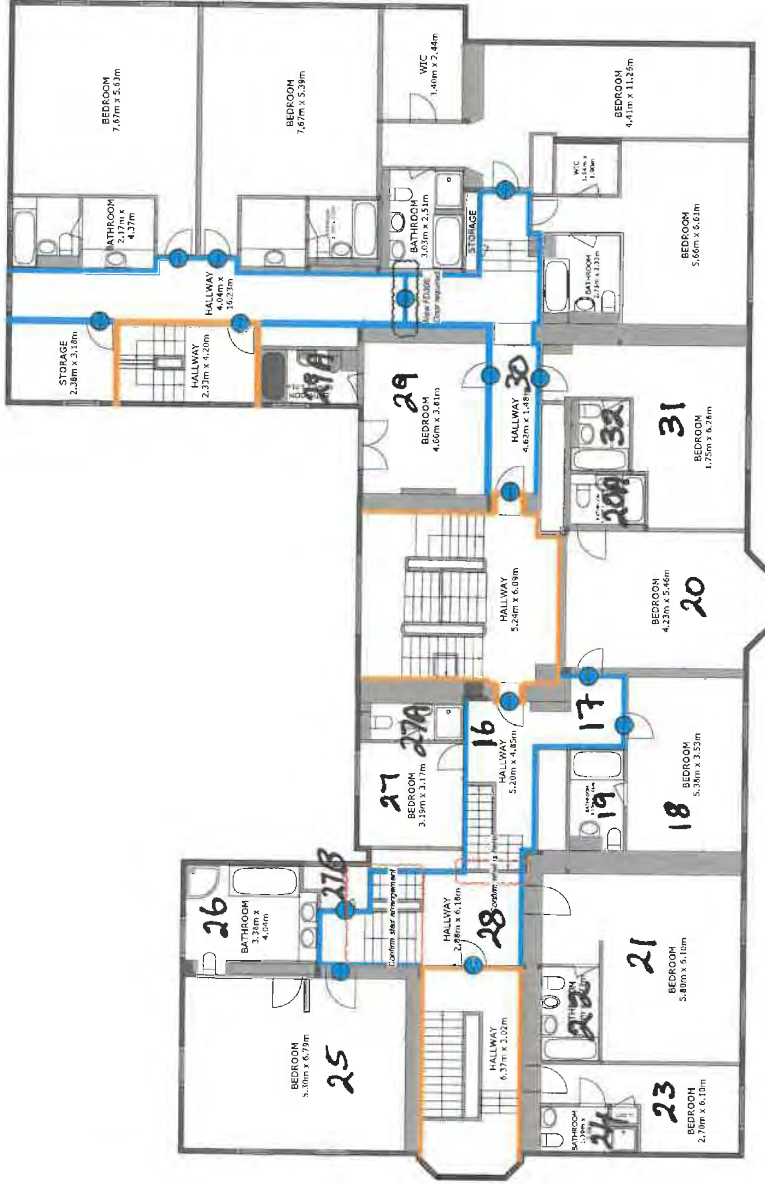
J1070\_977.JPG



J1070\_978.JPG







# ACP ARCHCON PROFESSIONALS LTD

## Room No's

First Floor  
Area - 584.5m<sup>2</sup>

LEGEND
Fire Door (as per BS 5839-1:2002)
Fire Alarm Control Panel (FACP)
Fire Alarm Call Point (FACP)
Fire Alarm Control Panel (FACP)
Fire Alarm Call Point (FACP)

Longview House  
Mallow,  
CO. CO. K  
PST. K08K

2502207/EFS-DM\_003\_R00

13 Jun 2025

DM

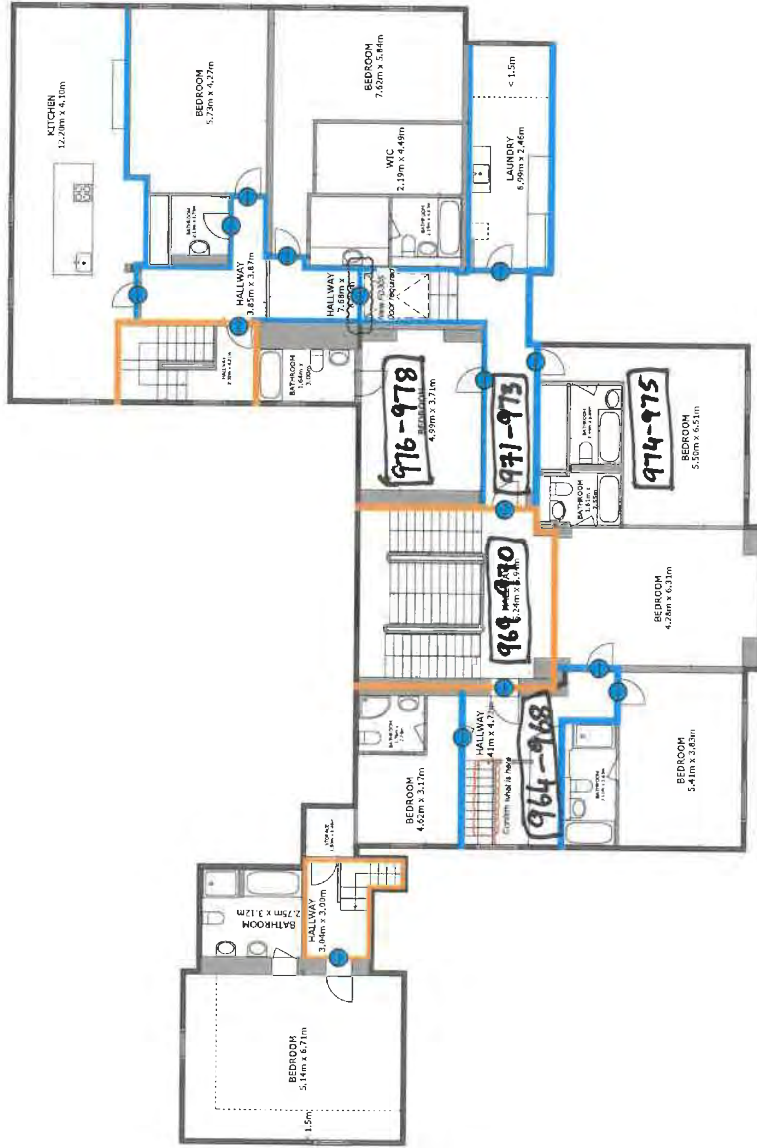
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First Floor Plan

THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE SCALED FROM. REGENT FIRE CONSULTANTS DO NOT ASSUME ANY RESPONSIBILITY FOR ACCURACIES IN THE BASE DRAWINGS WHICH WERE PREPARED BY A THIRD PARTY ARCHITECT. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO OBTAIN NECESSARY PERMISSIONS FOR THE DRAWINGS TO BE REPRODUCED IN ANY MEDIUM. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE FIRE SAFETY SYSTEM. THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE FIRE STRATEGY REPORT PREPARED BY REGENT FIRE CONSULTANTS.



REGENT FIRE CONSULTANTS  
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



Second Floor  
Area - 414.7m<sup>2</sup>

ACP ARCHCON PROFESSIONALS LTD  
 PHOTO No's [964....]

LEGEND

	Fire Door (See 3D Model for Fire Resistance and BRC Class)
	2) Window Fire Rating Compliance (in respect of City Centre)
	3) Window Fire Rating Compliance (for suburbs)

Longueville House  
 Millers,  
 Cork,  
 PS11 ACBK

Second Floor Plan

25022071E-FS-DM\_004\_R00

13 Jun 2025

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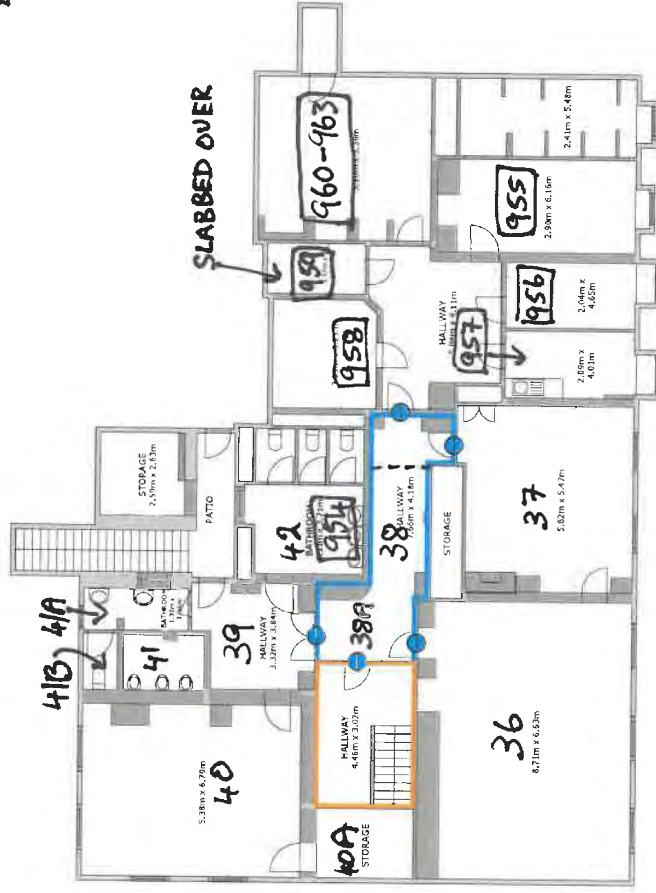
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THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE STRATEGY REPORT PREPARED BY REGENT FIRE CONSULTANTS

