

Comhairle Contae Chorcaí Cork County Council

Tead More Solar Ltd.,
c/o Mary Kelleher,
MKO,
Tuam Road,
Galway.
H91 VW84.

27th February 2025

REF: D/271/24
LOCATION: Tead More & Carrigshane, Midleton, Co. Cork.

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Madam,

On the basis of the information submitted by you on 16th October 2024 and 31st January 2025 the Planning Authority, having considered whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at **Carrigshane, Midleton Co. Cork** is or is not development or is or is not exempted development, has declared that it is **exempted development**.

Reason for Decision

The Planning Authority in considering this referral, had particular regard to:

- Sections 2(1), 3(1), 4(4) and 172(1) of the Planning and Development Act 2000, as amended
- Articles 3, 6 and 9 and Classes 26 and 27 Part 1 Schedule 2 of the Planning and Development Regulations 2001-2024, as amended
- The plans and particulars submitted on 16th October 2024 and 31st January 2025

And Whereas the Planning Authority hereby concludes that

(a) the provision of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midleton comes within the scope of Sections 2(1) and 3(1) of the Act and constitutes development,

(b) The said underground grid connection comes within the scope of Class 26 Part 1, Schedule 2, of the Planning and Development Regulations 2001

(c) The said overhead grid connection comes within the scope of Class 27 Part 1, Schedule 2, of the Planning and Development Regulations 2001

(d) The said grid connection does not come within the scope of section 4(4) of the Planning and Development Act, 2000, as amended.

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.

Fón: (021) 4276891

R-phost: planninginfo@corkcoco.ie

Suíomh Gréasáin: www.corkcoco.ie

Planning & Development,

County Hall,

Carrigrohane Road, Cork T12 R2NC.

Tel (021) 4276891

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The Planning Authority concludes that the provision of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at **Carrigshane, Midelton Co. Cork** constitutes **development and is exempted development**.

This exemption does NOT itself empower a person to carry out a development unless that person is legally entitled to do so.

Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.

Yours faithfully,



**PIO TREACY,
ADMINISTRATIVE OFFICER,
PLANNING DEPARTMENT.**

Please be advised that the roads engineers (Midleton office) have expressed concerns regarding the road opening license necessary to fully implement the development as outlined in documents lodged. You are advised to contact the Roads Department, CCC in relation to this matter.

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

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David O'Brien,
Carrigshane,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kV underground and overhead grid connection from the permitted Teadmore Solar Park to the existing 38kV substation at Carrigshane, Midleton, Co. Cork is or is not development or is or is not exempted development

Dear Sir,

Further to recent correspondence notifying you of a third-party Declaration with regard to the above development I enclose for your information copy of the Planning Authority's decision.

Yours faithfully,

TRACY O' CALLAGHAN,
STAFF OFFICER.

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Denis O'Brien,
Carrigshane,
Midleton,
Co. Cork

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Michael O'Brien,
Carrigshane,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24

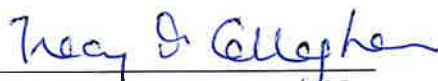
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William O'Brien,
Carrigshane,
Midleton,
Co. Cork

27th February 2025

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Matthew & Paula McAuliffe,
Coppingerstown,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24


Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

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Andrew David Daly,
Gurteenina,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kV underground and overhead grid connection from the permitted Teadmores Solar Park to the existing 38kV substation at Carrigshane, Midleton, Co. Cork is or is not development or is or is not exempted development

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Comhairle Contae Chorcaí Cork County Council

Olivia Ryan,
Carrigshane,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24

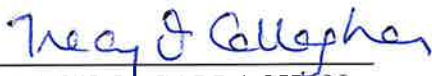
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Comhairle Contae Chorcaí Cork County Council

Anna O'Brien,
Carrigshane,
Midleton,
Co. Cork

27th February 2025

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kV underground and overhead grid connection from the permitted Teadmores Solar Park to the existing 38kV substation at Carrigshane, Midleton, Co. Cork is or is not development or is or is not exempted development

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Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

D271-24- Solar farm Grid Connection- Teadmore

The Question

The applicant is querying whether the Whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is **development** and if it is development, is it **exempt development** for the purposes of the Act

Planning History



16/6302- Permission granted (10 year) to Temporis Ltd for the development of a solar photovoltaic panel array consisting of up to 27,000 m2 of solar panels on ground mounted steel frames, 2 no. substation buildings, 4 no. inverter units, 2 no. storage and control cabins, underground cable and ducts, boundary security fence, new internal tracks, CCTV and all associated site services and works

24/5276- Permission granted to Tead More Solar Ltd for modifications to permitted solar farm (Pl.Reg.No. 16/6302). The modifications are within the boundary of the permitted development and will comprise of: 1) The amendment of the design and layout of the permitted on-site 20kV substation to adhere to modern ESB standards, 2) Amendments include exclusion of the permitted 2 no. switch rooms and the development of 1 no. combined switch room (55.19 sq.m) and other minor amendments, 3) The proposed development includes all associated site works and ancillary infrastructure.

Relevant Precedent

RL3503 The Board determined that the provision of a connection between the 110kv substation of the Yellow River Windfarm granted under PA0032 & the National Grid is development and is exempted development at Rhode, Co. Offaly.

RL3375 Board determined that 220m of 20kv underground cable forming part of grid connection at Raragh, Kingscourt, Co Cavan is development and is exempted development.

RL302895 The Board determined that the developer Power Capital Renewable Energy Ltd. was a statutory undertaker for the provision of 20kV medium voltage grid connection from a permitted solar farm to national grid is a statutory undertaker

Statutory Provisions

I consider the following statutory provisions relevant to this referral case:

Planning and Development Act, 2000

“statutory undertaker” means a person, for the time being, authorised by or under any enactment of instrument under an enactment to –

- 1(a) Construct or operate a railway, canal, inland navigation dock, harbour or airport,
- 2(b) Provide, or carry out works for the provision of, gas, electricity or telecommunications services, or
- 3(c) Provide services connected with, or carry out works for the purposes of the carrying on of the activities of, any public undertaking.

Section 3 (1) states:-

“In this Act, “development” means, except where the context otherwise requires, the carrying out of works on, in over or under land, or the making of any material change of use of any structures or other land.”

Works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal”.

S 4(1) (g) development consisting of the carrying out by any local authority or statutory undertaker of any works for the purpose of inspecting, repairing, renewing, altering or removing any sewers, mains, pipes, cables, overhead wires, or other apparatus, including the excavation of any street or other land for that purpose;

Section 4 (2) of the Act provides that the Minister may, by regulations, provide for any class of development to be exempted development. The main regulations made under this provision are the Planning and Development Regulations, 2001.

Section 4(4) Notwithstanding..... any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required”

Section 172(1) “An environmental impact assessment shall be carried out by a planning authority or the Board, as the case may be in respect of an application for consent for - (a) Proposed development of a class specified in Schedule 5 to the Planning and Development Regulations 2001 which exceeds a quantity area, or other limit specified in that Schedule, and

b) Proposed development of a class specified in Schedule 5 to the Planning and Development Regulations 2001 which does not exceed a quantity, area or other limit specified in that Schedule but which the planning authority or the Board determines would be likely to have significant effects on the environment.”

Planning and Development Regulations, 2001

Article 3(3) “electricity undertaking” means an undertaker authorised to provide an electricity service”

Article 6(1) of the Regulations states as follows:- *“(a) Subject to article 9, development consisting of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1*

Article 9 (1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development.

The provisions of Class 26 &27 of Part 1 of Schedule 2 regulations is also of relevance

CLASS 26

The carrying out by any undertaker authorised to provide an electricity service of development consisting of the laying of underground mains, pipes, cables, or other apparatus for the purposes of the undertaking

CLASS 27

The carrying out by any undertaker authorised to provide an electricity service of development consisting of the construction of over -head transmission or distribution lines for conducting electricity at a voltage not exceeding a nominal value of 20kV”

Application Detail



The grid connection route is highlighted in orange on the image above. The grid connection is to be installed from the solar farm linking same to the Carrigshane 38kV substation approx. 3km to the NW. The new cable will run primarily along public roads (lightly trafficked local roads- L3625) but will also cross some 3rd party lands. In total approx. 1km of the cable will be undergrounded while the remaining 2km will be overhead line. The main undergrounded element will be along the public roads. The road excavation, installation and reinstatement process will take on average of 1 no. day to complete for each 100m section. In respect of the roads impact, an outline CMP has been submitted and it is stated that the full detail around same will be agreed with CCC in respect of the impact of road opening/ traffic management. The full phases/ extent of development has been set out in the supporting document submitted

1. Overhead Grid Connection Between the Solar Farm Site and L3625: This phase involves establishing the overhead grid connection between the solar farm site and L3625. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems.

2. Underground Grid Connection Along L3625: This phase entails the installation of underground cables along the designated route of L3625. It involves trenching, laying of cables, and backfilling. Excavation, cable laying, jointing, and testing procedures will be conducted in accordance with regulatory standards and safety protocols.

3. Overhead Grid Connection Between L3625 and the Substation: This phase encompasses the construction of the overhead grid connection between L3625 and the substation. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems. Note, the final approx. 8m run to the 38kV substation will be underground.

Assessment

The proposal constitutes “development” for the purposes of the Act insofar as “works” are being carried out. The question therefore is whether or not the works constitute “exempted development” for the purposes of the Act

In respect of the works proposed, Class 26 and Class 27 of Part 1 of Schedule 2 would appear to apply in this instance, however this exemption is only applicable to an “*undertaker authorised to provide an electricity service*”.

The applicant in documents lodged has provided some additional clarity and supporting precedent around this issue. In particular I note the following:

Article 3(3) of the regulations states that an electricity undertaking means an undertaker authorised to provide an electricity service. The Electricity Regulation Act 1999 provides a definition as follows:

“electricity undertaking” means any person engaged in generation, transmission, distribution or supply of electricity, including any holder of a licence or authorisation under this Act, or any person who has been granted a permit under Section 37 of the Principal Act

In light of these definitions, it would appear the applicant falls within the category of undertaker on foot of its authorisation under the Planning Act to construct a solar farm that is a project for the provision of electricity. Notwithstanding, it is not stated in the documents lodged that the applicant has applied for Authorisation to Construct from the Commission for Regulation of Utilities under section 14 of the Electricity Regulation Act 1999. Similarly, in order to generate electricity, the applicant must obtain a License to Generate from the Commission. These consents may yet to be obtained. As such there is still a question over the legitimacy of “authorised undertaker”

In relation to this matter, I refer to precedent- in particular ABP-302895-18, Kildare County Council Reference ED/00656). I have reviewed that case and this question did arise. The ABP inspector states in that referral the fact that the applicants have been granted permission for an electricity generating development is sufficient to classify the applicants as

coming under Class 26, Part 1 Schedule 2 of the Planning and Development Regulations. This is a similar scenario to the subject proposal and that context I am satisfied that the applicant meets the provisions of Class 26 and Class 27

Restrictions on Exemption

Section 4(4) of the Act essentially de-exempts any development which attracts a requirement for Environmental Impact Assessment (EIA) or Appropriate Assessment (AA).

In relation to EIA, the development of a grid connection between the solar farm development permitted under ref no. 16/6302 and the ESB substation is not a prescribed class of development for the purposes of EIA. In consideration of screening for EIA, I would note that the original solar farm application was not subject to EIA and is not a prescribed class of development for the purposes of EIA. Please note that the original permission included reference to the subject connection route thus there is no concern over "project splitting. Accordingly I am satisfied that no further EIA requirements arise

As regards Appropriate Assessment, the grid connection is in relation to a permitted development (16/6302). "The information submitted with the referral includes a screening report which has been reviewed by the ecology section (see appendix B). The ecology section is satisfied that the proposed does not pose any risk to the integrity of Natura 2000 sites as would warrant AA

Article 9 restrictions

Having considered the restrictions under Article 9, the following subsections are relevant

(ii) Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.

The proposal does not contravene any conditions

(iii) endanger public safety by reason of traffic hazard or obstruction of road users,

The area engineer has reviewed this element (see appendix A) and has indicated that the inclusion of private cables on public roads is undesirable and not encouraged by CCC. Please note that the issue of road opening licensing is however somewhat separate to this S5 process. In this regard I note the comments of the ABP inspector on a similar case (see RL 310121-21)

"Given that a Road Opening License is required prior to the construction of the proposed development under Section 254 of the Planning and Development Act 2000 (as amended), I am satisfied that all road safety issues will be addressed by the Roads Authority. On this basis I do not consider the proposed development would create a traffic hazard and, thereby, would not be restricted on exemption under Article 9(1)(a)(iii) of the Regulations

While a similar conclusion could likely be drawn in this instance, it may be that F.I will be required in relation to element ViiA (see below). As such, there may be merit in including this concern raised by the area engineer to ensure completeness of application

(V and ViiA)

In respect of possible impact on archaeological or other sites of interest that are subject of preservation / conservation objectives Article 9(1)(a)(vii) and (ViiA). The file has been referred to the co. archaeologist (see report under appendix). The co. archaeologist is unable to make a determination on this issue as no supporting documentation has been provided in relation to archaeological matters. F.I will be needed

The conclusions in relation to AA and EIA above refer in the context of Article 9(1)(a) (viiB) and 9(1)(c). The ecologist has also reviewed the proposal against elements Vii, ViiB and ViiC and is satisfied that no ecological issues arise

Conclusion

In considering this referral, and having had regard particularly to -

- (a) Section 2(1), 3(1), 4(4), 172(1) of the Planning and Development Act, 2000, as amended,
- (b) Articles 3, 6 and 9 and Class 26, and Class 27 Part 1 Schedule 2 of the Planning and Development Regulations, 2001, as amended,

The Planning Authority has concluded that:

Further Information is required to complete the determination

An Archaeological Impact Assessment shall be prepared a suitably qualified archaeologist of the development site.

This archaeological assessment should

- examine the known and predicted archaeological environment
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
 - evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage
2. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval

remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

3. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
4. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

In addition, please note that it is the policy of Cork County Council to deter the use of private cabling along a public road. This may cause issue with the securing of a road opening license. You are also advised to contact the roads engineering section (Midleton office) in respect of this matter

Enda Quinn
Executive Planner
12/11/2024

Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

D271-24- Solar farm Grid Connection- Teadmore

Response to further information:

Item 1- AiA (Please refer to updated report of co. archaeologist appended to this assessment. Please note the co. archaeologist is generally satisfied with the response thus I can no conclude that the propsoal does not contravene A9(1)(a) (*V and ViiA*)

Item 2

There was a concern raised by the area engineers office regarding the undergrounding of cable along the public road (this is actively discouraged). As such there was a question as to whether or not the proposal would pass the test laid out under A9(1)(a)(iii) namely *endanger public safety by reason of traffic hazard or obstruction of road users.*

The applicant has not provided any further detail on this matter nor have they made contact with the area engineers office. I have discussed this matter with the SE/E (Midleton-see appendix). While the proposal does not in itself generate a traffic hazard sufficient to de-exempt the propsoal as per A9, there is a practical reluctance to issue a road opening license to a project such as this where there may be alternative options to run the grid connection through an adjoining field. While ultimately the issue of a road opening license is separate to this assessment, it would seem prudent to inform the applicant of this potential concern. Accordingly, an advice note should also be issued in respect of same

Conclusion

In considering this referral, and having had regard particularly to -

- (a) Section 2(1), 3(1), 4(4), 172(1) of the Planning and Development Act, 2000, as amended,
- (b) Articles 3. 6 and 9 and Class 26, and Class 27 Part 1 Schedule 2 of the Planning and Development Regulations, 2001, as amended,

The Planning Authority has concluded that:

(a) the provision of 20kv underground and overhead grid connection from the permitted Teadmre Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton comes within the scope of Sections 2(1) and 3(1) of the Act and constitutes development,

(b) The said underground grid connection comes within the scope of Class 26 Part 1, Schedule 2, of the Planning and Development Regulations 2001

(c) The said overhead grid connection comes within the scope of Class 27 Part 1, Schedule 2, of the Planning and Development Regulations 2001

(c) The said grid connection does not come within the scope of section 4(4) of the Planning and Development Act, 2000, as amended.