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954 → PHOTO No. BRICK ARCH VAULTED SECTION



Basement Floor  
Area - 353.7m<sup>2</sup>

ACP ARCHCON PROFESSIONALS LTD  
ROOM No's 36-42  
PHOTO No's IN BRICK ARCHER SECTION

LEGEND	
	Fire Door (See 35 Units for Details and Schedule)
	30 Minute Fire Resisting Floor (Public/Local/Group)
	30 Minute Fire Resisting Construction (see schedule)

Longview House,  
Region,  
20 Cook  
PST ROOM

Basement Floor Plan  
2002207/E-FS-DM\_001\_R00  
13 Jun 2025  
1:150 @ A3  
DM

THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. REGENT FIRE CONSULTANTS DO NOT ACCEPT ANY RESPONSIBILITY FOR INACCURACIES IN THE BASE DRAWINGS WHICH WERE PREPARED BY A THIRD PARTY ARCHITECT. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE COMPLETE AND ACCURATE INFORMATION TO THE CONSULTANT. THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE FIRE STRATEGY REPORT PREPARED BY REGENT FIRE CONSULTANTS. THIS DRAWING IS THE PROPERTY OF REGENT FIRE CONSULTANTS (REG AND LIMITED) AND MUST NOT BE DISCLOSED TO ANYONE WITHOUT PRIOR AGREEMENT.



13 Jun 2025  
1:150 @ A3  
DM

J1070 Longueville House - historic ceiling inspection

Date:- 21st and 22nd January 2025 on site

Room No	Plaster depth	Description	Photos	Downlighters	Flat roof
<u>Ground Floor</u>					
1	30 mm	Ornamental ceiling, good condition. Historic doors	740 - 749		
2	40 mm	Ornamental ceiling, good condition. Historic doors	750 - 757		
3	35 mm	Ornamental ceiling, cracked in parts.	758 - 764		
4	30 mm	Domed ceiling at top level of stairway	849 - 855		
4A	35 mm	minor crack in ceiling, good condition	766 - 767		
4B	35 mm	minor crack in ceiling, good condition	768		
5	30 to 20 mm	Bar area, fanlight over blocked door. Ceilings in good condition except for water damage in parts	769 - 780		
6	45 mm	uneven ceiling with pipe penetrations at high level.	781 - 784		
7	40 mm	Ceiling poor condition. Pipe penetrations through stud wall	792 - 794		
8	25 mm	Top of ceiling first floor. Extensive cracking and sagging. Water damage	795 - 801		
9	20 mm	ceiling good condition	789 - 791		
10	50 mm	ceiling with cracking and repairs in past. modern skimmed slab under original ceiling.	802 - 806		
11 A		Poor condition	807 - 815	Y	
11 B	30 mm	skim over lath and plaster	816 - 819	Y	
11 C	30 mm	skim over lath and plaster	816 - 819	Y	
12		skim slab 130mm below roof (flat roof area)	831 - 834	Y	Y
13		skim slab 70 mm below roof. Central glass dome.	828 - 830	Y	Y
14	20 mm	lath and plaster ceiling with 120mm gap to roof external roof over 12, 13, 14 and part 35	827, 836 - 842 835, 843 - 848	Y	Y
15	35 mm	lath and plaster ceiling , cracked and patchy	822 - 826		
33		modern skimmed slab. Minor cracks	899 - 904		
34		modern skimmed slab. Minor cracks. Access Hatch lath and plaster ceiling. Minor cracks.	909 - 913	Y	
35	35 mm	Part of flat roof area	905 - 908		Y
<u>First Floor</u>					
16 & 17		modern slab 750mm under original ceiling	866 - 870		
18	35 mm	lath and plaster ceiling. Good condition	862 - 863		
19		modern slab 750mm under original ceiling	864 - 865	Y	
20	35 mm	lath and plaster ceiling. Good condition	856 - 860		
20 A		modern slab 750mm under original ceiling	861	Y	
21	20 mm	lath and plaster ceiling. Cracked and displacement.	878 - 880		
22		modern slab 115mm under original ceiling	881 - 882	Y	
23		hardboard ceiling (20mm) under slab and skim modern slab ceiling under other possible	883 - 886	Y	
24		slab ceiling by 400 mm	887	Y	
25	30 mm	lath and plaster ceiling. Good condition	888 - 890		
26		modern skim and slab ceiling	891 - 893	Y	
27	35 mm	lath and plaster ceiling. Minor cracks	871 - 874		
27 A		modern slab 750mm under original ceiling	875 - 877	Y	
28	30 mm	Lath and plaster under flat roof.	897 - 898		
29	30 mm	lath and plaster ceiling. Good condition	919 - 921		
30	30 mm	lath and plaster ceiling. Good condition	914 - 918		
31	40 mm	lath and plaster ceiling. Water damaged	923 - 926		
32		modern slab 750 mm under original ceiling	927	Y	
33, 34, 35		see ground floor above			



Basement

36	10 mm	Lath and plaster with slabbed repairs.	928 - 930	Y
37	35 mm	Lath and plaster ceiling . Cracked and poor condition	931 - 934	
38	20 mm	Lath and plaster ceiling . Cracked and poor condition	935 - 936	
38 A	20 mm	lath and plaster. Good condition	937 - 939	
39	30 mm	lath and plaster. Good condition	940 - 943	
40	25 mm	lath and plaster. Cracked and poor condition	944 - 946	
40A		storage under stairs	947	
41	20 mm	lath and plaster. Cracked and poor condition 12mm particle board on original ceiling.	948 - 950	
41 A		Poor condition	951	
41 B	20 mm	lath and plaster. Cracked and poor condition	952	
42		Solid ceiling - possible brick arched	953 - 954	
Brick arched rooms in basement			955 - 963	

Second Floor

Top floor under roof - photos for record only.  
Refer to locations in drawing 964 - 978

Notes:

modern ceilings in bathroom areas have unprotected downlighters  
historic ceilings show minor cracking generally



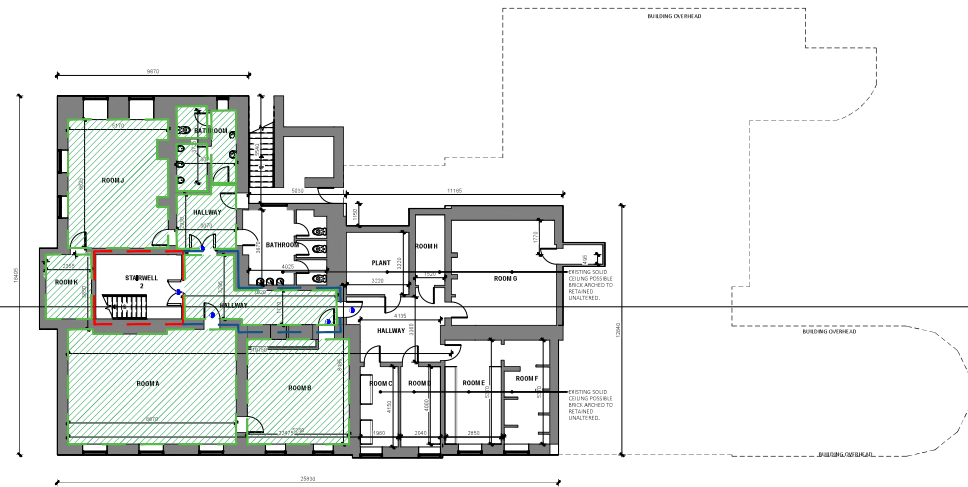
## - APPENDIX 2 -

Architects Drawings by RDF Architects

DRAWINGS TO BE READ IN CONJUNCTION WITH:

- ACP CONSERVATION REPORTS
- REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT

01 Basement Floor Plan  
Scale 1:100 @ A1



**LEGEND CEILINGS**

UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

UPGRADE EXISTING LATH & PLASTER CEILINGS WITH DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE & CLEAR INTUMESCENT COATING SYSTEM.  
ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.  
MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.

EXISTING LATH & PLASTER CEILINGS WITH ORNAMENTAL, DECORATIVE COLOUR OR FEATURES TO BE RETAINED UNALTERED, FIRE RESISTANCE TO BE ACHIEVED BY LIFTING FLOOR BOARDS FROM ABOVE AND INSTALLING ENVIROGRAF OR EQUIVALENT UNDER FLOOR FIRE BARRIER TO ACHIEVE 30 MINUTE FIRE RATING.  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**LEGEND DOORS**

UPGRADE EXISTING DOOR SET TO MIN 30 MINUTES FIRE RESISTANCE AND SELF-CLOSING.  
ENVIROGRAF OR EQUIVALENT APPROVED INSTALLER TO PROVIDE UPGRADE WORKS TO EXISTING HERITAGE PANELED DOORS. THE FOLLOWING METHODOLOGY WILL BE UNDERTAKEN BY A SPECIALIST CONSERVATION CONTRACTOR IN CONJUNCTION WITH FIRE CONSULTANT.

1. LOW RISK DOOR TO HAVE A CLOSING DEVICE
  2. LOW/MEDIUM RISK DOOR TO HAVE A SELF-CLOSING DEVICE AND COLD SMOKE SEALS
  3. MEDIUM TO HIGH RISK EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE
  4. MEDIUM TO HIGH RISK EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE
- WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.  
PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW:  
ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.

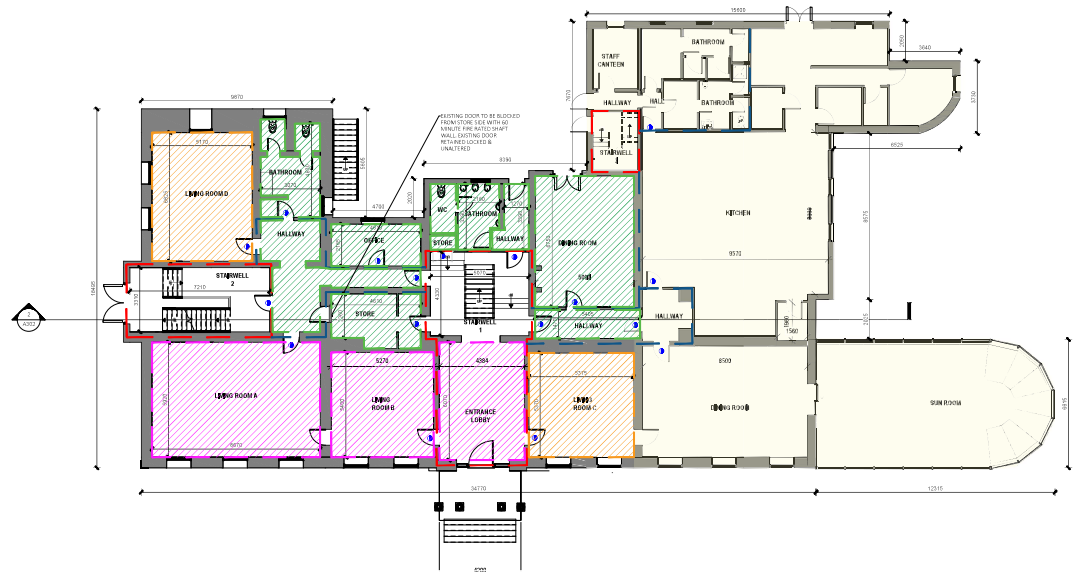
30 MINUTES FIRE RESISTING CONSTRUCTION (CORRIDOR/HALLWAY) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.  
PLEASE EXTRACT FROM FIRE CONSULTANT BELOW:  
ENCLOSURES TO ALL CORRIDOR/HALLWAY WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.

AREA OUTSIDE OF SCOPE

N.B. ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

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01/2025		

DRAWINGS TO BE READ IN CONJUNCTION WITH:  
 • ACP CONSERVATION REPORTS  
 • REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT



01 Ground Floor Plan  
 Scale 1:100 @ A1

**LEGEND CEILINGS**

- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.  
 PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE & CLEAR INTUMESCENT COATING SYSTEM.  
 ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.  
 MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.  
 PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
- EXISTING LATH & PLASTER CEILINGS WITH ORNAMENTAL DECORATIVE COLOUR OR FEATURES TO BE RETAINED UNALTERED. FIRE RESISTANCE TO BE ACHIEVED BY LIFTING FLOOR BOARDS FROM ABOVE AND INSTALLING ENVIROGRAF OR EQUIVALENT UNDER FLOOR FIRE BARRIER TO ACHIEVE 30 MINUTE FIRE RATING.  
 PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**LEGEND DOORS**

- UPGRADE EXISTING DOOR SET TO MIN 30 MINUTES FIRE RESISTANCE AND SELF-CLOSING.  
 ENVIROGRAF OR EQUIVALENT APPROVED INSTALLER TO PROVIDE UPGRADE WORKS TO EXISTING HERITAGE PANELED DOORS. THE FOLLOWING METHODOLOGY WILL BE UNDERTAKEN BY A SPECIALIST CONSERVATION CONTRACTOR IN CONJUNCTION WITH FIRE CONSULTANT.
  1. LOW RISK DOOR TO HAVE A CLOSING DEVICE
  2. LOW-MEDIUM RISK DOOR TO HAVE A SELF-CLOSING DEVICE AND COLD SMOKE SEALS
  3. MEDIUM TO HIGH RISK DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE.
  4. MEDIUM TO HIGH RISK EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE
- WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

- 30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.  
 PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW.
  - ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.
- 30 MINUTES FIRE RESISTING CONSTRUCTION (CORRIDOR/HALLWAY) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.  
 PLEASE EXTRACT FROM FIRE CONSULTANT BELOW.
  - ENCLOSURES TO ALL CORRIDOR/HALLWAY WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.
- AREA OUTSIDE OF SCOPE
- N.B. ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

<b>23068-RDF-M3-A-5002</b>		Ground Floor Plan	<b>RDF Architects &amp; Planning Ltd.</b> <small>Architectural, Planning &amp; Environmental Consultants</small>
Rev	01	06 2015	
Author	5,100 sq ft		<b>RDF</b> <small>Architectural, Planning &amp; Environmental Consultants</small>
Checked	5,100 sq ft		
Drawn	5,100 sq ft		Longwalk House, Malvern
Client	5,100 sq ft		
Scale	5,100 sq ft		0

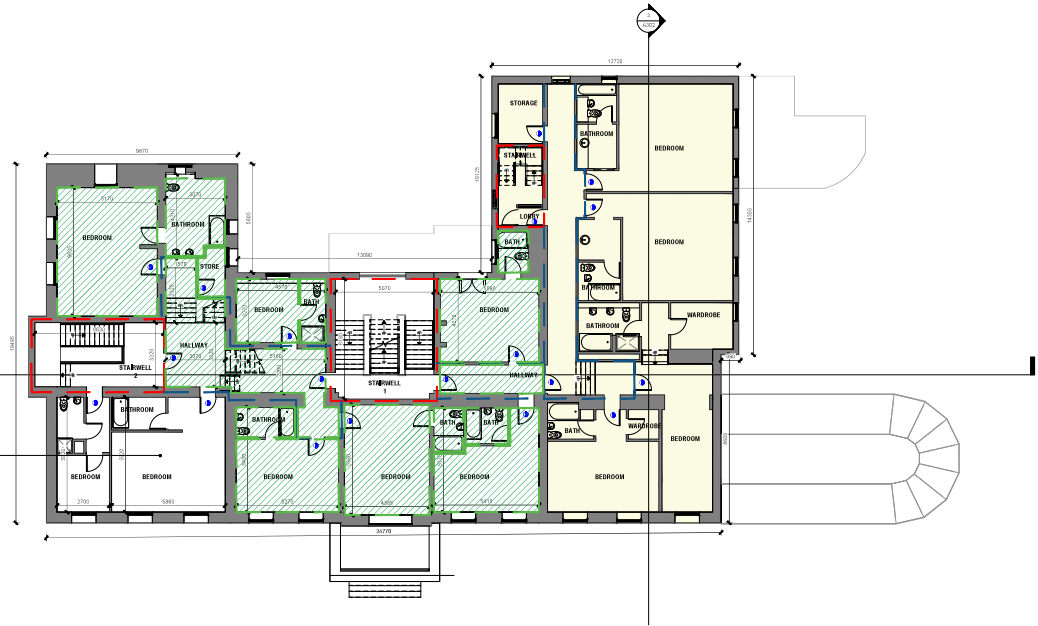


**DRAWINGS TO BE READ IN CONJUNCTION WITH**

- ACP CONSERVATION REPORTS
- RECENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT

**01 First Floor Plan**  
Scale 1:100 @ A1

NO FIRE IMPROVEMENTS TO CEILING REQUIRED IN ROOMS ABOVE THIS LEVEL.