In conclusion the provision of 20kv underground and overhead grid connection from the permitted Teadmre Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is development and is exempted development .

Enda Quinn
Executive Planner
26/2/2025

IN addition, please issue the following advice note in tandem with the conclusion above

The applicant shall be advised that the roads engineers (Midleton office) have expressed concerns regarding the road opening license necessary to fully implement the development as outlined in documents lodged. Applicant is advised to contact the Roads Department, CCC in relation to this matter

Appendix A- Internal reports

D/271/24 Section 5 Declaration of Exemption for 20kV Grid Connection at Teadmore Solar Park (Reg. Ref. 16/06302

Ecology Office Report

The purpose of this report is to assess whether the proposed grid connection which is the subject of the above referenced Section 5 Declaration application would be likely to trigger any relevant Ecological Restrictions on Exemptions under Article 9 of the Planning and Development Regulations 2001 (as amended).

Project Details

This is a Section 5 Declaration application querying whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midleton Co. Cork is development which is exempted development.

The Teadmore Solar Park was permitted under Reg. Ref: 16/06320 in 2017 and permission for modifications to the substation within the solar farm was subsequently permitted in 2024 under Reg. Ref. 24/5276. The grid connection proposed is c.3.03km in length and consists of 1.03km of underground cable largely located along the public road (L3612) with undergrounding also within the Carrigshane substation and the solar farm. The route will predominantly comprise of an overhead line comprising of c.2km. No streams or watercourses will be crossed to facilitate the development.

An Outline Construction Method Statement and Appropriate Assessment Screening Report including habitat survey have been submitted in support of the Section 5 application.

Site Context and Location

The site is located to the north of the existing Teadmore Solar Park and south of the Carrigshane substation. These lands are located 4km to the south of Midleton and 3km to the north of Cloyne within a rural area. The site is accessed via the L3630 roadway which forms part of the development site. The proposed development is not located within the floodzone according to available Cork County Development Plan 2022 flood mapping available on the CCC PEQ system.

The Knockmaddree 010 watercourse is located c.350m to the west and the Dower Stream which forms a tributary of the Womanagh 020 is located c.415m to the south of the grid connection and is located south of the solar farm site. These watercourses can be seen in Figure 1 below. These watercourses are not directly connected to the route of the grid connection.

There are five European Sites located within 15km of the Application Site, which are listed as follows:

- Cork Harbour SPA (Site Code: 4030) located 1.9km to the west of the site;
- Ballycotton Bay SPA (Site Code: 4022) located 8.2km to the south east of the site;
- Great Island Channel SAC (Site Code: 1058) located 1.9km to the west of the site;
- Ballymacoda (Clonpriest and Pillmore) SAC (Site Code: 0077) located 12km to the east; and
- Ballymacoda Bay SPA (Site Code: 4023) located 12km to the east of the site.

The following proposed Natural Heritage Areas (pNHAs) are located within the vicinity of the site:

- Great Island Channel (Site Code: 1058) pNHA is located c. 1.9km to the west of the site;
- Carrigshane Hill (Site Code: 1042) pNHA located c. 1km to the north west; and
- Loughs Aderry and Ballybutter pNHA (Site Code: 0446) located 1.4km to the north east.

Figure 1: Site Location and Context



Source: EPA Eden Mapping System (accessed: 11/11/2024)

Assessment

European Sites

An Appropriate Assessment Screening Report has been submitted in support of this application prepared by MKO planning and Environmental Consultants. Per the Screening report, a total of five European Sites are identified to be located within 15km of the project site including the Great Island Channel SAC, Ballymacoda (Clonpriest and Pillmore) SAC, Cork Harbour SPA, Ballycotton Bay SPA and Ballymacoda Bay SPA. The AA Screening report as submitted concludes that there is no hydrological or ecological connection between the proposed development and any of these European Sites and the site does not cross any large drains or watercourses. It is further submitted that whilst the proposed grid connection includes overhead lines, considering the nature and scale of the development, lack of significant supporting habitat, the separation distance between the proposed development site and the SPAs involved, that no significant effect as a result of the collision are anticipated as a result of the proposed development. The AA Screening report also considers potential for

cumulative and in combination effects having regard to plans, projects and planned development for the area. The report concludes that no pathway or mechanism for the proposed development to result in any significant effect on any European Site was identified and therefore, there is no potential for it to contribute to any such effects when considered in-combination with any other development.

The AA Screening concludes that 'It is concluded beyond reasonable scientific doubt, in view of best scientific knowledge, on the basis of objective information and in light of the conservation objectives of the relevant European sites, that the proposed development, individually or in combination with other plans and projects, will not have a significant effect on any European Site'.

Having reviewed the relevant documentation as submitted and having reviewed the relevant ecological data sets in relation to each of the mentioned European Sites, it is determined that a Stage 2 Appropriate Assessment is not required because it can be excluded on the basis of the latest and best objective scientific information following screening, that this project, individually and/or in combination with other plans and projects, will not have a significant effect on the Great Island Channel SAC, Ballymacoda (Clonpriest and Pillmore) SAC, Cork Harbour SPA, Ballycotton Bay SPA and Ballymacoda Bay SPA in view of their conservation objectives and there will be no adverse effects on the integrity of the named European sites. It is therefore concluded that the proposed project does not pose a risk of significant effects on the integrity of any Natura 2000 site for the following reasons:

- There is no spatial overlap between the proposed development site and any Natura 2000 site;
- No direct loss, alteration or fragmentation of habitats will occur within any Natura 2000 site;
- The risk of surface water emissions associated with the proposed development is considered low given the small scale of the proposed development and the lack of any direct hydrological connection to any Natura 2000 site during the construction or operational phase.
- Considering the nature and scale of the development, lack of significant supporting habitat, the separation distance between the proposed development site and the referenced SPA sites, no significant effect as a result of the disturbance or collision are anticipated, as a result of the proposed development.
- No potential for in-combination effects have been identified.

It is therefore determined that Appropriate Assessment is not required.

Natural Heritage Areas

There are no Natural Heritage Areas within the vicinity of the project site. I note the above listed pNHA's located within the vicinity of the site and having regard to the distance between the project site and lack of any hydrological or ecological connection to these pNHA sites, I am satisfied that the proposed development does not pose a risk of having an adverse impact on a Natural Heritage Area or a proposed Natural Heritage Area.

Article 9 Ecological Restrictions Assessment

Development to which Article 6 of the Planning and Development Regulations 2001 (as amended) relates shall not be exempted development for the purposes of the Act should any Article 9 restrictions apply.

I have reviewed the proposal having regard to the Article 9(1)(a)(vii), (viiB) and (viiC) which include ecological related restrictions on Article 6 exemptions as detailed in columns 1 and 2 of **Table 1** below. I include my conclusion in relation to this assessment in column 3 of **Table 1** below.

Table 1: Article 9 Restrictions Assessment (Ecological Related)

Relevant Provisions	Detailed Provisions	Conclusion of Assessment
Article 9 (1)(a)(vii)	consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,	I am satisfied that the proposal as presented does not pose a risk of having a significant effect on any features or other objects of ecological interest in respect of this Article 9 restriction on exemption.
Article 9 (1)(a)(viiB)	comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,	I am satisfied that the proposed development does not pose a risk of having a significant adverse effect on any Natura 2000 site(s), alone or in combination with other Plans or Projects.
Article 9 (1)(a)(viiC)	consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.	I am satisfied that the proposal does not pose a risk of having an adverse impact on a Natural Heritage Area or proposed Natural Heritage Area.

Conclusion

Having regard to the proposal as presented under D/217/24 for a 20kv underground and overhead grid connection from the permitted Teadmre Solar Park to the existing 38kV substation at Carrigshane, Midelton Co. Cork, I am satisfied that no de-exemption applies under Article 9 (1)(a)(viiB) and (viiC) of the Planning and Development Regulations 2001 (as amended). I am also satisfied that no de-exemption applies under Article 9 (1)(a)(vii) of the Planning and Development Regulations in respect of any features or other objects of ecological interest.



Joy Barry
Ecology Office Planner

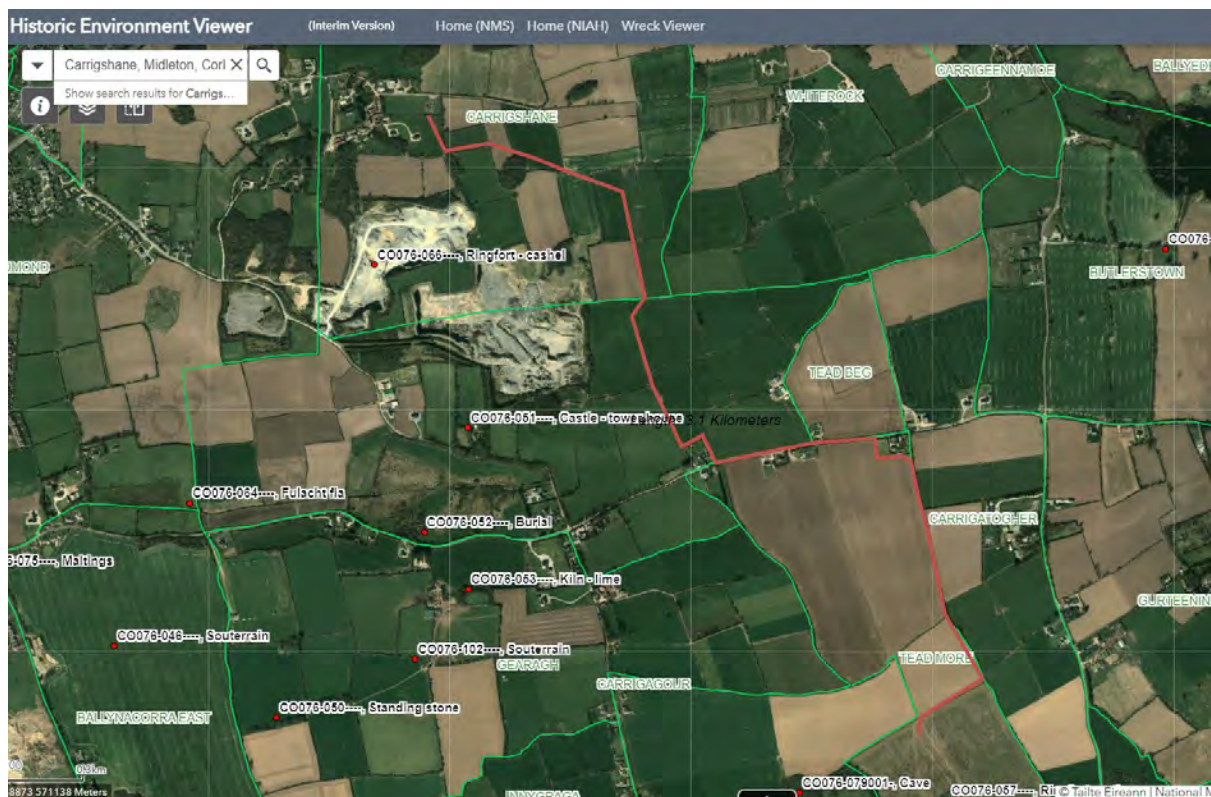
Section 5 Application - Grid Connection at Tead More Solar Park, in relation to PI. Ref 16/06302

Status

MKO have been requested to seek a Section 5 Declaration of Exemption or otherwise from Cork County Council, in respect of determining whether the proposed 20kV Grid Connection from the permitted Tead More Solar Park (PI. Ref 16/06302), does or does not constitute as Exempted Development under Section 5 of the Planning and Development Act 2000, as amended (the Act).

The route is over 1km and therefore is considered *large in scale*.

It is noted that the route which is a combination of an OHL and UG grid connection is proposed to be located in green fields and some local roads. It does not traverse any statutory Zones of Notification for any Recorded Archaeological Monuments.



Route superimposed on Historic Env Viewer (approx. only).

County Development Plan - Objectives

**County Development Plan 2022 Objectives HE 16-2:
Protection of Archaeological Sites and Monuments**

Secure the preservation (i.e. preservation in situ or in exceptional cases preservation by record) of all archaeological monuments and their setting included in the Sites and Monuments Record (SMR) (see www.archaeology.ie) and the Record of Monuments and Places (RMP) and of sites, features and objects of archaeological and historical interest generally. In securing such preservation, the planning authority will have regard to the advice and recommendations of the Development Applications Unit of the Department of Housing, Local Government and Heritage as outlined in the Frameworks and Principles for the Protection of the Archaeological Heritage policy document or any changes to the policy within the lifetime of the Plan.

**County Development Plan 2022 Objectives HE 16-3:
Underwater Archaeology**

Protect and preserve the archaeological value of underwater archaeological sites and associated underwater and terrestrial features. In assessing proposals for development, the development will take account of the potential underwater archaeology of rivers, lakes, wetlands, intertidal and sub-tidal environments through appropriate archaeological assessment by a suitably qualified archaeologist.

**County Development Plan 2022 Objectives HE 16-5:
Zones of Archaeological Potential**

Protect the Zones of Archaeological Potential (ZAPs) located within historic towns, urban areas and around archaeological monuments generally. Any development within the ZAPs will need to take cognisance of the upstanding and potential for subsurface archaeology, through appropriate archaeological assessment.

**County Development Plan 2022 Objectives HE 16-6:
Industrial and Post Medieval Archaeology**

Protect and preserve industrial and post-medieval archaeology and long-term management of heritage features such as mills, limekilns, forges, bridges, piers and harbours, water-related engineering works and buildings, penal chapels, dwellings, walls and boundaries, farm buildings, estate features, military and coastal installations. There is a general presumption for retention of these structures and features. Proposals for appropriate redevelopment including conversion should be subject to an appropriate assessment and record by a suitably qualified specialist/s.

**County Development Plan 2022 Objectives HE 16-7:
Battlefield, Ambush and Siege Sites and Defensive Archaeology**

Protect and preserve the defensive archaeological record of County Cork including strategic battlefield, ambush and siege sites, and coastal fortifications and their associated landscape due to their historical and cultural value. Any development within or adjoining these areas shall undertake a historic assessment by a suitably qualified specialist to ensure development does not negatively impact on this historic landscape.

**County Development Plan Objectives HE 16-8:
Burial Places**

Protect all historical burial places and their setting in County Cork and encourage their maintenance and care in accordance with appropriate conservation principles.

County Development Plan Objectives HE 16-9:

Archaeology and Infrastructure Schemes

All large scale planning applications (i.e. development of lands on 0.5 ha or more in area or 1km or more in length) and Infrastructure schemes and proposed roadworks are subjected to an archaeological assessment as part of the planning application process which should comply with the Department of Arts, Heritage and the Gaeltacht's codes of practice. It is recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.

County Development Plan Objectives HE 16-10:

Management of Monuments within Development Sites

Where archaeological sites are accommodated within a development it shall be appropriately conservation/ protection with provision for a suitable buffer zone and long-term management plan put in place all to be agreed in advance with the County Archaeologist.

County Development Plan Objectives HE 16-11:

Archaeological Landscapes

To protect archaeological landscapes and their setting where the number and extent of archaeological monuments are significant and as a collective are considered an important archaeological landscape of heritage value.

County Development Plan Objectives HE 16-12:

Raising Archaeological Awareness

As part of the Heritage Plan it is an objective to develop a management plan, if resources allow, for the archaeology of County Cork, which could include an evaluation of the Historic Character Assessment of Cork County helping to identify areas for tourism potential, and strategic research while also promoting best practice in archaeology and encouraging the interpretation, publication and dissemination of archaeological findings from the development application process.

County Development Plan Objectives HE 16-13:

Undiscovered Archaeological Sites

To protect and preserve previously unrecorded archaeological sites within County Cork as part of any development proposals. The Council will require preservation in situ to protect archaeological monuments discovered. Preservation by record will only be considered in exceptional circumstances.