**LEGEND CEILINGS**

**[Green dashed line]** UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.

PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**[Orange dashed line]** UPGRADE EXISTING LATH & PLASTER CEILINGS WITH DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE & CLEAR INTUMESCENT COATING SYSTEM.

ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.

MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.

PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**[Pink dashed line]** EXISTING LATH & PLASTER CEILINGS WITH ORNAMENTAL DECORATIVE COLOUR OR FEATURES TO BE RETAINED UNALTERED, FIRE RESISTANCE TO BE ACHIEVED BY LIFTING FLOOR BOARDS FROM ABOVE AND INSTALLING ENVIROGRAF OR EQUIVALENT UNDER FLOOR FIRE BARRIER TO ACHIEVE 30 MINUTE FIRE RATING.

PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**LEGEND DOORS**

**[Blue circle]** UPGRADE EXISTING DOOR SET TO MIN 30 MINUTES FIRE RESISTANCE AND SELF-CLOSING.

ENVIROGRAF OR EQUIVALENT APPROVED INSTALLER TO PROVIDE UPGRADE WORKS TO EXISTING HERITAGE PANELED DOORS. THE FOLLOWING METHODOLOGY WILL BE UNDERTAKEN BY A SPECIALIST CONSERVATION CONTRACTOR IN CONJUNCTION WITH FIRE CONSULTANT.

1. **LOW RISK** DOOR TO HAVE A CLOSING DEVICE
2. **LOW-MEDIUM RISK** DOOR TO HAVE A SELF-CLOSING DEVICE AND COLD SMOKE SEALS
3. **MEDIUM RISK** DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE.
4. **MEDIUM TO HIGH RISK** EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE

• WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

**[Red dashed line]** 30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.

PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW:

- ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC, WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.

**[Blue dashed line]** 30 MINUTES FIRE RESISTING CONSTRUCTION (CORRIDOR/HALLWAY) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.

PLEASE EXTRACT FROM FIRE CONSULTANT BELOW:

- ENCLOSURES TO ALL CORRIDOR/HALLWAY WALL WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC, WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.

**[Yellow box]** AREA OUTSIDE OF SCOPE

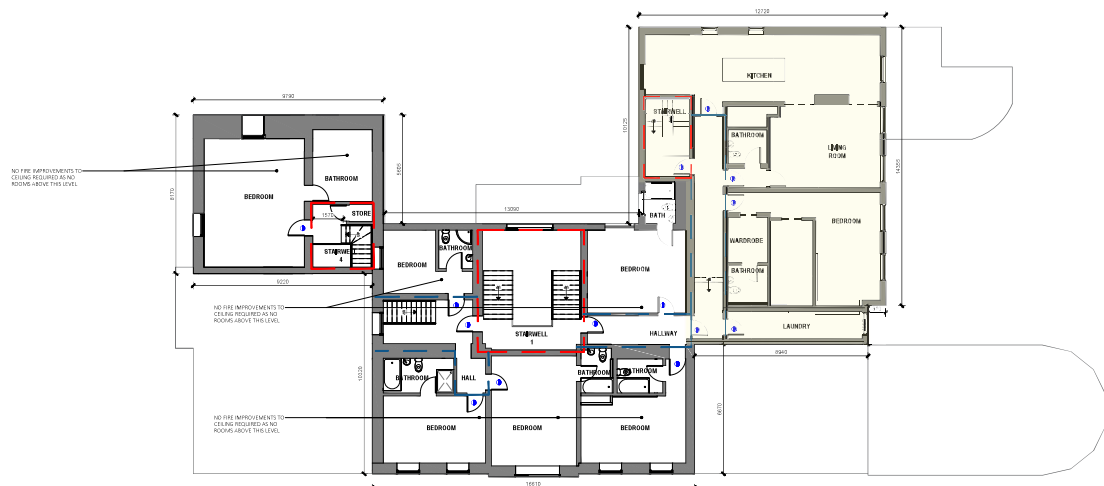
- N.B. ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

<b>23068-RDF-M3-A-5003</b>	Rev	First Floor Plan	<b>RDF Architects &amp; Planning Ltd.</b>
	Date	08 2015	Architects, Planners & Engineers
	Area	5,100 sq ft	100% Complete
	Value	£400,000 (Estimate)	<b>RDF</b>
	Client	RDF Architects & Planning Ltd	London House, Malvern
	Drawn/Checked	08/08/2015	

**DRAWINGS TO BE READ IN CONJUNCTION WITH**

- ACP CONSERVATION REPORTS
- RECENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT

**01 Second Floor Plan**  
Scale 1:100 @ A1



**LEGEND CEILINGS**

- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.**  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE & CLEAR INTUMESCENT COATING SYSTEM.**  
ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.  
MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
- EXISTING LATH & PLASTER CEILINGS WITH ORNAMENTAL, DECORATIVE COLOUR OR FEATURES TO BE RETAINED UNALTERED, FIRE RESISTANCE TO BE ACHIEVED BY LIFTING FLOOR BOARDS FROM ABOVE AND INSTALLING ENVIROGRAF OR EQUIVALENT UNDER FLOOR FIRE BARRIER TO ACHIEVE 30 MINUTE FIRE RATING.**  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**LEGEND DOORS**

- UPGRADE EXISTING DOOR SET TO MIN 30 MINUTES FIRE RESISTANCE AND SELF-CLOSING.**  
ENVIROGRAF OR EQUIVALENT APPROVED INSTALLER TO PROVIDE UPGRADE WORKS TO EXISTING HERITAGE PANELED DOORS. THE FOLLOWING METHODOLOGY WILL BE UNDERTAKEN BY A SPECIALIST CONSERVATION CONTRACTOR IN CONJUNCTION WITH FIRE CONSULTANT.

  - LOW RISK DOOR:** TO HAVE A CLOSING DEVICE
  - LOW-MEDIUM RISK DOOR:** DOOR TO HAVE A SELF-CLOSING DEVICE AND COLD SMOKE SEALS
  - MEDIUM TO HIGH RISK DOOR:** EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH "CLEAR" INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF-CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE
  - WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.**

**LEGEND WALLS**

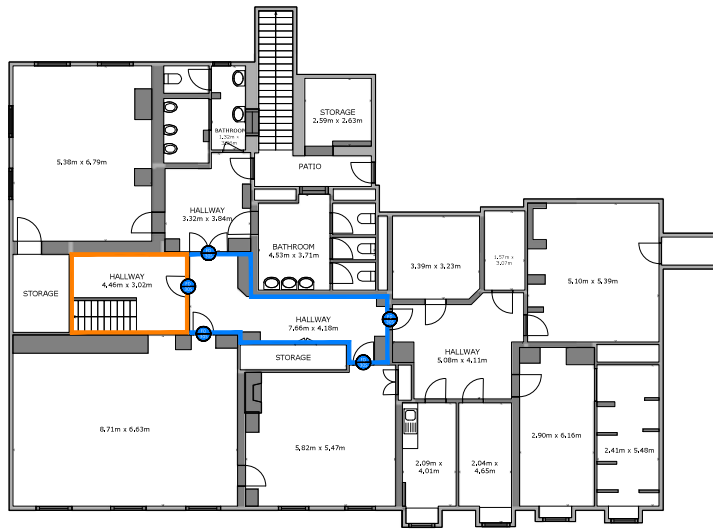
- 30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION, FOR ILLUSTRATIVE PURPOSES ONLY.**  
PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW.  
ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC, WHERE UPGRADE WORKS ARE REQUIRED. THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING.
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- AREA OUTSIDE OF SCOPE**
- N.B. ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT**

<b>23068-RDF-M3-A-5004</b>		Second Floor Plan		
Date:	09/05/2015	Scale:	1:100 @ A1	
Drawn by:	01/05/2015	Checked by:	01/05/2015	
Project No:	23068-RDF-M3-A-5004	Client:	23068-RDF-M3-A-5004	




## - APPENDIX 3 -

Fire Risk Assessment by Regent Fire Consultants



Basement Floor  
Area - 353.7m<sup>2</sup>

LEGEND	
	Fire Door (1hr, 20 Minutes Fire Resistance and 54kg-4-kg)
	30 Minutes Fire Resisting Construction (Protected Lifts/Corridor)
	30 Minutes Fire Resisting Construction (Stair and Lifts)