Impact / Conclusion

I note that MKO have addressed the Planning exemptions where it relates to archaeology, cultural heritage (Cover Letter Table 1).

Planning Regulations, Exemption and Archaeology

Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would—

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation

or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan.

Comment: The protection of Archaeology and Cultural Heritage is paramount and the objectives of the County Development Plan note that developments (linear) in excess of 1km should be subject to an archaeological assessment (HE16-9). In the absence of an archaeological overview or archaeological assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted. In this regard, the applicant should submit an Archaeological Impact Assessment (including visual assessment given that the application includes an Overhead element). Furthermore, access to the works areas have not been identified and should be identified and assessed by an archaeologist in order to provide comfort to the L/A that no impacts will occur to such features (which may appear on historic mapping, sub-surface, areas of archaeological potential such as river crossings, streams).

(vii a) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended.

Comment:

MKO have noted (Cover letter Table 1, Planning Exemptions and restrictions) that the proposed works do not comprise the excavation, alteration or demolition of any monument included in the Record of Monuments and Places. I concur with this determination in that the proposed works are not such that Section 5 applies.

Overall Conclusion:

In the absence of an Archaeological / Historical Impact Assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted and therefore the applicant should submit an Archaeological/Historical Impact Assessment (including visual assessment given that the application includes an Overhead element). This will allow the planning authority to make a fully informed decision / determination on the Section 5 application. Please submit Further Information as follows:

An Archaeological Impact Assessment shall be prepared a suitably qualified archaeologist of the development site.

This archaeological assessment should

- examine the known and predicted archaeological environment
- examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
- evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology

- propose a strategy to mitigate the adverse effects of the development on the archaeological heritage
5. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.
 6. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
 7. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

Area engineer comments

Hi Paul,

There appears to be 450m of underground cable on the L-3625-0 public road. This would be very undesirable. CCC policy is to not have private cables such as this on public roads. If the proposed 30kV underground and overground grid connection doesn't go for planning and is considered exempt the policy would still need enforced.

Enda & Dave may have further comment on same.

Regards,

Janette

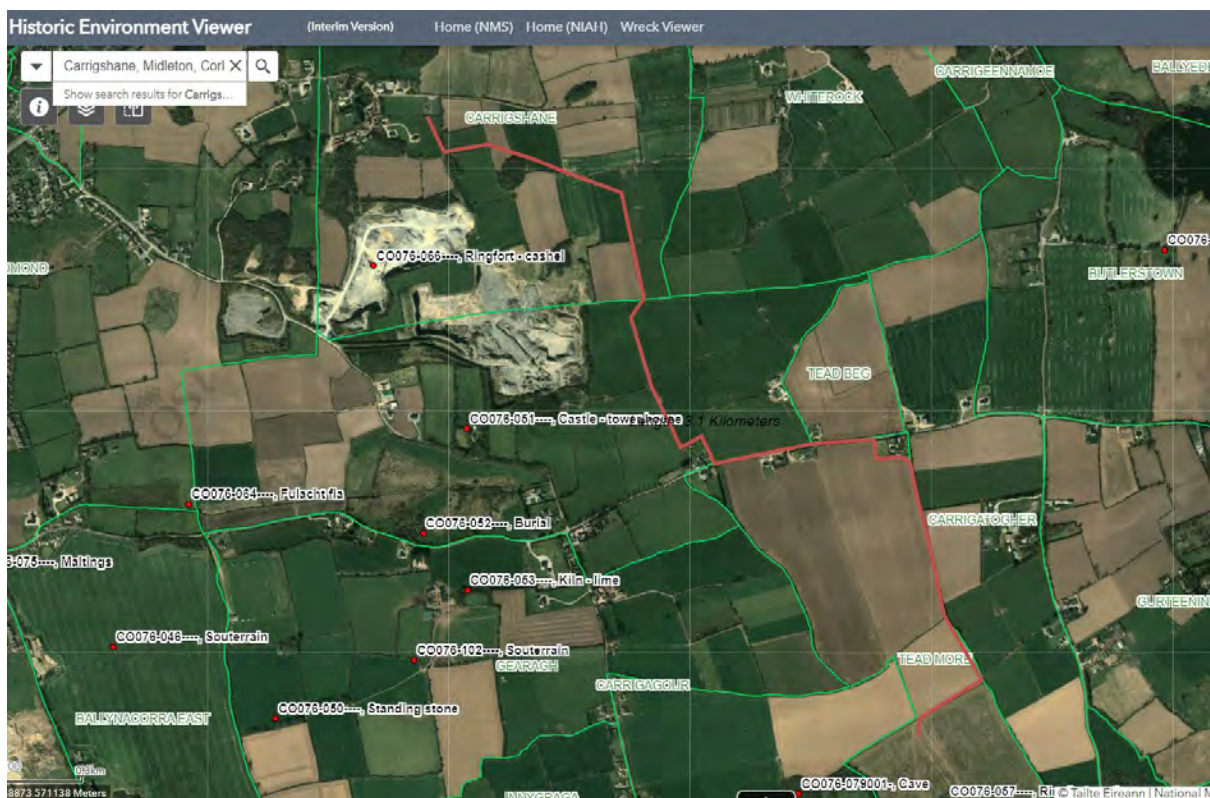
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recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.

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Management of Monuments within Development Sites**

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As part of the Heritage Plan it is an objective to develop a management plan, if resources allow, for the archaeology of County Cork, which could include an evaluation of the Historic Character Assessment of Cork County helping to identify areas for tourism potential, and strategic research while also promoting best practice in archaeology and encouraging the interpretation, publication and dissemination of archaeological findings from the development application process.

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Comment: The protection of Archaeology and Cultural Heritage is paramount and the objectives of the County Development Plan note that developments (linear) in excess of 1km should be subject to an archaeological assessment (HE16-9). In the absence of an archaeological overview or archaeological assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted. In this regard, the applicant should submit an Archaeological Impact Assessment (including visual assessment given that the application includes an Overhead element). Furthermore, access to the works areas have not been identified and should be identified and assessed by an archaeologist in order to provide comfort to the L/A that no impacts will occur.

(vii a) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended.

Comment:

MKO have noted (Cover letter Table 1, Planning Exemptions and restrictions) that the proposed works do not comprise the excavation, alteration or demolition of any monument included in the Record of Monuments and Places. I concur with this determination in that the proposed works are not such that Section 5 applies.

Overall Conclusion:

In the absence of an Archaeological / Historical Impact Assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted and therefore the applicant should submit an Archaeological/Historical Impact Assessment (including visual assessment given that the application includes an Overhead element). This will allow the planning authority to make a fully informed decision / determination on the Section 5 application. Please submit Further Information as follows:

An Archaeological Impact Assessment shall be prepared a suitably qualified archaeologist of the development site.

This archaeological assessment should

- examine the known and predicted archaeological environment
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
 - evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage
8. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval

remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

9. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
10. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

Response to Further Information 11/02/2025

Rubicon Heritage have submitted an Archaeological Impact Assessment as a response to the request for further information on the Section 5 application. It has concluded as follows;

This archaeological assessment has identified five sites of archaeological, and/or cultural heritage significance within the defined study areas (see Section 1.2). These include a single RMP , CO076-057---- (CH001: a Ringfort) located 177 m from the very southern end of the proposed grid connection and within the application boundary for Tead More Solar Farm. A roadside well identified from historic cartographic sources (CH002) may be impacted upon by the proposed in-road cable laying. Additionally, the proposed grid connection crosses two townland boundaries, CH003 and CH005. The proposed overhead lines may have direct effect on one townland boundary (CH003) while the other townland boundary, crossed by the underground grid connection, is already broken by modern roadways.

The excavation database produced only one result for archaeological excavation undertaken within the study area (CH004) This comprised test trenching under Licence No. 17E0082 following a preceding geophysical survey, which were undertaken in advance of the permitted Tead More Solar Park. The results of the test trenching revealed an enclosure delimited by two narrow, concentric ditches. The proposed cable route passes 35m to the north of this newly identified enclosure, and adjacent to (5-10 m) two circular anomalies identified in the preceding geophysical survey, but which could not be verified in the subsequent targeted test-trenching.

The proposed underground grid connection may have a direct effect two CH sites, CH002 and CH003, as well as potential to disturb previously unknown archaeological deposits in greenfield areas.

Conclusion

The archaeologist has confirmed that groundworks will be archaeologically monitored under licence from the National Monuments Service.

It is considered that all measures including the mitigation section of the AIA report (Rubicon Heritage, Jan 2025) have been considered in reducing archaeological impacts, including

sub-surface archaeology. I cannot provide conditions to a Section 5 application but given the commitment to undertake archaeological monitoring and other recommendations, I am recommending that the proposed development is exempt from an archaeological perspective.

From: Dave Clarke <Dave.Clarke@CorkCoCo.ie>
Sent: Wednesday, February 26, 2025 1:58 PM
To: Enda Quinn <Enda.Quinn@CorkCoCo.ie>
Cc: Ger Barry <Ger.Barry@CorkCoCo.ie>
Subject: RE: D/271/24 - Response to Further Information

Hi Enda

There has been some discussion on this. If you proceed as appropriate with the Section 5 and include an advice note that a road opening licence may not be forthcoming engage with the Roads Department

Regards

Dave

David Clarke | Innealtóir Feidhmiúcháin Sinsearach | **Bóithre agus Iompar**
Comhairle Contae Chorcaí | An Lóiste, Bóthar Eochaille,
Mainistir na Corann | Corcaigh | P25 TF98 | Éire
T +353-(0)21 – 463 1554 |
dave.clarke@corkcoco.ie | www.corkcoco.ie
Tairseach na gcustaiméirí: www.yourcouncil.ie

David Clarke | Senior Executive Engineer | **Roads & Transportation**
Cork County Council | The Lodge, Youghal Road,
Midleton | County Cork | P25 TF98 | Ireland
T +353-(0)21 – 463 1554 |
dave.clarke@corkcoco.ie | www.corkcoco.ie
Customer Portal: www.yourcouncil.ie



Cork County Council
Planning Department
County Hall
Carrigrohane Road
Cork

Our ref: 230203-e

Your ref: D/271/24

Date: 28th January 2025

Re: Response to Further Information Request for a Declaration of Exemption (Pl. Ref. D/271/24) for a 20kV Grid Connection at Tead More Solar Park, in relation to Pl. Ref. 16/06302

Dear Sir/Madam,

On behalf of our client, Tead More Solar Limited, MKO wish to respond to a Further Information Request issued by Cork County Council on 13th November 2024 in respect of the Declaration of Exempted Development under Section 5 for a 20kV Grid Connection at Tead More Solar Park.

The Section 5 application seeks a declaration from Cork County Council on the following:

‘Whether the development of 20kV underground and overhead grid connection from the permitted Tead More Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Middleton, Co. Cork is development which is exempted development’

The proposed development consists of:

‘The laying of 20kV underground (0.94km) and erection (1.86km) of overhead electricity transmission cable and associated joint bays and communications chambers through the townland of Tead More from the permitted Tead More Solar Park (Pl. Ref. 16/06302) to the existing 38 kV ESB Substation located at Carrigshane, Middleton, Co. Cork. The proposed cable route is c.2.8km in length and runs through the townlands of Tead More & Carrigshane.’

MKO respectfully notes that the information requested in the Further Information (FI) request issued by Cork County Council is not consistent with the relevant statutory framework. Specifically, Article 9(1) of the Planning and Development Regulations 2001 (as amended), concerning archaeology and cultural heritage, which establishes clear restrictions on exemptions. The relevant provisions state –

“9(1)(a) Development to which article 6 relates shall not be exempted development for the purposes of the Act –

(v) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new

Galway - MKO, Tuam Road, Galway, H91 VW84 (**Correspondence address**)

Dublin - MKO, 9C Beckett Way, Park West Business Park, Dublin, D12 XN9W

+353 (091) 735 611 | mkoireland.ie | info@mkoireland.ie

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MKO Water Limited t/a MKO. Registered in Ireland No: 338589. VAT No: IE6358589Q

MKO Estates & Project Management Ltd. Registered in Ireland No: 613029. VAT No: 3497897JH

development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,

and

(viiA) comprise of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No 2 of 1930) as amended.

It is important to note that the proposed works do not involve the excavation, alteration, or demolition of any monument of archaeological interest, or any archaeological monument included in the Record of Monuments and Places. Therefore, the requested assessment regarding the visual impact of the proposed development on archaeological sites and monuments is not a material planning consideration in the determination of whether the proposed development comprises exempt development or otherwise.

Each of the individual matters raised in the Planning Authority's Request for Further Information pertained to archaeological matters, and are addressed in detail in the Archaeological, Architectural and Cultural Heritage Impact Assessment Report, prepared by Rubicon Heritage, which accompanies this cover letter. They are also summarised on a point-by-point basis below –

Further Information Request 1

An Archaeological Impact Assessment shall be prepared by a suitably qualified archaeologist of the development site. This archaeological assessment should:

- examine the known and predicted archaeological environment.
- examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
- evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology.
- propose a strategy to mitigate the adverse effects of the development on the archaeological heritage.

Response

An Archaeological, Architectural and Cultural Heritage Impact Assessment Report, prepared by Rubicon Heritage, and accompanies this Further Information Response. The report examines the known and predicted archaeological environment and examines the proposed development in the context of the impacts the development may have on the archaeology. The following mitigation measures are recommended –

1. A programme of archaeological monitoring should be carried out by a suitably qualified archaeological consultant under license to the National Monuments Service Section of the Department of Housing, Local Government and Heritage, in areas where off-road cable trenching is proposed. Should any archaeological material be encountered, works will cease and the County Archaeologist and National Monuments Service shall be notified. A strategy will be proposed to the County Archaeologist and National Monuments Service to suitably

record any archaeological material identified, and preserve any archaeological material in situ, where possible. Where preservation in situ cannot be achieved, either in whole or in part, then a programme of archaeological excavation will be proposed, to ensure the preservation by record of the area of the development that will be directly impacted upon. Further work will then only be carried out following consultations with the County Archaeologist and the National Monuments Service.

2. In the vicinity of CH002 the cable trench should be kept out of the northern verge of the roadway, to avoid impact to any remaining elements of the roadside well marked on historic mapping (Figure 6).
3. Should a section of the upstanding townland boundary, CH003 need be removed a representative cross-section of the feature will be investigated and recorded by a suitably qualified archaeologist prior to or during removal.
4. The resulting archaeological report will be submitted to the County Archaeologist and to the National Monuments Service Section of the Department of Housing, Local Government and Heritage.

Further Information Request 2

The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

Response

A field inspection of the proposed development site was undertaken by Shirley Clot of Rubicon Heritage Services Ltd on 13th December 2024. The field inspection methodology is outlined in Section 2.3 of the Archaeological, Architectural and Cultural Heritage Impact Assessment Report, accompanying this Further Information Response.

Annette Quinn, the Local Authority Archaeologist was contacted by Enda O’Flaherty of Rubicon Heritage, on 10th January 2025 via email.

Further Information Request 3

A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.

Response

Section 4.4 of the Archaeological, Architectural and Cultural Heritage Impact Assessment Report addresses the potential visual impact to archaeological, architectural and cultural heritage. The closest Monument to the proposed development is a ringfort, located c. 177m south from the southern end of the proposed grid connection. The report concludes that –

‘The proposed underground grid connection is the closest section to the ringfort, and given its underground nature, will not have a visual effect on the ringfort’.

For further details on the visual impact of the proposed development please refer to Section 4.4 of the Archaeological, Architectural and Cultural Heritage Impact Assessment Report, prepared by Rubicon Heritage, which accompanies this Further Information Response.

Further Information Request 4

Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

Response

Archaeological, Architectural and Cultural Heritage Impact Assessment Report has been prepared by Rubicon Heritage, and accompanies this Further Information Response. Figure 2 illustrates the cultural heritage sites identified within the proposed development study area. For further photographs and maps, please refer to the report.

Should you require further clarification on any aspect of the response, please do not hesitate to contact this office.

Yours sincerely,



Evelina Sadauskaite
Planner
MKO

Enclosed

- > Further Information Request from Cork County Council
- > Archaeological, Architectural and Cultural Heritage Impact Assessment Report, prepared by Rubicon Heritage

Comhairle Contae Chorcaí Cork County Council

An Rannóg Pleanála,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC
Fón: (021) 4276891 Faics: (021) 4276321
Suíomh Gréasáin: www.corkcoco.ie
Planning Department,



Tead More Solar Limited,
C/O Mary Kelleher,
MKO,
Tuam Road,
Galway.
H91 VW84.

County Hall,
Carrigrohane Road, Cork T12 R2NC
Tel: (021) 4276891 Fax: (021) 4276321

13th November, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is or is not development and is or is not exempted development.

Dear Madam,

I refer to your application for a Declaration of Exemption in relation to the above.

It is considered that the information submitted with the Section 5 Declaration application is insufficient to enable the Planning Authority to make a determination in this case. You are therefore requested to submit the following further information :

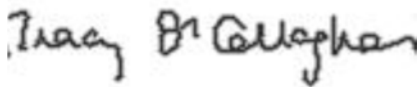
1. An Archaeological Impact Assessment shall be prepared by a suitably qualified archaeologist of the development site. This archaeological assessment should:
 - examine the known and predicted archaeological environment.
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
 - evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology.
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage.
2. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate

for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

3. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
4. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

In addition, please note that it is the policy of Cork County Council to deter the use of private cabling along a public road. This may cause issue with the securing of a road opening license. You are also advised to contact the roads engineering section (Midleton office) in respect of this matter.

Yours faithfully,



TRACY O' CALLAGHAN.
PLANNING DEPARTMENT.

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

**An Archaeological, Architectural and Cultural
Heritage Impact Assessment Report a Proposed 20kv
Underground and Overhead Grid Connection at
Carrigshane, Coppingersstown, Tead Beg and Tead
More Townlands, Co. Cork**

Project Code: RH1550

Client: Tead More Solar Limited

Report Author: Rhiannon Pettitt and Ciarraí O'Sullivan


Date: December 2024

Planning Reference: D/271/24

Report Status: Draft 0.1



**Rubicon
Heritage**

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	Title:	An Archaeological, Architectural and Cultural Heritage Impact Assessment Report for a Proposed 20kv Underground and Overhead Grid Connection at Carrigshane, Coppingerstown, Tead Beg and Tead More Townlands, Co. Cork				Page 0

VERSION CONTROL

Version	Date	Description	By	Approved By
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0.3	20/12/2024	Internal Edit	EOF	
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EXECUTIVE SUMMARY

The purpose of this report is to assess the importance and sensitivity of the known, as well as the potential archaeological, architectural and cultural heritage environment for a proposed 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork. The proposed development is situated east of Cork City, in the parishes of Middleton and Cloyne, in County Cork. The nearest urban settlement is the town of Midleton located c. 2 km north-west of the northern limit of the proposed route (Figure 1). The proposed grid connection crosses through the townlands of Carrigshane, Coppingerstown, Tead Beg and Tead More.

This archaeological assessment has identified five sites of archaeological, and/or cultural heritage significance within the defined study areas (see Section 1.2). These include a single RMP, CO076-057-- (CH001: a Ringfort) located 177 m from the very southern end of the proposed grid connection and within the application boundary for Tead More Solar Farm. A roadside well identified from historic cartographic sources (CH002) may be impacted upon by the proposed in-road cable laying. Additionally, the proposed grid connection crosses two townland boundaries, CH003 and CH005. The proposed overhead lines may have direct effect on one townland boundary (CH003) while the other townland boundary, crossed by the underground grid connection, is already broken by modern roadways.


The excavation database produced only one result for archaeological excavation undertaken within the study area (CH004) This comprised test trenching under Licence No. 17E0082 following a preceding geophysical survey, which were undertaken in advance of the permitted Tead More Solar Park. The results of the test trenching revealed an enclosure delimited by two narrow, concentric ditches. The proposed cable route passes 35m to the north of this newly identified enclosure, and adjacent to (5-10 m) two circular anomalies identified in the preceding geophysical survey, but which could not be verified in the subsequent targeted test-trenching.

The proposed underground grid connection may have a direct effect two CH sites, CH002 and CH003, as well as potential to disturb previously unknown archaeological deposits in greenfield areas.

The proposed overhead line will have a negligible visual effect on the nearby archaeological landscape, with the closest RMP outside of the solar development farm being CO076-051---- (a tower house) located >500 m west from the line. No clear impacts to monument intervisibility were identified, and the proposed line is not at sufficient scale so as to be visually dominant in the archaeological landscape.

The following mitigation measures are recommended:


1. A programme of archaeological monitoring should be carried out by a suitably qualified archaeological consultant under license to the National Monuments Service Section of the Department of Housing, Local Government and Heritage, in areas where off-road cable trenching is proposed. Should any archaeological material be encountered, works will cease and the County Archaeologist and National Monuments Service shall be notified. A strategy will be proposed to the County Archaeologist and National Monuments Service to suitably record any archaeological material identified, and preserve any archaeological material *in situ*, where possible. Where preservation *in situ* cannot be achieved, either in whole or in part, then

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a programme of archaeological excavation will be proposed, to ensure the preservation by record of the area of the development that will be directly impacted upon. Further work will then only be carried out following consultations with the County Archaeologist and the National Monuments Service.

2. The cable trench should be kept to the south side of the roadway, on the opposite side of the road to where the well (CH002) is marked on historic mapping (Figure 6).
3. Where a section of an upstanding townland boundary, CH003, must be removed a representative cross-section of the feature will be investigated and recorded by a suitably qualified archaeologist prior to or during removal.
4. The resulting archaeological report will be submitted to the County Archaeologist and to the National Monuments Service Section of the Department of Housing, Local Government and Heritage.

Please note all recommendations are subject to the approval of the National Monuments Service and the local planning authority archaeologist.

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1. INTRODUCTION

The purpose of this report is to assess the importance and sensitivity of the known, as well as the potential archaeological, architectural and cultural heritage environment for a proposed 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork. This study was undertaken for Tead Mead Solar Ltd by Rubicon Heritage Services Ltd.

1.1 Planning Context

In response to a clarification on a declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010 on 13th November 2024, Cork County Council considered that the information submitted with the Section 5 Declaration application was insufficient to enable the Planning Authority to make a determination in this case. The applicant was requested to submit the following further information:

1. An Archaeological Impact Assessment shall be prepared by a suitably qualified archaeologist of the development site. This archaeological assessment should:
 - examine the known and predicted archaeological environment.
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc) © evaluate the proposed development in terms of the impact (direct and indirect) of the
 - proposed works on existing or predicted archaeology.
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage.
2. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including postmedieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.
3. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
4. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service

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1.2 Site Description and Location

The proposed development is situated east of Cork City, in the townlands of Carrigshane, Coppingerstown, Tead Beg and Tead More (Figure 1). The nearest urban settlement is the town of Middleton, the centre of which is c.2 km north-west of the existing 38kV substation at Carrigshane.

The proposed development comprises a 20kV underground and overhead grid connection from the permitted Tead More Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork (see Figure 4). The proposed overhead lines will also include 23 poles including cable end poles (EP), light angle poles (LAP), intermediate poles (IMP), medium (MAP) and heavy (HAP) angle poles.

From the Carrigshane substation, the proposed underground grid connection will be buried for a short section of just 8.34m in potentially undisturbed ground before meeting the first section of proposed overhead line. This section of the proposed overhead line will run south of Carrigshane substation for approximately 1.4km, crossing through private land within the townland of Carrigshane and Coppingerstown. A second section of the proposed overhead line will run south for approximately 690m through private within the townland of Tead More.

The proposed overhead lines will be connected by a section of proposed underground grid connection. This section will be buried within potentially undisturbed and private ground in Coppingerstown for c.157m, before being buried along the L3625 road for c.442m in disturbed ground. The proposed works will include a joint bay (01) situated along the L3625. It will proceed south from this road for a further c.143m within potentially undisturbed ground, where it will connect to the second overhead line.

The final section of the proposed underground grid connection will be buried at the Tead More Solar Park for c.300m in potentially undisturbed ground. It will run from the end of overhead line, and will connect with the substation building, proposed under Pl. Ref No. 245276, as part of the permitted Tead More Solar Park.

The landscape through which the proposed cable route crosses is largely one of gently undulating arable and pastureland (20–100 m OD), with most of the fields still given over to farming.

1.3 Study Area

The study area for this assessment has been defined in respect of two factors:

- the ability of sites/information sources to provide information pertaining to the archaeological potential of the proposed development site, and
- the potential physical effects, as well as effects on setting, that the proposed works may have on sites of cultural heritage significance.

Taking these factors into account the study area has been defined as follows (See Table 1):


Subject	Study Area
National Monuments and Recorded archaeological monuments (RMPs)	Within 250 m of the proposed 20kv underground and overhead grid connection.
Protected Structures and/or their curtilage	Within 250 m of the proposed 20kv underground and overhead grid connection.



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Subject	Study Area
Architectural Conservation Areas (ACAS)	Within 250 m of the proposed 20kv underground and overhead grid connection.
Structures recorded in the NIAH	Within 250 m of the proposed 20kv underground and overhead grid connection.
Zones of Archaeological Potential	Within the proposed development footprint
Unregistered features of cultural heritage	Within the proposed development footprint
Areas of archaeological potential; Unregistered Cultural Heritage Receptors (UCH)	Within the proposed development footprint
Previous Excavations and National Museum Topographical Files	Within 250 m of the proposed 20kv underground and overhead grid connection.

Table 1 – Dimensions of the study area

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2. OBJECTIVES AND METHODOLOGY

2.1 Objectives


This study aims to assess the baseline archaeological, architectural and cultural heritage environment, evaluate potential effects that the proposed works will have on this environment, and provide mitigation measures in accordance with the policies of the National Monuments Service, the Department of Housing, Local Government and Heritage (DoHLGH) and Cork County Council, the National Monuments Act 1930–2014, as amended, and best practice guidelines, to avoid, reduce or offset these effects.

Cultural heritage (CH) includes artefacts, monuments, groups of buildings, sites, and museums that have a diversity of values including symbolic, historic, artistic, aesthetic, ethnological or anthropological, scientific and social significance. It includes tangible heritage (movable, immobile and underwater), intangible cultural heritage (ICH) embedded into cultural, and natural heritage artefacts, sites or monuments. The definition excludes ICH related to other cultural domains such as festivals, celebration etc. It includes industrial heritage and cave paintings (UNESCO 2009).

In order to provide a comprehensive assessment, an extensive desktop study in addition to a field inspection of the proposed development area was undertaken.

The scope and methodology for the baseline assessment has been devised with reference to the following guidelines:

- Environmental Protection Agency (2022) *Guidelines on the information to be contained in Environmental Impact Statements*
- TII (2024) *Guidelines for Cultural Heritage Impact Assessment of TII National Road and Greenway Projects*
- Department of Arts, Heritage, Gaeltacht and the Islands (DAHGI) (1999) *Frameworks and Principles for the Protection of the Archaeological Heritage*
- Environmental Protection Agency (2003; Draft 2015) *Advice notes on current practice (in the preparation of Environmental Impact Statements)*
- *Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment* (Department of Housing Local Government and Heritage 2018)
- Department of the Environment, Heritage and Local Government (2011) *Architectural Heritage Protection Guidelines for Planning Authorities*
- Eirgrid (2015) *Cultural Heritage Guidelines for Electricity Transmission Projects. A stand approach to archaeological, architectural and cultural heritage impact assessment of high voltage transmission projects.*
- National Monument Service (2016) – Solar Farm developments; Internal Guidance Documents
- Chartered Institute for Archaeologists (CIfA 2020) *Standard and Guidance for Commissioning Work or Providing Consultancy Advice on Archaeology and the Historic Environment*
- Department of Housing, Local Government and Heritage (2022) *Heritage Ireland 2030 A framework for Heritage*

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2.2 Desktop Study Methodology

The present assessment of the archaeological, architectural, and cultural heritage of the proposed development area is based on a desktop study of a number of documentary and cartographic sources. The desktop study was further augmented by an examination of aerial photography as well as a field survey. The main sources consulted in completing the desktop study are listed here:

- List of National Monuments in State Care: Ownership & Guardianship
- List of Preservation Orders and the Register of Historic Monuments
- Record of Monuments and Places (RMP)
- Files of the Sites and Monuments Record (SMR)
- Updated SMR available at www.archaelology.ie
- National Inventory of Architectural Heritage (NIAH) Building Survey
- County and Town Development Plans
- Irish Antiquities Division, National Museum of Ireland Topographical Files
- Urban Archaeological Surveys
- Ordnance Survey first and subsequent editions, www.osi.ie
- Ordnance Survey Name books / Letters / Memoirs
- National Folklore Collection
- Early maps and estate maps
- Aerial photographs
- Excavations Bulletin (www.excavations.ie)
- www.loganim.ie (for townland names)

2.3 Field Inspection Methodology


A field inspection of the proposed development site was undertaken by Shirley Clot of Rubicon Heritage Services Ltd on 13th of December 2024 (Plates 1–13).

The primary purpose of a field inspection is to assess the site in order to identify any potential low-visibility archaeological and/or historical sites or other elements that are not currently recorded and which may be impacted upon negatively by the proposed development. It is also the purpose of the field inspection to survey any known monuments or sites and to consider the relationship between them and the surrounding landscape, all of which need to be considered during the assessment process.

The methodology used during the field inspection involved recording the present land use as well as the existing topography for the entire area comprising the proposed development site. A photographic record and written description were compiled for any known and/or potential sites of archaeological, architectural and/or cultural significance.

2.4 Methodology Used for Assessing Baseline Value of Sites

In order to categorise the baseline environment in a systemised manner, ‘baseline values’ have been assigned to each identified site of cultural heritage significance and/or potential within the study area (see Section 1.2). The baseline value of a site is determined with reference to the ‘importance’ and ‘sensitivity’ of the site.

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The importance of a site is determined based on the following criteria: legal status, condition, historical associations, amenity value, ritual value, specimen value, group value and rarity.

The sensitivity of a site is determined based on the presence of extant remains and/or the potential for associated sub-surface remains of the feature to be present *in situ*.


It should be noted that the National Monuments Act 1930–2014, as amended does not differentiate between recorded archaeological sites on the basis of relative importance or sensitivity. In addition, the Planning and Development Act 2000 (as amended) does not differentiate between Protected Structures or Areas of Architectural Conservation on the basis of relative importance or sensitivity either. Consequently, professional judgement has been exercised to rate these features based on their perceived importance and sensitivity in relation to physical effects and effects on setting.

Taking the above factors into consideration, the criteria that have been defined are provided in Table 2 below.

Subject	Baseline Value
<ul style="list-style-type: none"> - Recorded Archaeological Monuments - Protected Structures - Architectural Conservation Areas (ACAs) 	Very High
<ul style="list-style-type: none"> - Sites listed in the NIAH that are not Protected Structures - Unregistered built heritage sites that comprise extant remains which are in good condition and/or which are regarded as constituting significant cultural heritage features - Unrecorded features of archaeological potential 	High
<ul style="list-style-type: none"> - Unregistered built heritage sites that comprise extant remains which are in poor condition - Unregistered cultural heritage sites (not including built heritage sites) that comprise extant remains - Townland boundaries that comprise extant remains - Marshy/wetland areas 	Medium/High
<ul style="list-style-type: none"> - Unregistered cultural heritage sites for which there are no extant remains but where there is potential for associated subsurface evidence - Townland boundaries for which there are no extant remains 	Medium/Low
<ul style="list-style-type: none"> - Unregistered cultural heritage sites for which there are no extant remains and where there is little or no potential for associated subsurface evidence 	Low

Table 2 – Baseline values of sites

Caution should be exercised when assessing the perceived significance of an archaeological, architectural or cultural heritage site as such categorisation is open to subjectivity. In addition, the perceived levels of importance as identified in this report are liable to future revision in the instance where new information, through the undertaking of further archaeological investigations, is provided.