Project: Longueville House, Mallow, Co. Cork, P51 KCBX	Title: Basement Floor Plan	Drawing Number: 25022071E-FS-DM_001_R00	Date: 13 Jan 2025	Notes: THESE DRAWINGS ARE FOR INFORMATIVE PURPOSES ONLY AND ARE NOT TO BE SCALED FROM. REGENT FIRE CONSULTANTS DO NOT ACCEPT ANY RESPONSIBILITY FOR INACCURACIES IN THE BASE DRAWINGS WHICH WERE PREPARED BY A THIRD PARTY ARCHITECT. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PREPARE CONSTRUCTION SETTING DRAWINGS TO BE FURNISHED TO THE CONTRACTOR WHOV/USUATES THE SPECIFIED PERIODS OF FIRE RESISTANCE AND OTHER PERTINENT FIRE SAFETY INFORMATION.  THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE FIRE STRATEGY REPORT PREPARED BY REGENT FIRE CONSULTANTS.  © THIS DRAWING IS THE COPYRIGHT OF REGENT FIRE CONSULTANTS (IRELAND) LIMITED AND MUST NOT BE DISCLOSED TO ANYONE WITHOUT PRIOR AGREEMENT	 <table border="0" style="font-size: 8px;"> <tr> <td>DM: Dáire Dwyer</td> <td>MF: Constanza Green</td> </tr> <tr> <td>DL: David</td> <td>CG: Constanza Green</td> </tr> <tr> <td>DR: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DA: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DC: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DD: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DE: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DF: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DG: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DH: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DI: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DJ: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DK: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DL: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DM: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DN: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DO: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DP: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DQ: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DR: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DS: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DT: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DU: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DV: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DW: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DX: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DY: Dáire</td> <td>CS: Constanza</td> </tr> <tr> <td>DZ: Dáire</td> <td>CS: Constanza</td> </tr> </table>	DM: Dáire Dwyer	MF: Constanza Green	DL: David	CG: Constanza Green	DR: Dáire	CS: Constanza	DA: Dáire	CS: Constanza	DC: Dáire	CS: Constanza	DD: Dáire	CS: Constanza	DE: Dáire	CS: Constanza	DF: Dáire	CS: Constanza	DG: Dáire	CS: Constanza	DH: Dáire	CS: Constanza	DI: Dáire	CS: Constanza	DJ: Dáire	CS: Constanza	DK: Dáire	CS: Constanza	DL: Dáire	CS: Constanza	DM: Dáire	CS: Constanza	DN: Dáire	CS: Constanza	DO: Dáire	CS: Constanza	DP: Dáire	CS: Constanza	DQ: Dáire	CS: Constanza	DR: Dáire	CS: Constanza	DS: Dáire	CS: Constanza	DT: Dáire	CS: Constanza	DU: Dáire	CS: Constanza	DV: Dáire	CS: Constanza	DW: Dáire	CS: Constanza	DX: Dáire	CS: Constanza	DY: Dáire	CS: Constanza	DZ: Dáire	CS: Constanza
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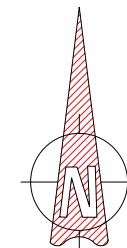








Description:  
 Digital Landscape Model (DLM)  
 Publisher / Source:  
 Tailte Éireann  
 Data Source / Reference:  
 PRIME2  
 File Format:  
 Autodesk AutoCAD (DWG\_R2013)  
 File Name:  
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 Clip Extent / Area of Interest (AOI):  
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 Date= 30-Jan-2025  
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 DCMLS Release V1.183.119  
 Product Version:  
 Version= 1.4  
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 Gach cead ar cosnamh.



**SITE AREA**  
 =258m<sup>2</sup>  
 =0,0258Ha

Proposed Application Site  
 Longueville House,  
 Longueville, Ballyclogh,  
 Co. Cork,  
 Bounded in Red



OSI Ireland Details  
 A3L Digital Vector Planning Pack 1:1000  
 Order No: 50445810  
 Centre Point Coordinates:  
 X,Y= 549551.9991,598729.3517

**01** Site Location Map  
 0003 scale 1:10560

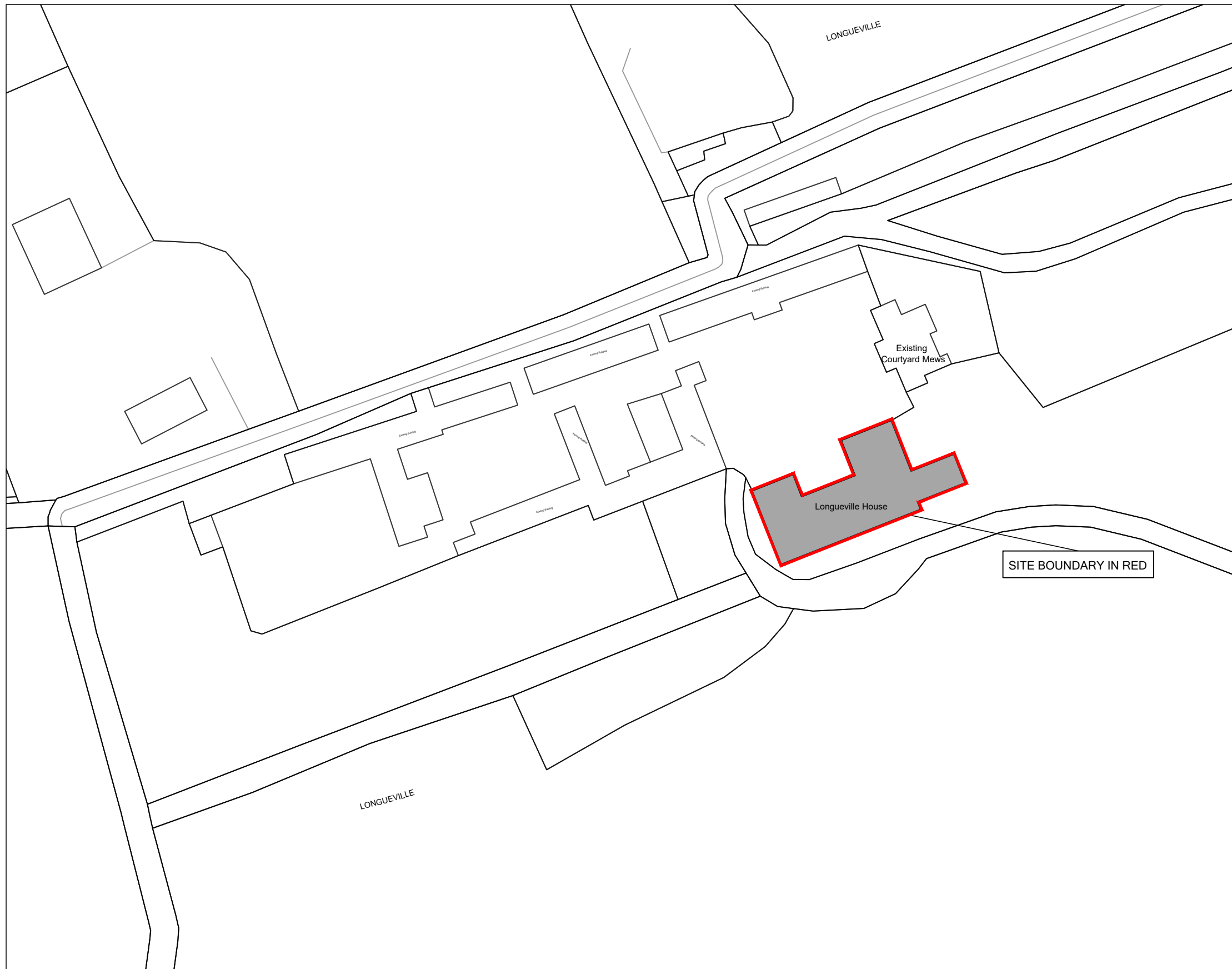
<b>23068-RDF-M3-A-5000 A</b>				
Notes: The copyright of this drawing is vested with OCFPM Ltd. Company and may only be reproduced with the OCFPM Ltd. Company permission. Do not scale from this Drawing Use figured dimensions only. All dimensions must be verified on site.				
ISSUE	DATE	DRN	CHK	NOTES

Title	Site Location Map (6")
Date	30.01.2025
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Client	
Drawn By	EM RDF Architects & Planning
Drawing No.	23068-RDF-M3-A-5000 A
ISSUE	0

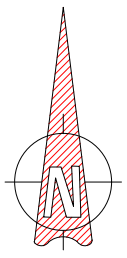
**RDF Architects & Planning Ltd.**  
 Unit 19, Charleville Town Centre  
 Charleville, Co. Cork  
 Tel 063 30917  
 E-mail: info@ocfpm.com  
 Web Site: www.OCFPM.com

Project  
 Longueville, Co. Cork, P51 WD88





Description:  
 Digital Landscape Model (DLM)  
 Publisher / Source:  
 Tailte Éireann  
 Data Source / Reference:  
 PRIME2  
 File Format:  
 Autodesk AutoCAD (DWG\_R2013)  
 File Name:  
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 The representation on this map  
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 is not evidence of the existence  
 of a right of way.  
 This topographic map  
 does not show  
 legal property boundaries,  
 nor does it show  
 ownership of physical features.  
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 All rights reserved.  
 Gach cead ar cosnamh.