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2.5 Type of Effects

The following table lists the type of effects that a proposed development may have on the cultural heritage resource (after Environmental Protection Agency 2022):

Type of Effects	Definition
Direct	Direct effects arise where an archaeological, architectural and/or cultural heritage feature or site is physically located within the footprint of the proposed development, or its associated physical effect zone, whereby the removal of part, or all of the feature or site is thus required.
Indirect	Indirect effects arise when an archaeological, architectural or cultural heritage feature is not located within the footprint of the proposed development, or its associated physical effect zone, and thus is not effected directly. Such an effect could include effect on setting or effect on the zone of archaeological potential of site whereby the actual site itself is not physically affected.
Do-nothing effects	The environment as it would be in the future should the subject project not be carried out.
Worst-case Effects	The effects arising from a project in the case where mitigation measures substantially fail.
Cumulative	The addition of many minor or insignificant effects, including effects of other projects, to create larger, more significant effects
Indeterminable	Whereby the full consequence that the proposed development may have on the cultural heritage resource is not known
Irreversible Effects	When the character, distinctiveness, diversity or reproductive capacity of an environment is permanently lost.
Residual	The degree of environmental change that will occur after the proposed mitigation measures have taken effect.
Synergistic Effects	Where the resultant effect is of greater significance than the sum of its constituents

Table 3 – Type of effects

2.6 Methodology Used for Assessing Magnitude of Effects

The methodology used to assess the magnitude of potential pre-mitigation effects, as well as residual effects, of the proposed development on the baseline environment is presented in Table 4 below.

Effect Magnitude	Criteria
Profound	<ul style="list-style-type: none"> An effect which obliterates sensitive characteristics Applies where mitigation would be unlikely to remove adverse effects. Reserved for adverse effects only. These effects arise where an archaeology site is completely and irreversibly destroyed. An effect that obliterates the architectural heritage of a structure or feature of national or international importance. These effects arise where an architectural structure or feature is completely and irreversibly destroyed by the proposed development. Mitigation is unlikely to remove adverse effects.



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Effect Magnitude	Criteria
Very Significant	<ul style="list-style-type: none">• An effect which, by its character, magnitude, duration or intensity, significantly alters most of a sensitive aspect of the environment.
Significant	<ul style="list-style-type: none">• An effect which, by its magnitude, duration or intensity, alters an important aspect of the environment. An effect like this would be where part of a site would be permanently effected, leading to a loss of character, integrity and data about an archaeological feature/site.• An effect that by its magnitude, duration or intensity alters the character and/or the setting of the architectural heritage. These effects arise where an aspect or aspects of the architectural heritage is/are permanently effected leading to a loss of character and integrity in the architectural structure or feature. Appropriate mitigate is likely to reduce the effect.• A beneficial or positive effect that permanently enhances or restores the character and/or setting of a feature of archaeological or cultural heritage significance in a clearly noticeable manner.
Moderate	<ul style="list-style-type: none">• An effect that alters the character of the environment in a manner that is consistent with existing and emerging baseline trends.• A medium effect arises where a change to a site/monument is proposed which though noticeable, is not such that the archaeological integrity of the site is compromised, and which is reversible. This arises where an archaeological feature can be incorporated into a modern-day development without damage and that all procedures used to facilitate this are reversible.• A medium effect to a site/monument may also arise when a site is fully or partly excavated under license and all recovered data is preserved by record.• An effect that results in a change to the architectural heritage which, although noticeable is not such that alters the integrity of the heritage. The change is likely to be consistent with existing and emerging trends. Effects are probably reversible and may be of relatively short duration. Appropriate mitigation is very likely to reduce the effect.• A beneficial or positive effect that results in partial or temporary enhancement of the character and/or setting of a feature of archaeological or cultural heritage significance in a clearly noticeable manner.



Effect Magnitude	Criteria
Slight	<ul style="list-style-type: none"> An effect which causes noticeable changes in the character of the environment without affecting its sensitivities An effect which causes changes in the character of the environment, such as visual effect, which are not high or very high and do not directly effect or affect an archaeological feature or monument. An effect that causes some minor change in the character of architectural heritage of local or regional importance without affecting its integrity or sensitivities. Although noticeable, the effects do not directly effect the architectural structure or feature. Effects are reversible and of relatively short duration. Appropriate mitigation will reduce the effect. A beneficial or positive effect that causes some minor or temporary enhancement of the character of an architectural heritage significance which, although positive, is unlikely to be readily noticeable.
Not-significant	<ul style="list-style-type: none"> An effect which causes noticeable changes in the character of the environment but without significant consequences.
Imperceptible	<ul style="list-style-type: none"> An effect on archaeological features or monument capable of measurement but without significant consequences. An effect on architectural heritage of local importance that is capable of measure merit but without noticeable consequences. A beneficial or positive effect on architectural heritage of local importance that is capable of measurement but without noticeable consequences.

Table 4 – Criteria used for rating magnitude of effects

Positive significance level of a construction or operation effect on a feature may also be expressed.

- **Significant positive:** a beneficial effect that permanently enhances or restores the character and/ or setting of the architectural heritage in a clearly noticeable manner;
- **Moderate positive:** a beneficial effect that results in partial or temporary enhancement of the character and/ or setting of the architectural heritage and which is noticeable and consistent with existing and emerging trends;
- **Slight positive:** a beneficial effect that causes some minor or temporary enhancement of the character of architectural heritage or local or regional importance which, although positive, is unlikely to be readily noticeable; and
- **Imperceptible positive:** a beneficial effect on architectural heritage of local importance that is capable of measurement but without noticeable consequences.

2.7 Assessing the Duration and Frequency of Effect

‘Duration’ is a concept that can have different meanings for different topics. The EPA (2022) has issued the below guideline definitions when discussing duration in the context of environmental impact assessment.

Term	Criteria
Momentary Effects	Effects lasting from seconds to minutes



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Term	Criteria
Brief Effects	Effects lasting less than a day
Temporary Effects	Effects lasting less than a year
Short-term Effects	Effects lasting 1–7 years
Medium-term Effects	Effects lasting 7–15 years.
Long-term Effects	Effects lasting 15–60 years.
Permanent Effects	Effects lasting over 60 years.
Reversible Effects	Effects that can be undone, for example through remediation or
Frequency of Effects	Describe how often the effect will occur (once, rarely, occasionally, frequently, constantly – or hourly, daily, weekly, monthly, annually).

Table 5 – Duration and frequency of effect

2.8 Methodology Used for Assessing Significance Level of Effects

The significance level of a construction or operation effect on a feature is assessed by combining the magnitude of the effect and baseline value of the feature. The matrix in Table 6 provides a guide to decision-making but is not a substitute for professional judgement and interpretation, particularly where the baseline value or effect magnitude levels are not clear or are borderline between categories. The permanence of the effects is also taken into account, with irreversible effects being more significant while temporary or reversible changes are likely to be less significant.

Magnitude of Effect	Baseline Value				
	Very High	High	Medium/High	Medium/Low	Low
Profound	Very significant	Very significant	Significant	Moderate	Slight
Very Significant	Significant	Significant	Moderate	Slight	Slight
Significant	Significant	Moderate	Moderate	Slight	Slight
Moderate	Moderate	Moderate	Slight	Slight	Negligible
Slight	Moderate	Slight	Slight	Negligible	Negligible
Not Significant	Slight	Slight	Imperceptible	Imperceptible	Imperceptible
Imperceptible	Imperceptible	Imperceptible	Imperceptible	Imperceptible	Imperceptible

Table 6 – Criteria for assessing significance level of effects

2.9 Assessing Effects on Setting

The definition of setting follows the guidance set by Historic England as they have developed a range of comprehensive guidance on this subject specific to heritage assets (Historic England; 2008; 2017). Hence setting is not simply the visual envelope of the asset in question. Rather, it is those parts of the asset’s surroundings that are relevant to the significance of the asset and the appreciation thereof, and in which a heritage asset is experienced.

In most instances setting will relate to the historical value of the asset, where an appreciable relationship between the asset and an element of its surroundings helps the visitor understand and appreciate the asset. This may be in terms of a physical relationship, such as between a castle and the natural rise that



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it occupies, or a more distant visual relationship, such as a designed vista or the view from, for example, one ringfort to another. The former is referred to as immediate setting and the latter as landscape setting. Many assets will only have an immediate setting. Some assets will have aesthetic value that relates to the surrounding landscape, such as in the case of a designed view incorporating a distant hill, or that relates to the contribution the asset makes to the local landscape, for example a church spire providing a focal point in a view down a valley.


Historic England has provided a list of factors to be considered when assessing effects upon setting. These are broad factors and have been taken into consideration when assessing magnitude of effect and sensitivity. They are summarised in Table 7.

Factor	Discussion
Visual dominance	Where an historic feature (such as a hilltop monument or fortification, a church spire, or a plantation belonging to a designed landscape) is the most visually dominant feature in the surrounding landscape, adjacent construction of the proposed development may be inappropriate.
Scale	The extent of a proposed development and the number, density and disposition of its associated elements will also contribute to its visual effect.
Intervisibility	Certain archaeological or historic landscape features were intended to be seen from other historic sites. Construction of a proposed development should respect this intervisibility.
Vistas and sight-lines	Designed landscapes invariably involve key vistas, prospects, panoramas and sight-lines, or the use of topography to add drama. Location of a proposed development within key views, which may often extend beyond any designated area, should be avoided.
Movement, sound or light effects	The movement associated with a proposed development may be a significant issue in certain historic settings. Adequate distance should always be provided between important historic sites and proposed developments to avoid the site being overshadowed or affected by noise.
Unaltered settings	The setting of some historic sites may be little changed from the period when the site was first constructed, used or abandoned. Largely unaltered settings for certain types of sites, particularly more ancient sites, may be rare survivals and especially vulnerable to modern intrusions such as wind turbines. This may be a particular issue in certain upland areas.

Table 7 – Factors to be considered when assessing effects upon setting (after Historic England 2017)

The following are guides to the assessment of magnitude of effect on setting:

- Obstruction of or distraction from key views. Some assets have been sited or designed with specific views in mind, such as the view from a country house with designed vistas. The obstruction or cluttering of such views would reduce the extent to which the asset could be understood and appreciated by the visitor. Developments outside key views may distract from them and make them difficult to appreciate on account of their prominence and movement. In such instances the magnitude is likely to be greatest where views have a particular focus or a strong aesthetic character. Sympathetic development may improve key views by removing

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features that obstruct or distract from key views and hence preserve or enhance the importance of the asset.

- Changes in prominence. Some assets are deliberately placed in prominent locations in order to be prominent in the surrounding landscape, for example prehistoric cairns are often placed to be silhouetted against the sky and churches in some areas are deliberately placed on ridges in order to be highly visible. Developments can reduce such prominence and therefore reduce the extent to which such sites can be appreciated or the contribution that they make to the local landscape. Similarly, sympathetic development can enhance the setting of such sites by, for example, removing modern forestry that would otherwise compromise the setting of a cairn that had been placed on a skyline.
- Changes in landscape character. A particular land use regime may be essential to the appreciation of an asset's function, for instance the fields surrounding an Improvement period farmstead are inextricably linked to its appreciation. Changes in land use can leave the asset isolated and reduce its value. In some instances, assets will have aesthetic value or a sense of place that is tied to the surrounding landscape character. Conversely, sympathetic development may restore or preserve the relevant land use and hence preserve or enhance the relevant value of the asset.
- Duration of effect. Effects that are long term or permanent are generally of greater magnitude than those that are short term.

Readily reversible effects are generally of lesser magnitude than those that cannot be reversed. Effects upon the defined setting will be of greater magnitude than those that affect unrelated elements of the asset's surroundings or incidental views to or from an asset that are unrelated to the appreciation of its value. The magnitude of effects can be rated from Negligible to Major using a similar scale to that for physical effects.

2.10 Legislation, Planning Policy and Guidance

A review of the applicable legislation, as well as national, strategic and local planning policies and guidance was undertaken as part of this study. The relevant sections addressing archaeological, architectural and cultural heritage in the County Cork Development Plan (2022–2028) are included in Appendix 5. Any mitigation measures proposed in Section 5 take account of the current legislation, policies and guidelines so as to avoid, reduce or offset effects on the archaeological, architectural and cultural heritage environment, in line with the aforementioned legislation, local planning policies and guidance.

2.11 Limitations of this Assessment

There were no difficulties or limitations encountered during the compilation of this report.



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3. BASELINE/RECEIVING ENVIRONMENT

3.1 Designated Archaeological Sites

3.1.1 Record of Monuments and Places (RMPs)

Section 12 (1) of the National Monuments Act 1994 made provision the establishment and maintenance of a Record of Monuments and Places (RMP). Under this Act, each site recorded in the Record of Monuments and Places is granted statutory protection. When the owner or occupier of a property, or any other person proposes to carry out, or to cause, or to permit the carrying out of any work at or in relation to a recorded archaeological monument they are required to give notice in writing to the Minister for Housing, Local Government and Heritage two months before commencing that work.

There is one RMP (CH001) located within the study area (see Section 1.2) for the proposed scheme (Table 8). It is located 177 m south from the very southern end of the proposed grid connection (see Plate 13). The proposed development does not cross the statutory zones of notification of the RMP.

CH ID	Type	RMP No;	Short Description	Townland
CH001	RMP	CO076-057----	Ringfort - rath	TEAD MORE

Table 8 – RMPs located within the study area

3.1.2 National Monuments

National Monuments are broken into two categories; National Monuments in the ownership or guardianship of the state and National Monuments in the ownership or guardianship of a local authority. Section 8 of the National Monuments (Amendment) Act 1954 provides for the publication of a list of monuments, the preservation, of which, are considered to be of national importance. Two months' notice must be given to the Minister for Housing, Local Government and Heritage where work is proposed to be carried out at or in relation to any National Monument.

There are no National Monuments sites incorporated by the study area (see Section 1.2).


3.1.3 Sites with Preservation Orders

The National Monuments Act 1930–2014 as amended provide for the making of Preservation Orders and Temporary Preservation Orders in respect of National Monuments. Under Section 8 of the National Monument Act 1930 (as amended) the Minister for Housing, Local Government and Heritage, can place a Preservation Order on a monument if, in the Ministers' opinion, it is a National Monument in danger of being or is actually being destroyed, injured or removed or is falling into decay through neglect. The Preservation Order ensures that the monument shall be safeguarded from destruction, alteration, injury, or removal, by any person or persons without the written consent of the Minister.

There are no sites with preservation orders incorporated by the study area (see Section 1.2).

3.1.4 Record of Protected Structures

The Cork County Development Plan (2022–2028) was consulted for schedules of Protected Structures. These are buildings that a planning authority considers to be of special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social, and/or technical point of view. Protected Structures receive statutory protection from injury or demolition under Section 57 (1) of the Local Government (Planning and Development) Act 2000. Protected structure status does not exclude

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development or alteration but requires the developer to consult with the relevant planning authority to ensure that elements which make the structure significant are not lost during development.

If a structure is included in the RPS, the protection extends to:

- The interior of the structure
- The land in its curtilage. Curtilage means the land and outbuildings immediately surrounding a structure which is (or was) used for the purposes of the structure.
- Any other structures on that land and their interiors.
- All fixtures and features forming part of the interior and exterior of the protected structure or any structure on the grounds attached to it.

Inclusion of these structures in the RPS means that their importance is recognised, they are legally protected from harm and all future changes to the structure are controlled and managed through the development control process (e.g. planning permission) or by issuing a declaration under Section 57 of the Planning and Development Act 2000.

There are no Protected Structures located within the study area (see Section 1.2).

3.2 Designated Architectural Heritage Sites

In 1997 Ireland ratified the Granada Convention on architectural heritage. This provided the basis for a national commitment to the protection of the architectural heritage throughout the country. The Local Government (Planning and Development) Act 2000, and the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999, made the legislative changes necessary to provide for a strengthening of the protection of architectural heritage.

3.2.1 Architectural Conservation Areas


The Cork County Development Plan (2022–2028) was consulted for records relating to Architectural Conservation Areas (hereinafter 'ACAs'). The stated objective of ACAs is to conserve and enhance the special character of the area, including traditional building stock and material finishes, spaces, streetscapes, landscape and setting.

There are no ACAs within the study area (see Section 1.2).

3.2.2 National Inventory of Architectural Heritage (NIAH)

The National Inventory of Architectural Heritage (hereinafter the 'NIAH') is a state initiative under the administration of the DoHLGH and was established on a statutory basis under the provisions of the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999. Its purpose is to identify, record and evaluate the post-1700 architectural heritage of Ireland, uniformly and consistently, as an aid in the protection and conservation of the built heritage. NIAH surveys provide the basis for the recommendations of the Minister for Housing, Local Government and Heritage to the planning authorities for the inclusion of particular structures in their Record of Protected Structures (RPS).

There are no sites from the NIAH register located within the study area (see Section 1.2).

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3.3 Undesignated Cultural Heritage Sites within the Proposed Development Site

This section deals with sites that are considered to be of cultural heritage value, but which do not fall within the above categories as they are not registered. Such sites may include lime kilns, dwellings/outhouses, trackways or townland boundaries etc. identifiable on the First Edition 6/25-inch OS maps and/or noted during the field visit.

3.3.1 Sites identifiable on cartographic sources

The cartographic record for the study area was examined for the purposes of this report (Figures 5, 6 and 7). The First Edition 6-inch Ordnance Survey Sheet (1845), The Second Edition 6-inch Ordnance Survey Sheet (1902), First Edition 25-inch Survey (1900) and the First Edition 6-inch Cassini Survey (c. 1933) were consulted to identify undesignated cultural heritage sites that may be impacted on by the proposed scheme. While the general layout of this field system has remained the same, after the mid-19th century some older field boundaries have been cleared. A small number of buildings, likely representing houses and farms fall within the 250m area but do not fall within the footprint of the development. A roadside well, CH002, can be seen on the First Edition 25-inch map (1897–1913) and falls within the footprint of the development (see Plates 8–9, Figure 5). It is depicted as being on the northern side of the local road, and within the boundary of the road, presumably located in the northern verge. A site inspection of the marked location of the well could not locate it. This is the only unregistered cultural heritage receptor located within the study area (see Table 9).

CH ID	Type	ID No.	Short Description	Townland
CH002	Cartographic Source	UCH01	Well	Tead Beg

Table 9 – Unregistered Cultural Heritage receptors located within the study area

3.3.2 Townland boundaries

A townland is the smallest official land unit in the country. Ireland is made up of approximately 60,000 townlands. As a result, townland boundaries are ubiquitous in the Irish countryside and have been incorporated into the modern agricultural landscape. Many townlands predate the arrival of the Anglo Normans, and Irish historical documents consistently use townland names throughout the historic period to describe areas and locate events accurately in their geographical context. This suggests that many the boundaries of many of these territorial units preserve landscape divisions from the medieval period and perhaps earlier. The townland names and boundaries were standardised in the nineteenth century when the Ordnance Survey began to produce large-scale maps of the country. Research into the name of these land units frequently provides information relating to its archaeology, history, folklore, ownership, topography or land use.

The First Edition 6-inch Ordnance Survey was consulted in order to identify the location of townland boundaries that may be affected on by the proposed scheme. The proposed overhead grid connection crosses the townland boundary between Carrigshane and Coppingerstown (CH003). In addition, the proposed underground grid connection crosses the townland boundary Coppingerstown, Tead More and Tead Beg (see Plates 7 and 10) (CH005), which is formed by the existing L3625 (See Table 9Table 10).

CH ID	ID No.	Short Description	Townland
CH003	TB01	Townland Boundary	Carrigshane/Coppingerstown
CH005	TB02	Townland Boundary	Coppingerstown /Tead More/Tead Beg


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Table 10 – Townland boundaries located within the development area

3.3.3 Sites identifiable on aerial photography and satellite imagery

Ortho-rectified aerial photography available from the Ordnance Survey of Ireland was inspected in order to identify possible features of cultural and heritage significance. Aerial photography from the 1995, 2000, and 2005 fly-overs was inspected, as well as the latest *Tailte Éireann* images, LiDAR imagery (where available), Google Earth and Bing Maps satellite imagery.

No additional undesignated cultural heritage sites were identified on other aerial photography and satellite imagery within the proposed development site.

3.3.4 Sites identified during field inspection

The proposed development site and surrounding lands were inspected by Shirley Clot of Rubicon Heritage during December 2024. No additional sites or features of Archaeological, Architectural and Cultural Heritage significance were identified.

3.3.5 Areas of Archaeological Potential

Areas of archaeological potential (AAPs) are additional areas or locations whose landscape characteristics suggest a higher potential for unknown archaeological features to be present e.g. riverine, estuarine or peatland environments. There are no additional areas of archaeological potential.

3.4 Archaeological and Historical Background

The paragraphs below outline the archaeological and historical background for the proposed development site and the surrounding landscape.


3.4.1 Prehistoric period

While no prehistoric sites have been identified within the study area, there is abundant evidence for prehistoric settlement in Co. Cork including the wider surrounding landscape. For example, there is a *fulacht fiadh* (CO076-056---) located c. 630 m southwest of the proposed grid connection in the townland of Carrigagour. Radiocarbon dating from excavated examples of *fulachtaí fiadh* generally date them to the Bronze Age (Brindley and Lanting 1990, 55–6). *Fulacht fiadh* generally survive as low mounds, usually horseshoe shaped, of charcoal-enriched soil packed with fragments of heat-shattered stones (termed ‘burnt mound’). When levelled, they are often noticeable as black spreads in ploughed fields. They are usually situated close to a water source, like a stream, or in wet marshy areas (Ó Drisceóil 1988). The most common interpretation for the function of this monument is as cooking places. However, a number of alternative functions have been put forward such as bathing, saunas, garment washing and dyeing (Hawkes 2018).

3.4.2 Medieval period (AD 400–1540)

The early medieval period (AD 400 – c. 1169) was a time of rapid expansion of agriculture. Throughout this period Ireland was a predominantly rural society characterised by dispersed settlement. The economy was based on mixed agriculture, though the rearing of cattle was seen as very important. Ringforts and enclosures are indicative of settlement at this time.

To the south within the study area, located c.130m from the footprint of the underground cable network, a ringfort (CH001) remains extant. Ringforts are undoubtedly the most widespread and

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characteristic archaeological field monument in the Irish countryside. There is one known with the study which is The undated enclosure within the site may also be early medieval in date. They are usually known by the names *ráth* or *lios*, forming some of the most common placename elements in the countryside. The ringfort is basically a circular or roughly circular area enclosed by an earthen bank formed of material thrown up from concentric fosse (ditch) on its outside. Generally, the diameter of the enclosure is between 25 m and 50 m. A single bank and fosse (univallate) is the most usual form; double rings (bivallate) or triple rings (trivallate) are rarer. The number of rings of defence are thought to reflect on the status of the site, rather than the strengthening of its defences. These sites have endured centuries of erosion, reuse and sometimes deliberate destruction and it is not always possible to distinguish original features; the overgrown nature of many sites compound the problem of field recording. However, entrances may be detected where a clear break in the bank is in line with an uncut causeway over the fosse. Souterrains are often found in association with ringforts (Power 1992, 131).

Archaeological excavation has shown that the majority of ringforts were enclosed farmsteads, built in the early medieval period. Though not forts in the military sense, the earthworks acted as a defence against natural predators like wolves, as well as human predators. Local warfare and cattle raiding were commonplace at this time. The construction of so many throughout the country, in a relatively short period (400–500 years), reflects on the stability and wealth of society at the time, and also its homogeneity. As well as farming-related activities like corn-grinding and animal husbandry, the ringfort was home to a wide variety of craft industries, including spinning, weaving, metal- and glass-working. A limekiln was also record in association with ringfort. Dwellings and outhouses were built on timber posts, with walls of wattle, mud or sods, which usually leave no trace above ground today. Excavation can trace the remains of these structures by revealing features like post-holes, stake-holes and sunken hearths. The favoured locations for ringforts are on the shoulder of ridges or at breaks of slopes. Many have level interiors created by scarping-up on the downslope and cutting into the upslope. The enclosing element can change dramatically from a downslope scarped edge to a well-defined bank and fosse on the upslope. Thus sited, they are often overlooked close-in on one side but otherwise command an extensive view (Power 1992, 131).

3.4.3 *Post-medieval (AD 1540–1700) & early modern period (AD 1700–1850)*

By the 1660s there was a centralisation of English power in Ireland which led to the emergence of the estate system. Settlements were re-organised and cash crops alongside the staples were necessary for subsistence. In the sixteenth and seventeenth century, the ownership of large areas of the country were forcefully redistributed to English ‘planters’ and others (O’Reilly and Murray 2005). In the 18th century towns such as Cork saw considerable increased commercial activity (Mc Bride 2009, 230). However, the 1840s, Ireland saw catastrophic famine. In the late 19th century land was sub-divided into ever smaller subsistence farms, as well as the farming of previously marginal land. The farmhouses, farm buildings, and field patterns of the post-plantation era remain a key part of the cultural landscape of rural Ireland (O’Reilly and Murray 2005).

A roadside well CH002, can be seen on the First Edition 25-inch map (1897–1913). It is shown situated close to building of likely of domestic occupation. The roadside location of the well would suggest it was publicly accessibility. There are no key indicators that this well was a holy well, such as annotation on the historic mapping, no locally situated church and no placenames to indicate such a function. However, holy wells can be situated alongside roads and can range from more ephemeral hollowed out stones to build shrine complexes. The number of holy wells in the local townships is notably low



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in comparison to other areas of Co. Cork, which could either indicate either a low level of construction or a higher level of abandonment and destruction in this area. Holy wells may have prehistoric origins; however, they are largely believed to be in use from the medieval period (5th-16th centuries AD) onwards, being well established by the 17th century and declining in use by the mid-19th century (The Heritage Council, 2023).

3.5 Toponymy of Townland/s

The Irish landscape is divided into approximately 60,000 townlands and the system of landholding is unique in Western Europe for its scale and antiquity. Many townlands predate the arrival of the Anglo Normans, and Irish historical documents consistently use townland names throughout the historic period to describe areas and locate events accurately in their geographical context. The townland names and boundaries were standardised in the nineteenth century when the Ordnance Survey began to produce large-scale maps of the country. The original Irish names were eventually anglicised to varying degrees, depending in part upon the linguistic skills of the surveyors and recorders. A study of the townland names can provide information on aspects of cultural heritage including descriptions of the use of the landscape by man and the potential presence of archaeological or cultural heritage sites or features.

There are seven townlands within the study area (see Section 1.2; Table 11). All the placenames with the exception of Coppingerstown, make reference to details of the local topography.


English Name	Irish Name	Glossary
Carrigshane	<i>Carraig Shiáin</i>	Rock; Fairy mound
Whiterock	<i>An Charraig Bhán</i>	Rock; white, Lea-ground, grassy
Tead Beg	<i>An Téad Bheag</i>	A piece of string for measuring; Small
Coppingerstown	<i>Baile an Choipinéaraigh</i>	Townland, town, homestead
Tead More	<i>An Téad Mhór</i>	Great, big, Smooth Hill
Gearagh	<i>Gaothrach</i>	Woodland
Carrigagour	<i>Carraigin an Ghabhair</i>	Goat Rock

Table 11 – Townland placename evidence (after Irish Placenames Committee 2013)

3.6 Intangible Heritage/Irish Folklore Commission

Cultural Heritage is a broad term that includes Archaeological Heritage, Built Heritage, Portable Heritage, and other resources inherited from the past by contemporary society. It consists of the tangible and intangible traces of the interactions between people and places, people and nature and people and objects through time (TII 2022, 8). One of the products of this work was the Main Manuscript collection, which contains folklore record by folklore collectors across Ireland. Another was the Schools' Collection, which are a compilation of folklore and local traditions collected by pupils of 5,000 primary schools. The children collected this material from family members and neighbours (Dúchas 2023).

Schools in the nearby town of Midleton took part in the School's Collection. While there is mention of monuments in these collections, there are no direct reference to monuments within the study area. However, the School's Collection gathered from *Mainistir na Corann* National School, *Clochar Na Toirbhirte* and *Scoil na mBrathair* reflect the common folklore surrounding monuments. For example, an

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entry from a Henry Smyth of Mainistir na Corann National School provides details on fairy forts (Daunt 1937–1938, 257). The entry states there are ‘many fairy forts in the school district’ which could generally include the single ringfort (CH001) within Tead More in the study area (Daunt 1937–1938, 257). The entry records that it is bad luck to interfere with a fairy fort (*ibid*). It also states that they were used to guard animals and to protect treasure from the Danes (Daunt 1937–1938, 257–258). This folklore preserve the intangible way people in the early 20th century interacted with these forts. These beliefs would have influenced the way the single ringfort (CH001) within the study area was viewed and interacted with.


3.7 Recent Excavations

The Excavations Bulletin is an annual account of all excavations carried out under license. The database is available online at www.excavations.ie and includes excavations from 1969 to 2024. This database was consulted as part of the desktop research for this report to establish if any archaeological investigations had been carried out within the study area (see Section 1.2). The database produced only one result for archaeological excavation undertaken within the study area (CH004) (Appendix 6). The excavation revealed an undated enclosure within the footprint of the permitted Tead More Solar Park (Pl. Ref. 16/06302).

A geophysical survey and trial trenching (CH004) were performed in advance of the construction of the permitted Tead More Solar Park (Pl. Ref. 16/06302) (Figure 3, Appendix 6) (Elliot 2017, Cummins 2017). This was undertaken by John Cronin and Associates under Licence No. 17E0082. Within the current development, the proposed southern section of underground grid connection runs along the northern side of the Tead More Solar Park (Pl. Ref. 16/06302) and passes along the northern boundary of the area previously investigated (CH004). A number of anomalies were identified as potential archaeological features during the geophysical survey. Including four circular features to the north of the field. The trial trench revealed the entire area had been highly impacted by modern cultivation activity. However, the remains of a 20m diameter enclosure delimited by two narrow, concentric ditches, were uncovered within trench 9 (centre point ITM 591668, 571321). This was situated to the north within the field investigated.

3.8 Topography and Soils

According to the Geological Survey Ireland Spatial Resources (<https://dcenr.maps.arcgis.com/apps/MapSeries/index.html?appid=a30af518e87a4c0ab2fbde2aaac3c228>) the landscape is underlain by Little Island Formation limestones, Red Marble Formation limestone, Waulsortian Limestones and Clashavodig Formation limestone. The Teagasc Soil Information System (<http://gis.teagasc.ie/soils/index.php>) shows this to be overlain by Clashmore (1100n), a coarse loamy drift with siliceous stones across much of the scheme.

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4. IMPACT STATEMENT

4.1 Development Description


The proposed 20 kV Underground and Overhead grid connection routes is located within the townlands of Carrigshane, Coppingersstown, Tead Beg Tead Beg and Tead More, in the civil parishes of Midleton and Cloyne, in the barony of Imokilly, Co. Cork (Figure 1). The proposed development comprises of a 20kV underground and overhead grid connection from the permitted Tead More Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork (Figure 4). The proposed overhead line will also include 23 poles including cable end poles (EP), light angle poles (LAP), intermediate poles (IMP), medium angle poles (MAP) and heavy (HAP) angle poles along the overhead route. The poles will be of 10-14m in height with 2.3m below ground level. The proposed underground grid connection will include a joint bay (01) situated along the section buried within the L3625 road within Tead More.