**SITE AREA**  
 =780m<sup>2</sup>  
 =0,0780Ha

Proposed Application Site  
 Longueville House,  
 Longueville, Ballyclogh,  
 Co. Cork,  
 Bounded in Red



OSI Ireland Details  
 A3L Digital Vector Planning Pack 1:1000  
 Order No: 50445810  
 Centre Point Coordinates:  
 X,Y= 549551.9991,598729.3517

**01** Site Location Map  
 0001 scale 1:1000

<b>23068-RDF-M3-A-5000</b>				
<small>Notes: The copyright of this drawing is vested with OCFPM Ltd. Company and may only be reproduced with the OCFPM Ltd. Company permission. Do not scale from this Drawing. Use figured dimensions only. All dimensions must be verified on site.</small>				
ISSUE	DATE	DRN	CHK	NOTES

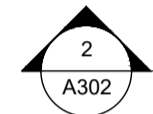
Title	<b>Site Location Map</b>
Date	30.01.2025
Scale	1:1000 @ A3
Client	EM RDF Architects & Planning
Drawn By	EM RDF Architects & Planning
Drawing No.	<b>23068-RDF-M3-A-5000</b>
ISSUE	<b>0</b>

**RDF Architects & Planning Ltd.**  
 Unit 19, Charleville Town Centre  
 Charleville, Co. Cork  
 Tel 063 30917  
 E-mail: info@ocfpm.com  
 Web Site: www.OCFPM.com

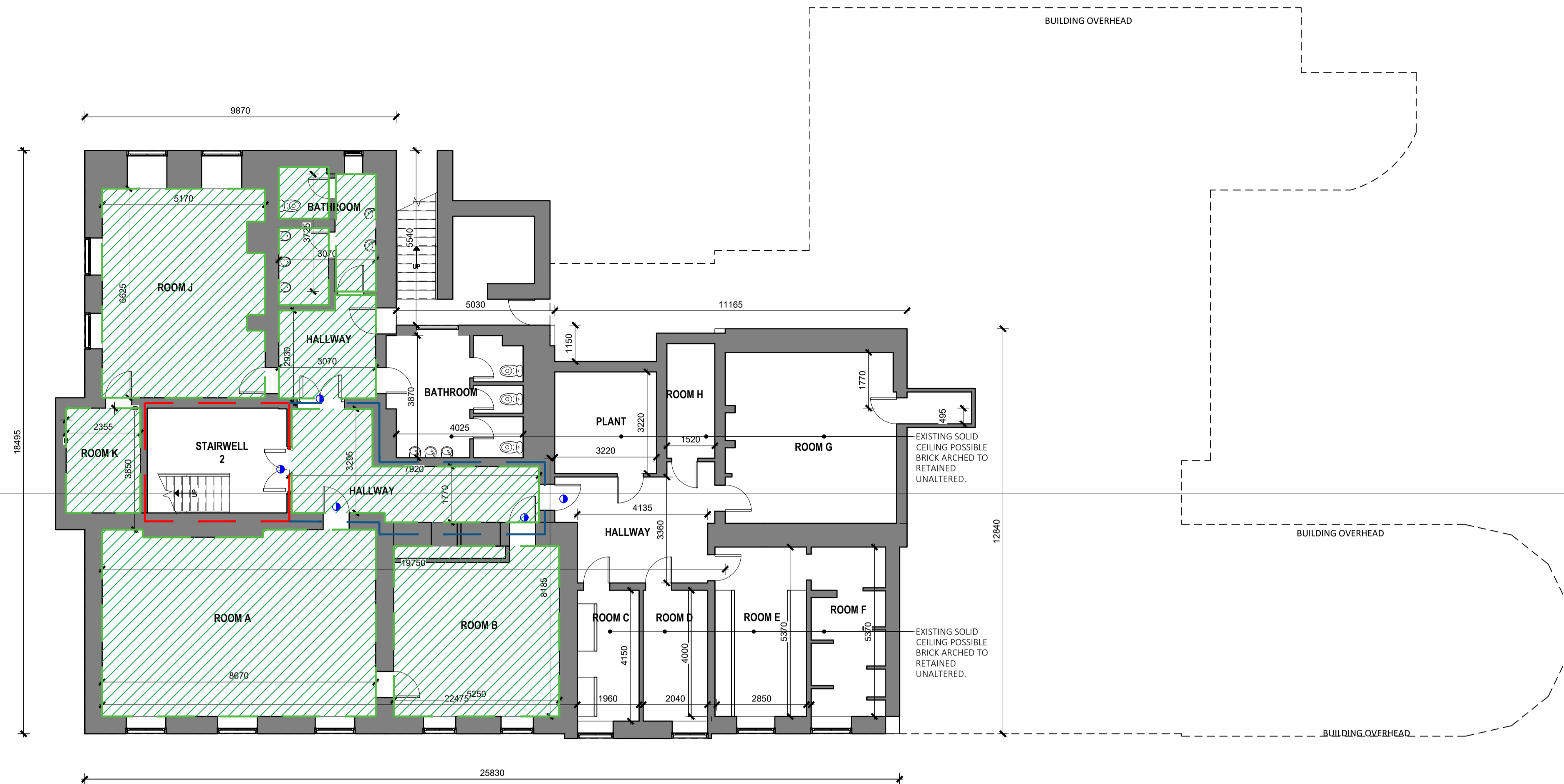
Project  
 Longueville, Co. Cork, P51 WD88

DRAWINGS TO BE READ IN CONJUNCTION WITH

- ACP CONSERVATION REPORTS
- REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT



01 Basement Floor Plan  
5001 Scale 1:100 @ A1



**LEGEND CEILINGS**

UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.

PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

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ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.

MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.

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EXISTING LATH & PLASTER CEILINGS WITH ORNAMENTAL DECORATIVE COLOUR OR FEATURES TO BE RETAINED UNALTERED. FIRE RESISTANCE TO BE ACHIEVED BY LIFTING FLOOR BOARDS FROM ABOVE AND INSTALLING ENVIROGRAF OR EQUIVALENT UNDER FLOOR FIRE BARRIER TO ACHIEVE 30 MINUTE FIRE RATING.

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**LEGEND DOORS**

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ENVIROGRAF OR EQUIVALENT APPROVED INSTALLER TO PROVIDE UPGRADE WORKS TO EXISTING HERITAGE PANELED DOORS. THE FOLLOWING METHODOLOGY WILL BE UNDERTAKEN BY A SPECIALIST CONSERVATION CONTRACTOR IN CONJUNCTION WITH FIRE CONSULTANT.

1. **LOW RISK:** DOOR TO HAVE A CLOSING DEVICE
2. **LOW-MEDIUM RISK:** DOOR TO HAVE A SELF-CLOSING DEVICE AND COLD SMOKE SEALS
3. **MEDIUM RISK:** DOOR TO HAVE SELF -CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE.
4. **MEDIUM TO HIGH RISK:** EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR\* INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF -CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE

\* WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION. FOR ILLUSTRATIVE PURPOSES ONLY.

PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW.

- ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED, THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING;

30 MINUTES FIRE RESISTING CONSTRUCTION (CORRIDOR/HALLWAY) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION. FOR ILLUSTRATIVE PURPOSES ONLY.

PLEASE EXTRACT FROM FIRE CONSULTANT BELOW.