4.2 Baseline Environment Summary

This archaeological assessment has identified five sites of archaeological, and/or cultural heritage significance within the defined study areas

Site Type	Summary
<ul style="list-style-type: none"> - RMPs - SMRs - National Monuments - Sites with Preservation Orders - Sites listed in the Register of Historic Monuments 	There is a single RMPs located within the study area (CH001). This site is not located within the footprint of the proposed cable route.
<ul style="list-style-type: none"> - Protected Structures 	There are no Protected Structures located within the study area
<ul style="list-style-type: none"> - Architectural Conservation Areas (ACAs) 	There are no ACAs incorporated by the study area.
<ul style="list-style-type: none"> - Sites Listed in the NIAH 	There are no NIAHs incorporated by the study area.
<ul style="list-style-type: none"> - Unregistered Cultural Heritage Sites 	Three additional UCH sites were identified from these early cartographic sources (CH002–CH003, CH005). CH002 represents a roadside well. It is depicted as being on the northern side of the local road, and within the boundary of the road, presumably located in the northern verge. A site inspection of the marked location of the well could not locate it
<ul style="list-style-type: none"> - Areas/features of archaeological potential 	No additional areas of archaeological potential incorporated by the study area.
<ul style="list-style-type: none"> - Previous Archaeological excavation 	One previous excavation (CH004) was found within the study area: a programme of archaeological test trenching undertaken in 2017 within the then proposed Tead More Solar Farm

Table 12 –Summary of baseline environment

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4.3 Impact Assessment

This section assesses the likely significant impacts that the proposed development will have on the baseline/receiving environment, prior to the implementation of any mitigation measures. The methodology used in ascertaining the baseline value of sites, the type, magnitude and significance level of impacts is set out in Section 2 above.

Mitigation measures to avoid, reduce or offset these impacts and the residual impact that the project will have on each site of cultural heritage significance and/or potential are provided in Sections 5 and 6 below.

4.3.1 Direct impacts

The likelihood for *in situ* archaeological deposits to be preserved below the modern roadway is low. However, as laid out, the proposed cable route will potentially have a direct effect on one UCH site. A roadside well CH002 located along the L3625 (Table 13). The well is depicted as being on the northern side of the local road, and within the boundary of the road, presumably located in the northern verge. A site inspection of the marked location of the well could not locate it. Groundworks and excavations required to lay the cable may also have a direct effect on potential unknown subsurface remains of the well.

The final section of the proposed underground grid connection runs alongside and within the boundary of the permitted Tead More Solar Farm. This area was the subject of a test excavation under Licence No. 17E0082 (CH004) in advance of the permitted solar farm. The test excavation revealed the remains of a 20m diameter enclosure delimited by two narrow, concentric ditches within Trench 9 (see Figure 3). The proposed cable route passes 35m to the north of this newly identified enclosure, and adjacent to (5-10 m) two circular anomalies identified in the preceding geophysical survey, but which could not be verified in the subsequent targeted test-trenching. The proposed development will not have a direct effect on the known archaeology identified by the test excavation. There remains the potential for unknown subsurface archaeology to be directly effected.

The proposed overhead line may have direct effect on one townland boundary. The groundworks required for a MAP No. 11 will have a direct, permanent effect on the townland boundary between Carrigshane/Coppingerstown.

4.3.2 Indirect impacts


The proposed development will have no indirect effects on any known CH sites.



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CH No.	Category	Summary	Baseline Value	Effect Type	Description of Effect	Effect Magnitude	Significance of Effect
CH002	UCH	Well	Low	Direct	Potential permanent direct impact to any remains of the UCH	Moderate	Negligible
CH003	Townland Boundary	Carrigshane/ Coppingerstown	Medium/High	Direct	Direct, permanent effect on the townland boundary as a result of groundworks required for the construction of a MAP No.11	Moderate	Slight

Table 13 –Summary of impacts and impact magnitude prior to mitigation

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4.4 Visual Amenity

This section addresses the potential visual impact to Archaeological, Architectural and Cultural Heritage only. The closest RMP to the proposed development is a ringfort, located c. 177 m south from the very southern end of the proposed grid connection. The ringfort is upstanding and is thus considered a visual amenity within the landscape. The surrounding landscape comprises an open field bounded by hedgerows, fields and an existing roadway to the east. The proposed underground grid connection is the closest section to the ringfort, and given its underground nature, will not have a visual effect on the ringfort. In

The proposed overhead line is c.322 m northeast of the ringfort and is an upstanding structure. The overhead Lines will potentially be visible from the ringfort, although will likely largely be obscured by existing hedgerows. In consideration of their proposed height of 10-14m above ground level it was determined that the OHLs would be unlikely to significantly impact any views too or from the ringfort. Hence, given the distance and the fact that it will not obscure or overshadow the ringfort, it will not have visually effect. Other recorded monuments are located outside of the 250 m study area and are located at such a distance not to be visually effected by the proposed development. Furthermore, the ringfort will already have been incorporated into the permitted Solar Farm at Tead More, further reducing the already low potential for additional visual impact.

The proposed overhead line will have a negligible visual effect on the nearby archaeological landscape, with the closest RMP outside of the solar development farm being CO076-051---- (a tower house) located >500 m west from the line. No clear impacts to monument intervisibility were identified, and the proposed line is not at sufficient scale so as to be visually dominant in the archaeological landscape.


It is noted also, that the integrity of the surrounding landscape has already been compromised by an active quarry located <100m west of the proposed overhead line.

The proposed development crosses two townland boundaries although one is already formed by an existing road network. The proposed development will cause a visual change in one of the townland boundaries, CH003, due to required groundworks. However, townland boundaries are often subject to frequent changes given that they ubiquitous in the Irish countryside and have been incorporated into the modern agricultural landscape. In addition, although forming a part of the cultural landscape of the area, these are not currently considered visual amenities. As a result, the proposed development will not have visual effect on the townland boundaries.

4.5 Cumulative Effects

Cumulative effect is defined as ‘The addition of many small impacts to create one larger, more significant, impact’ (EPA 2017). Cumulative impacts encompass the combined effects of multiple developments or activities on a range of receptors. In this case the receptors are the archaeological monuments and architectural/cultural heritage sites in the immediate vicinity of the proposed scheme. Cumulative impacts at the construction and operational stages are considered (see Table 14 Table 14).

The present landscape of the proposed development predominantly comprises mostly farmland, but an active quarry located 100 m west of the proposed Overhead Cable route. Other developments consist mainly of one-off housing and agricultural buildings. One-off housing and buildings are not considered

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to be detrimental to the setting of archaeological monuments and will not contribute to cumulative effects occurring. Other infrastructure includes a quarry to the east, which is a large-scale project which can contribute to the cumulative effect on the archaeology.

The proposed development is related to Tead More Solar Park which was permitted under Planning Ref. 16/6302, and amended under Planning Ref. 245276. It will connect the solar farm to the national grid via the proposed overhead line and underground grid connection. Combined together, they will have a cumulative effect on the archaeological monuments and architectural/cultural heritage sites within the immediate vicinity. However, this is a localised effect to the areas of groundworks such as the poles and the underground grid connection.

Subject to the implementation of the appropriate archaeological mitigation measures during the construction phase of the development, no residual cumulative effects on archaeological, architectural and cultural heritage are predicted.

Ref. Number	Status	Description
245276	Granted with Conditions (03/10/2024)	Permission for modifications to permitted solar farm (Pl.Reg.No. 16/6302). The modifications are within the boundary of the permitted development and will comprise of: 1) The amendment of the design and layout of the permitted on-site 20kV substation to adhere to modern ESB standards, 2) Amendments include exclusion of the permitted 2 no. switch rooms and the development of 1 no. combined switch room (55.19 sq.m) and other minor amendments, 3) The proposed development includes all associated site works and ancillary infrastructure.
196190	Granted with Conditions (02/12/2019)	The proposed development will consist of development within the existing substation to include: (a) removal of 2 no. existing transformers and associated equipment; (b) their replacement with 3 no. new banded transformers and associated equipment; (c) extensions and reconfigurations of the existing of 38 kV and 20 kV busbars and associated equipment; (d) extend the south side of the station inner fence; and (e) all other ancillary and miscellaneous site works.
187131	Granted with Conditions (26/07/2019)	Continuation of quarrying activities at the authorised Coppingerstown Rock Quarry (Ref: 14/4146). The proposed development will authorise the continuation of extraction and processing of rock at the c.20.98HA quarry along with ancillary work including landscaping and rehabilitation of the quarry. The proposed development seeks authorisation for a welfare type office along with modifications to the site entrance, to include a new internal road, internal roundabout, weighbridge and wheel wash, along with ancillary drainage works. The application will be accompanied by an Environmental Impact Assessment Report (EIAR).
185016	Granted with Conditions (18/06/2018)	Construction of silage slabs, concrete apron and an animal house incorporating slatted cubicle area, feed passage, milking area, dairy and associated works
166302	Granted with Conditions (13/06/2017)	Permission for the development of a solar photovoltaic panel array consisting of up to 27,000 m ² of solar panels on ground mounted steel frames, 2 no. substation buildings, 4 no. inverter units, 2 no.




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		storage and control cabins, underground cable and ducts, boundary security fence, new internal tracks, CCTV and all associated site services and works
095888	Granted with Conditions (29/03/2010)	Two-storey dwelling, domestic garage, septic tank and associated site works
0611143	Granted with Conditions 26/02/2007)	Dwellinghouse
035527	Granted with Conditions (15/06/2004)	Extension to quarry and retention of ESB sub-station, 3 no. electrical control rooms, quarried area and diesel/waste oil tanks and bunds
03531	Granted with Conditions (08/04/2003)	Subdivision of dwelling into 2 no. dwelling units and installation of 2 no. treatment plants

Table 14 – Summary of relevant planning applications in the area

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5. MITIGATION STRATEGY

The following mitigation measures proposed are subject to approval by the National Monuments Service and the local planning authority.


The current state policy is that preservation *in situ* of archaeological material is the preferred option. Where this cannot be achieved then appropriate measures need to be adopted to ameliorate the impacts that the proposed development may have on features of archaeological, architectural and/or cultural heritage within the study area (see Section 1.2) during both the construction and operational phases of the works.

The below recommendations have been compiled with reference to the Framework and Principles for the Protection of the Archaeological Heritage (1999) as well as the following:

- Environmental Protection Agency (2003) *Advice notes on current practice (in the preparation of Environmental Impact Statements)*
- Environmental Protection Agency (2022) *Guidelines on the information to be contained in Environmental Impact Assessment Reports (EIAR)*
- Department of Arts, Heritage, Gaeltacht and the Islands (DAHGI) (1999) *Frameworks and Principles for the Protection of the Archaeological Heritage*
- Department of the Environment, Heritage and Local Government (2011) *Architectural Heritage Protection Guidelines for Planning Authorities*
- National Monuments Service Solar Farm Developments – Internal Guidance Document (2016).

The following mitigation measures are recommended:

1. A programme of archaeological monitoring should be carried out by a suitably qualified archaeological consultant under license to the National Monuments Service Section of the Department of Housing, Local Government and Heritage, in areas where off-road cable trenching is proposed. Should any archaeological material be encountered, works will cease and the County Archaeologist and National Monuments Service shall be notified. A strategy will be proposed to the County Archaeologist and National Monuments Service to suitably record any archaeological material identified, and preserve any archaeological material *in situ*, where possible. Where preservation *in situ* cannot be achieved, either in whole or in part, then a programme of archaeological excavation will be proposed, to ensure the preservation by record of the area of the development that will be directly impacted upon. Further work will then only be carried out following consultations with the County Archaeologist and the National Monuments Service.
2. The cable trench should be kept to the south side of the roadway, on the opposite side of the road to where the well (CH002) is marked on historic mapping (Figure 6).
3. Where a section of an upstanding townland boundary, CH003, must be removed a representative cross-section of the feature will be investigated and recorded by a suitably qualified archaeologist prior to or during removal.

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- The resulting archaeological report will be submitted to the County Archaeologist and to the National Monuments Service Section of the Department of Housing, Local Government and Heritage.

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Ch. No	Phase	Effect Type	Mitigation Measures	Magnitude of Effect after implementation of mitigation measures	Significance of Effect after implementation of mitigation measures
CH002	Construction	Direct	Mitigation Nos. 1, 2 and 4	Slight	Imperceptible
CH003	Construction	Direct	Mitigations No. 3 and 4	Slight	Imperceptible

Table 15 – Summary of impacts and impact magnitude after mitigation

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6. CONCLUSIONS

6.1 Archaeological Findings Summary

This archaeological assessment has identified five sites of archaeological, and/or cultural heritage significance within the defined study areas (see Section 1.2). These include a single RMP, CO076-057-- (CH001: a Ringfort) located 177 m from the very southern end of the proposed grid connection and within the application boundary for Tead More Solar Farm. A roadside well identified from historic cartographic sources (CH002) may be impacted upon by the proposed in-road cable laying. Additionally, the proposed grid connection crosses two townland boundaries, CH003 and CH005. The proposed overhead lines may have direct effect on one townland boundary (CH003) while the other townland boundary, crossed by the underground grid connection, is already broken by modern roadways.

The excavation database produced only one result for archaeological excavation undertaken within the study area (CH004) This comprised test trenching under Licence No. 17E0082 following a preceding geophysical survey, which were undertaken in advance of the permitted Tead More Solar Park. The results of the test trenching revealed an enclosure delimited by two narrow, concentric ditches. The proposed cable route passes 35m to the north of this newly identified enclosure, and adjacent to (5-10 m) two circular anomalies identified in the preceding geophysical survey, but which could not be verified in the subsequent targeted test-trenching.


The proposed underground grid connection may have a direct effect two CH sites, CH002 and CH003, as well as potential to disturb previously unknown archaeological deposits in greenfield areas.

The proposed overhead line will have a negligible visual effect on the nearby archaeological landscape, with the closest RMP outside of the solar development farm being CO076-051---- (a tower house) located >500 m west from the line. No clear impacts to monument intervisibility were identified, and the proposed line is not at sufficient scale so as to be visually dominant in the archaeological landscape.

6.2 Recommendations

The following mitigation measures are recommended:


1. A programme of archaeological monitoring should be carried out by a suitably qualified archaeological consultant under license to the National Monuments Service Section of the Department of Housing, Local Government and Heritage, in areas where off-road cable trenching is proposed. Should any archaeological material be encountered, works will cease and the County Archaeologist and National Monuments Service shall be notified. A strategy will be proposed to the County Archaeologist and National Monuments Service to suitably record any archaeological material identified, and preserve any archaeological material *in situ*, where possible. Where preservation *in situ* cannot be achieved, either in whole or in part, then a programme of archaeological excavation will be proposed, to ensure the preservation by record of the area of the development that will be directly impacted upon. Further work will

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then only be carried out following consultations with the County Archaeologist and the National Monuments Service.

2. The cable trench should be kept to the south side of the roadway, on the opposite side of the road to where the well (CH002) is marked on historic mapping (Figure 6).
3. Where a section of an upstanding townland boundary, CH003, must be removed a representative cross-section of the feature will be investigated and recorded by a suitably qualified archaeologist prior to or during removal.
4. The resulting archaeological report will be submitted to the County Archaeologist and to the National Monuments Service Section of the Department of Housing, Local Government and Heritage.

Please note all recommendations are subject to the approval of the National Monuments Service and the local planning authority archaeologist.