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AREA OUTSIDE OF SCOPE

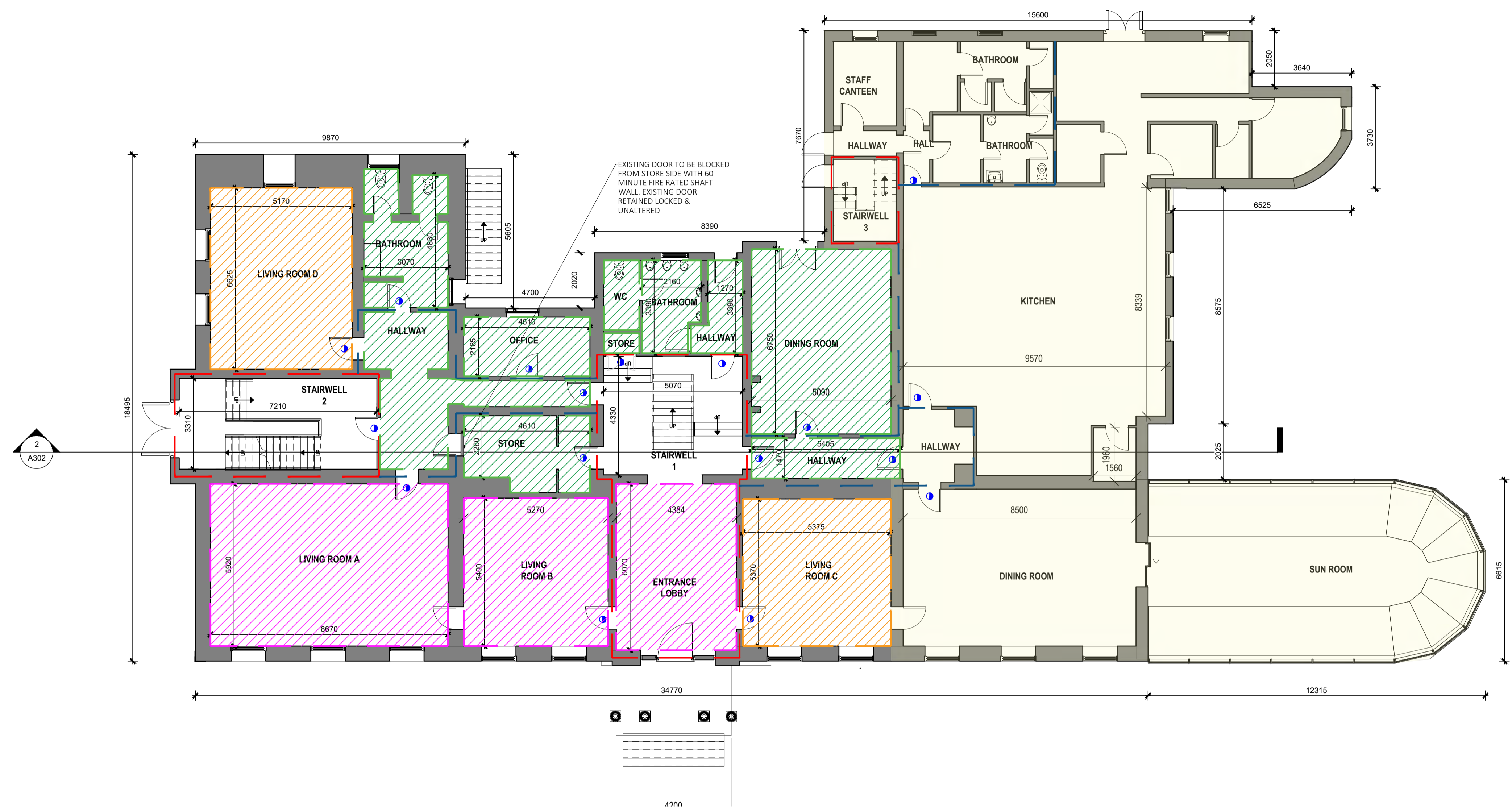
- N.B- ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

<b>23068-RDF-M3-A-5001</b>		Title: Basement Floor Plan	
Notes: The copyright of this drawing is vested with RDF Architects & Planning Ltd. Copying or reuse without the written permission of RDF Architects & Planning Ltd. is strictly prohibited. All dimensions must be verified on site.		Date: 01-2025	
Scale: 1:100 @ A1		Client: Valleyport Limited.	
Drawn by: POK		Project: Longueville House, Mallow.	
RDF Architects & Planning Ltd.		Project: Longueville House, Mallow.	
Drawing No: 0		Issue: 0	
Detailed Design		0	



DRAWINGS TO BE READ IN CONJUNCTION WITH

- ACP CONSERVATION REPORTS
- REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT



01 Ground Floor Plan  
5002 Scale 1:100 @ A1

**LEGEND CEILINGS**

- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
- UPGRADE EXISTING LATH & PLASTER CEILINGS WITH DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE & CLEAR INTUMESCENT COATING SYSTEM.  
ANY DECORATIVE COLOUR OR FEATURES TO RECEIVE CLEAR INTUMESCENT COATING ONLY.  
MAIN WHITE SECTIONS OF EXISTING LATH & PLASTER CEILINGS TO RECEIVE WHITE INTUMESCENT COATING SYSTEM.  
PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT
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PLEASE NOTE CONDITION OF THE EXISTING CEILINGS HAS BEEN DETERMINED IN THE ACP ARCHITECTURAL CONSERVATION PROFESSIONALS REPORT. PLEASE REFER TO THIS FOR ANY REPAIR WORKS REQUIRED PRIOR TO ANY TREATMENT

**LEGEND DOORS**

- UPGRADE EXISTING DOOR SET TO MIN 30 MINUTES FIRE RESISTANCE AND SELF-CLOSING.  
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  4. **MEDIUM TO HIGH RISK:** EXISTING DOOR TRANSPORTED TO WORKSHOP FOR UPGRADES AND PAINTED WITH CLEAR\* INTUMESCENT COATING SYSTEM. DOOR TO HAVE SELF -CLOSING DEVICE AND COLD SMOKE SEALS & 30 MINUTE BURNT THROUGH UPGRADE
- \* WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

- 30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION. FOR ILLUSTRATIVE PURPOSES ONLY.  
PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW.
  - ENCLOSURES TO ALL STAIRS WILL ACHIEVE 30 MINUTES FIRE RESISTANCE. THIS WILL BE PROVIDED BY ASSESSING EXISTING CONSTRUCTION TO CONFIRM MATERIALS, THICKNESS ETC. WHERE UPGRADE WORKS ARE REQUIRED, THIS WILL BE DONE BY PROPRIETARY TESTED SYSTEM WHERE THE HISTORIC NATURE OF THE BUILDING PREVENTS OVERBOARDING;
- 30 MINUTES FIRE RESISTING CONSTRUCTION (CORRIDOR/HALLWAY) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION. FOR ILLUSTRATIVE PURPOSES ONLY.  
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- AREA OUTSIDE OF SCOPE
- N.B- ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

<b>23068-RDF-M3-A-5002</b>		Title: Ground Floor Plan	
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Scale: 1:100 @ A1		Client: Valkeport Limited.	
Drawn by: POK		RDF Architects & Planning Ltd.	
Issue: 01		Project: Longueville House, Malloy.	
Date: 01/01/2025		Drawing No: 0	
Drawn by: POK		Scale: 1:100 @ A1	
Issue: 01		Client: Valkeport Limited.	
Date: 01/01/2025		RDF Architects & Planning Ltd.	
Drawn by: POK		Project: Longueville House, Malloy.	
Issue: 01		Drawing No: 0	

**RDF Architects & Planning Ltd.**  
Office 07, Charleville Town Centre, Bakers Road, Charleville, Co. Cork P56 EHT9  
info@rdfarchitects.com

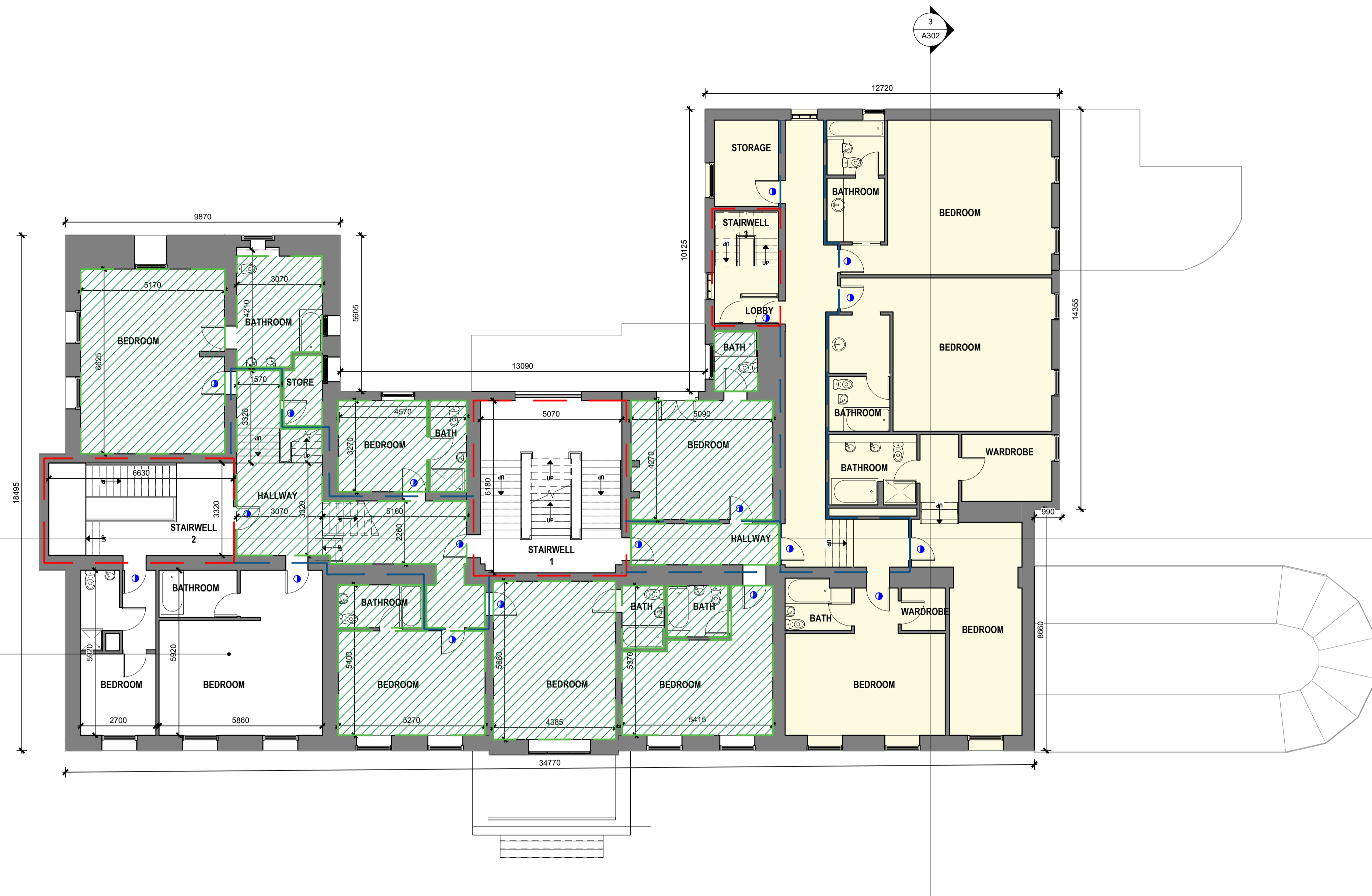
**RDF ARCHITECTS & PLANNING**

DRAWINGS TO BE READ IN CONJUNCTION WITH

- ACP CONSERVATION REPORTS
- REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT

01 First Floor Plan  
5003 Scale 1:100 @ A1

NO FIRE IMPROVEMENTS TO CEILING REQUIRED AS NO ROOMS ABOVE THIS LEVEL



**LEGEND CEILINGS**

UPGRADE EXISTING LATH & PLASTER CEILINGS WITH HAVE NO DECORATIVE COLOUR OR FEATURES TO 30 MINUTE FIRE RATING WITH ENVIROGRAF OR EQUIVALENT WHITE INTUMESCENT COATING SYSTEM.

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\* WHERE APPROPRIATE A WHITE INTUMESCENT COATING SYSTEM MAY BE USED ON DOORS THAT ALREADY PAINTED WHITE. THIS IS TO BE AGREED WITH CONSERVATION ARCHITECT.

**LEGEND WALLS**

30 MINUTES FIRE RESISTING CONSTRUCTION (STAIR ENCLOSURE) EXISTING CONSTRUCTION ACHIEVES 30 MINUTE FIRE RATED CONSTRUCTION. FOR ILLUSTRATIVE PURPOSES ONLY.

PLEASE SEE EXTRACT FROM FIRE CONSULTANT BELOW.

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AREA OUTSIDE OF SCOPE

- N.B- ALL EXISTING DOWNLIGHTS IN CEILING ARE TO BE REPLACED WITH 30 MINUTE FIRE RATED EQUIVALENT

<b>23068-RDF-M3-A-5003</b>		Title: First Floor Plan	
Notes: The copyright of this drawing is vested with RDF Architects & Planning Ltd. Copying or reuse of any part of this drawing without the written permission of RDF Architects & Planning Ltd. is strictly prohibited. All dimensions must be verified on site.		Date: 01-2025	
Scale: 1:100 @ A1		Client: Valleyport Limited.	
Drawn by: POK		Project: Longueville House, Mallow.	
RDF Architects & Planning Ltd.		Drawing No: 0	
Detailed Design		0	



DRAWINGS TO BE READ IN CONJUNCTION WITH

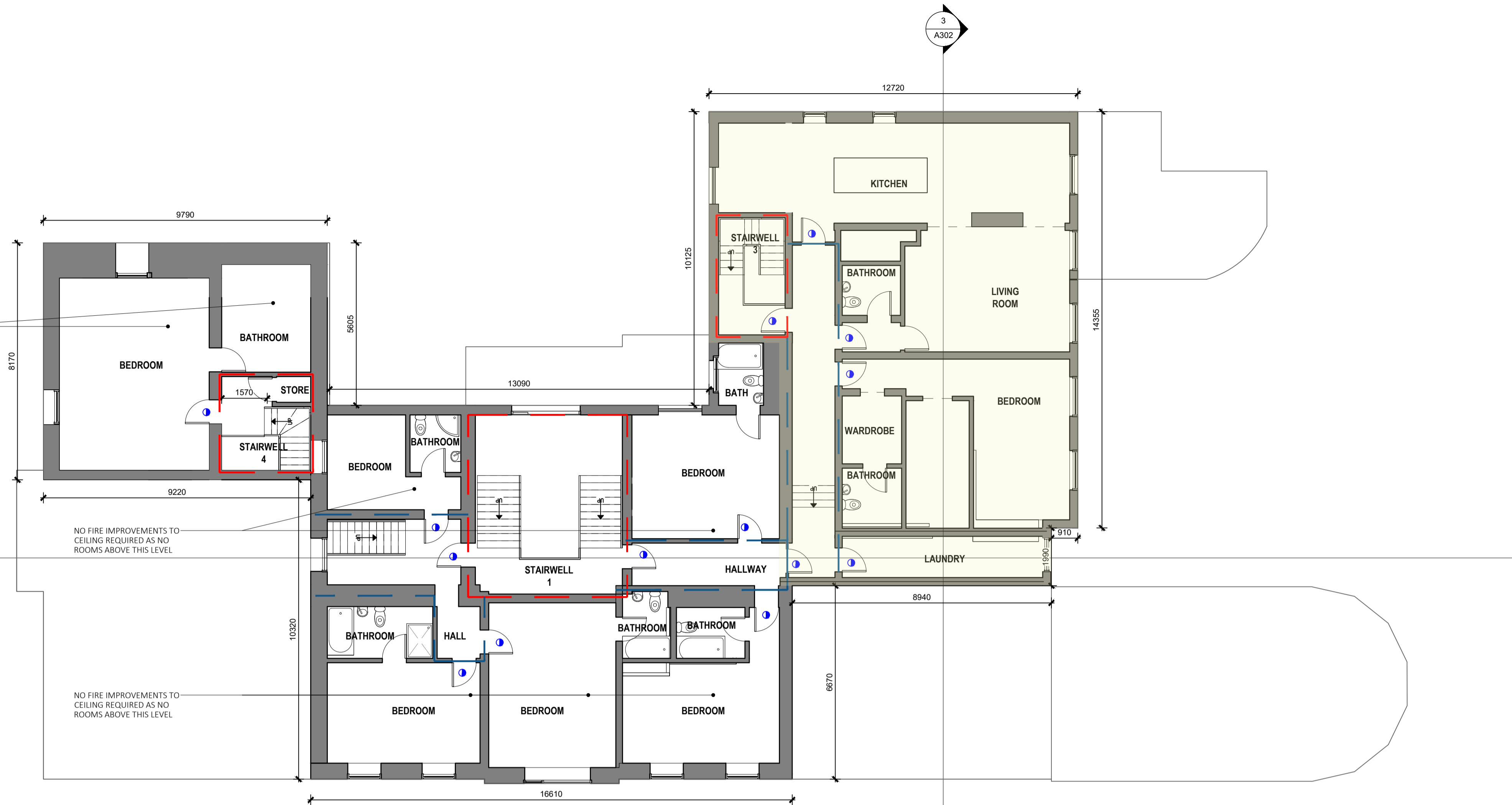
- ACP CONSERVATION REPORTS
- REGENT FIRE CONSULTANTS LAYOUT DRAWINGS & REPORT

01 Second Floor Plan  
5004 Scale 1:100 @ A1

NO FIRE IMPROVEMENTS TO CEILING REQUIRED AS NO ROOMS ABOVE THIS LEVEL

NO FIRE IMPROVEMENTS TO CEILING REQUIRED AS NO ROOMS ABOVE THIS LEVEL

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**LEGEND CEILINGS**

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AREA OUTSIDE OF SCOPE

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<b>23068-RDF-M3-A-5004</b>		Title: Second Floor Plan	
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Scale: 1:100 @ A1		Client: Valleyport Limited.	
Drawn by: POK		Project: Longueville House, Mallow.	
RDF Architects & Planning Ltd.		Drawing No: 0	
Issue: 0		Date: 01-2025	
Drawn: POK		Checked: POK	
Approved: POK		Project: 0	

**RDF Architects & Planning Ltd.**  
Office 07, Charleville Town Centre, Bakers Road, Charleville, Co. Cork P56 EHT9  
info@rdfarchitects.com

**RDF ARCHITECTS & PLANNING**