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APPENDIX 1 INVENTORY OF IDENTIFIED SITES OF CULTURAL HERITAGE SIGNIFICANCE AND/OR POTENTIAL WITHIN STUDY AREA

CH No.	Category	ID	Description	Summary	Townland	Baseline Value	ITM E	ITM N
CH001	RMP	CO076-057----	In tillage, on S-facing slope. Circular area (39m N-S) enclosed by earthen bank (H 1.7m) with shallow fosse. The above description is derived from the published 'Archaeological Inventory of County Cork. Volume 2: East and South Cork' (Dublin: Stationery Office, 1994). In certain instances, the entries have been revised and updated in the light of recent research. Date of upload/revision: 14 January 2009	Ringfort	Rath	Very High	591595	571082
CH002	UCH	UCH01	A roadside well marked on the First Edition 25-inch Ordnance Survey sheet. is depicted as being on the northern side of the local road, and within the boundary of the road, presumably located in the northern verge. A site inspection of the marked location of the well could not locate it.	Well	Tead Beg	Medium/Low	591348	572103
CH003	Cartographical Evidence	TB01	Townland Boundary between Carrigshane/Coppingerstown comprising a field boundary	Townland Boundary	Carrigshane/Coppingerstown	Medium/Low	590734	572491
CH004	Excavation	17E0082	Test trenching was undertaken to investigate a number of geophysical anomalies identified as being of archaeological potential at a proposed solar farm within a large tillage field. An application to use a metal-detector was also submitted to NMS in order to assist in artefact retrieval during test trenching (17R0028). The geophysical survey of the development area was undertaken by Ian Elliot of Irish Geophysical and Archaeological Surveys (Licence 16R0106). In summary, the survey indicated that the field had been impacted upon by intensive ploughing activity but a number of potential archaeological features were identified in the northern end. Test trenching of these potential features and their environs was undertaken in order to investigate the nature and extent of any archaeological remains. Testing along the line of the proposed access tracks and cable runs within the site was also undertaken. Test trenching confirmed that the subsoil surface had been disturbed by intensive ploughing throughout the field. However, ephemeral traces of an enclosure, identified by geophysics as a weak anomaly indicating the presence of a c. 20m diameter enclosure delimited by two narrow, concentric ditches, were uncovered (centre	Enclosure	Tead More	High	591668	571321




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CH No.	Category	ID	Description	Summary	Townland	Baseline Value	ITM E	ITM N
			point ITM 591668, 571321). The disturbed remains of two narrow infilled enclosing ditches were noted during manual cleaning on the east side of the enclosure while its western extent could not be clearly defined in an area heavily disturbed by ploughing. There were no traces of any internal features identified within the trench and none were noted in the geophysical survey. The two ditches on the east side were set 1.9m apart with the outer example ranging between 0.3-0.5m wide and the inner ditch averaging 0.5m wide. It appeared that a section of the outer ditch had been partially removed by ploughing activity as the underlying subsoil in this area was revealed during light trowelling. The surfaces of both ditch fills were cleaned, recorded, resealed and left to remain in situ. No artefacts or other cultural inclusions were noted during cleaning of the surfaces of the ditch fills or during visual and metal-detecting surveys of the spread ploughsoil upcast from the trench. The developer has amended the development design to avoid any impacts on this feature and its environs. The other geophysical anomalies appeared to be the result of a combination of bedrock outcrops on the subsoil surface and modern agricultural activity. Unit 3A Westpoint Trade Centre, Ballincollig, Co. Cork					
CH005	Townland Boundary	TB02	Coppingerstown /Tead More/Tead Beg townland boundary on the First Edition 6-inch OS map and 25-inch OS map. It is formed by the modern road	Coppingerstown /Tead More/Tead Beg townland boundary	Coppingerstown /Tead More/Tead Beg	Medium/High	591216	572087

Note: The abbreviations that have been used for the 'Category' section are as follows:

- RMP: Recorded archaeological monument
- NIAH: National Inventory of Architectural Heritage
- PS: Protected Structure
- TB: Townland Boundary

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APPENDIX 2 LEGISLATIVE AND POLICY FRAMEWORK

EIA Legislation

EIA Directive 85/337/EEC as amended by 97/11/EC and 2003/35/EC requires that certain developments be assessed for likely environmental effects before planning permission can be granted. The EIA Amendment Regulations, SI 93 OF 1999 specifies in Section 2(b) of the Second Schedule, 'Information to be contained in an Environmental Impact Statement', that among other factors, information is to be provided on:

'Material assets, including the architectural and archaeological heritage, and the cultural heritage'

Each of these assets is addressed within this assessment report.

Cultural Heritage Legislation

Archaeological Monuments/Sites

Archaeological heritage is protected primarily under the edited. Section 2 of the 1930 National Monuments Act defines the word 'monument' as including:

'any artificial or partly artificial building, structure, or erection whether above or below the surface of the ground and whether affixed or not affixed to the ground and any cave, stone, or other natural product whether forming part of or attached to or not attached to the ground which has been artificially carved, sculptured or worked upon or which (where it does not form part of the ground) appears to have been purposely put or arranged in position and any prehistoric or ancient tomb, grave or burial deposit, but does not include any building which is for the time being habitually used for ecclesiastical purposes'.


Under the 1994 Act, provision was made for a Record of Monuments and Places (RMP). The RMP is a revised set of SMR (Sites and Monuments Record) maps, on which newly-discovered sites have been added and locations which proved not to be of antiquity have been de-listed by the National Monuments Service.

In effect, the National Monuments Act 1930–2014, as amended provide a statutory basis for:

- Protection of sites and monuments (RMPs)
- Sites with Preservation Orders
- Ownership and Guardianship of National Monuments
- Register of Historic Monuments (pre-dating AD 1700)
- Licensing of archaeological excavations
- Licensing of Detection Devices
- Protection of archaeological objects
- Protection of wrecks and underwater heritage (more than 100 years old)

In relation to proposed works at or in the vicinity of a recorded archaeological monument, Section 12 (3) of the National Monuments (Amendment) Act 1994 states:

'When the owner or occupier (not being the Commissioners) of a monument or place which has been recorded [in the Record of Monuments and Places] or any person proposes to carry out, or to cause or

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permit the carrying out of any work at or in relation to such monument or place, he shall give notice in writing of his proposal to carry out the work to the Commissioners and shall not, except in the case of urgent necessity and with the consent of the Commissioners, commence the work for a period of two months after having given the notice.'

Archaeological artefacts

Section 2 of the 1930 National Monuments Act (amended) defines an archaeological object as (in summary) any chattel in a manufactured or partly manufactured state or an unmanufactured state but with an archaeological or historical association. This includes ancient human, animal or plant remains.

Section 9 (1) of the National Monuments (Amendment) Act 1994 states that any such artefact recovered during archaeological investigations should be taken into possession by the licensed archaeological director and held on behalf of the state until such a time as they are deposited accordingly subsequent to consultation with the National Museum of Ireland.

Architectural Sites

In 1997 Ireland ratified the Granada Convention on architectural heritage. This provided the basis for a national commitment to the protection of the architectural heritage throughout the country. The Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999 and Local Government (Planning and Development) Act 2000 made the legislative changes necessary to provide for a strengthening of the protection of architectural heritage. The former Act has helped to provide for a forum for the strengthening of architectural heritage protection as it called for the creation of a National Inventory of Architectural Heritage which is used by local authorities for compiling the Record of Protected Structures (RPS). The Record of Protected Structures (RPS) is set out in each respective county's Development Plan and provides statutory protection for these monuments.

Section 1 (1) of the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act, 1999 states:


'architectural heritage means all—

- (a) structures and buildings together with their settings and attendant grounds, fixtures and fittings,
- (b) groups of such structures and buildings, and
- (c) sites, which are of architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest"

The 1999 Act was replaced by the Local Government (Planning and Development) Act 2000 where the conditions relating to the protection of architectural heritage are set out in Part IV of the Act. Section 57 (1) of the 2000 Act states that:

'...the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of –

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest'


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APPENDIX 3 TERMS AND DEFINITIONS USED

The following sets out the definitions of the terms which are used throughout the report:

- (i) The phrase ‘cultural heritage’ is a generic term used in reference to a multitude of cultural, archaeological and architectural sites and monuments. The term ‘cultural heritage’, in compliance with Section 2(1) of the Heritage Act (1995), is used throughout this report in relation to archaeological objects, features, monuments and landscapes as well as all structures and buildings which are considered to be of historical, archaeological, artistic, engineering, scientific, social or technical interest.
- (ii) For the purpose of this assessment, each identified cultural heritage site is assigned a unique cultural heritage number with the prefix ‘CH’.
- (iii) A feature recorded in the ‘Record of Monuments and Places’ (RMP) refers to a recorded archaeological site that is granted statutory protection under the National Monuments Act 1930–2014, as amended. When reference is made to the distance between an RMP and the proposed development site (see below), this relates to the minimal distance separating the site from the known edge of the RMP. Where the edge of the RMP is not precisely known, the distance relates to that which separates the site from the boundary of the RMP zone of archaeological potential as represented on the respective RMP map; where this is applied, it is stated accordingly.
- (iv) An ‘area of archaeological potential’ refers to an area of ground that is deemed to constitute one where archaeological sites, features or objects may be present in consequence of location, association with identified/recorded archaeological sites and/or identifiable characteristics.
- (v) The term ‘proposed development site’ refers to the defined area of land within which the proposed development, including access tracks etc, may be constructed.
- (vi) In relation to the term ‘study area’ please see Section 1.3 above.
- (vii) The term ‘receiving environment’ refers to the broader landscape within which the study area is situated. Examination of the site’s receiving environment allows the study area to be analysed in its wider cultural context.
- (viii) The terms ‘baseline environment’ and ‘cultural heritage resource’ refer to the existing, identifiable environment against which potential effects of the proposed scheme may be measured.

Note: Information regarding archaeological site types and periods is provided in a glossary in Appendix 4.

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APPENDIX 4 GLOSSARY AND DEFINITION OF ARCHAEOLOGICAL TERMS

Bridge A structure of wood, stone, iron, brick or concrete, etc., built to span a river or ravine in order to facilitate the crossing of pedestrians or vehicles. These date from the medieval period (5th - 12th centuries AD) onwards.

Castle – motte An artificial, steep-sided, earthen mound on or in which is set the principal tower of a castle. Constructed by the Anglo-Normans in the late 12th and early 13th century AD.

Castle - tower house A fortified residence in the form of a tower, usually four or five storeys high, and for the most part slightly more rectangular than square in plan. They were constructed by a lord or landholder and were often partially or completely enclosed by a bawn. The majority date to the 15th and 16th centuries AD.

Cathedral The principal church of a diocese in which the cathedra or bishop's throne may be found. These date from the 12th to the 19th century AD.

Church A building used for public Christian worship. These can be of any date from c. AD 500 onwards.

Cist A rectangular or polygonal structure used for burial purposes, constructed from stone slabs set on edge and covered by one or more horizontal slabs or capstones. Cists may be built on the surface or sunk into the ground or set within a cemetery cairn or cemetery mound. They date to the Bronze/Iron Ages (c. 2400 BC – AD 400).


Coffin-resting stone A stone found on route to a graveyard on which the coffin is rested during transportation. These can date from the late medieval period (c. 1400 AD) onwards.

Burnt mound A circular or irregularly shaped mound of material consisting of burnt stones, ash and charcoal with no surface evidence of a trough or depression. Levelled examples can appear as a spread containing burnt stones. These can be of any date from the Bronze Age (c. 2400-500 BC) to the early medieval period (5th - 12th century AD). See also *Fulacht fia*.

Earthwork An anomalous earthen structure, usually raised and occurring in a variety of shapes and sizes, that on field inspection was found to possess no diagnostic features which would allow classification within another monument category. These may date to any period from prehistory onwards.

Enclosure An area defined by an enclosing element (e.g. bank, wall, fosse, scarp), or indicated as such cartographically, and occurring in a variety of shapes and sizes, possessing no diagnostic features which would allow classification within another monument category. These may date to any period from prehistory onwards.

Field boundary A continuous linear or curving bank, wall or drain which defines the limits of a field. These date to any period from the Neolithic (c. 4000-2400 BC) onwards.

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Fulacht fia A horseshoe-shaped or kidney-shaped mound consisting of fire-cracked stone and charcoal-enriched soil built up around a sunken trough located near or adjacent to a water supply, such as a stream or spring, or in wet marshy areas. The first recorded use of the Irish term '*fulacht fiadh/fia*' (cooking pit of the deer or of the wild) as relating to ancient cooking sites was in the 17th century. These are generally interpreted to have been associated with cooking and date primarily to the Bronze Age (c. 2400-500 BC).

Furnace

A chamber in which minerals, metals, etc., are subjected to continuous intense heat. These can date from the Bronze Age (c. 2400-500 BC) to the 17th century AD.

Hearth A place where a fire is made but where there is insufficient evidence to indicate habitation. These may date to any period from prehistory (c. 8000 BC – AD 400) to the medieval period (5th-16th centuries AD).

Hillfort A large area, from 3 to 22 hectares, located on and often following the natural contours of a hill, enclosed by an earth or stone bank/banks and fosse/fosses which can be internal or external. They may have been important ceremonial tribal centres and/or permanent or temporary settlements. They have been dated to the Late Bronze Age (c. 1000-500 BC) with examples of reoccupation in the later Iron Age (c. AD 100-400).

House – vernacular house A house which is non-formal, built of local materials using local skills and craftsmen within the parameters of their own local building tradition. In Ireland the majority are single storey, rectangular in plan and only one room deep, with the main hearth/kitchen forming the core of the house for domestic and social activities. These date from the AD 17th to the early 20th century.


Megalithic tomb - passage tomb A round mound, usually surrounded by a kerb of large stones, enclosing a burial chamber, usually with a corbelled roof, which is entered by a passage, usually lintelled. Many tombs have side and end recesses opening off a central chamber, resulting in a cruciform plan. Cremation was the predominant burial rite in passage tombs which primarily date from 3300 to 2900 BC though some simpler tombs in Carrowmore, Co. Sligo have produced radiocarbon dates suggesting use even earlier in the Neolithic, c. 4000 BC.

Metalworking site A place where metal is produced. These may date from the Bronze Age (c. 2400-500 BC) onwards.

Midden A refuse heap sometimes surviving as a layer or spread. These may be of any date from prehistory (c. 8000 BC – AD c. 400) up to the medieval period (5th-16th centuries AD).

Pit A circular or sub-circular cropmark/maculae or soil-mark, usually identified from aerial photography, which appears to be the visible evidence of a filled-in excavated hole or cavity in the ground. These may date to any period from prehistory onwards.

Ringfort – cashel A roughly circular or oval area surrounded by a stone wall or walls. They functioned as residences and/or farmsteads and broadly date from 500 to 1000 AD. See Ringfort - rath for earthen equivalent.

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Ringfort – rath A roughly circular or oval area surrounded by an earthen bank with an external fosse. Some examples have two (bivallate) or three (trivallate) banks and fosses, but these are less common and have been equated with higher status sites belonging to upper grades of society. They functioned as residences and/or farmsteads and broadly date from AD 500 to 1000.

Ringfort – unclassified A roughly circular or oval area surrounded by an earthen bank with an external fosse (see Ringfort - rath) or a stone wall (see Ringfort - cashel). The term Ringfort - unclassified is used in instances where the surviving remains are insufficient to determine whether the monument was originally a rath or cashel. They functioned as residences and/or farmsteads and broadly date from 500 to 1000 AD.


Road - road/trackway A way, or section thereof, which has been deliberately constructed between places. These may be of any date from prehistory onwards.

School An establishment in which people, usually children, are taught. These date from the late medieval period (c. 1400 to the 16th century AD) onwards.

Settlement deserted – medieval An abandoned medieval settlement dating from the 13th century to 1550 AD consisting of a group of houses in close proximity with associated land plots, associated with a parish church and/or castle or tower house, often evident as earthworks.

Souterrain An underground structure consisting of one or more chambers connected by narrow passages or creepways, usually constructed of drystone-walling with a lintelled roof over the passages and a corbelled roof over the chambers. Most souterrains appear to have been built in the early medieval period by ringfort inhabitants (c. 500 – 1000 AD) as a defensive feature and/or for storage.

Standing stone A stone which has been deliberately set upright in the ground, usually orientated on a north-east-south-west axis, although other orientations do occur, and varying in height from 0.5m up to 6m. They functioned as prehistoric burial markers, commemorative monuments, indicators of routeways or boundaries and date from the Bronze and Iron Ages (c. 2400 BC - AD 500), with some associated with early medieval ecclesiastical and burial contexts (c. 5th-12th centuries).

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APPENDIX 5 COUNTY CORK DEVELOPMENT PLAN (2022–2028)

Cork County Development Plan (2022-2028): This Plan sets out an overall strategy for the proper planning and sustainable development of Cork County over a 6-year period.


The County's national heritage is protected by a number of different pieces of legislation. The National Monuments Acts (1930-2004) provide for the protection of our archaeological heritage. Our buildings, townscapes and landscapes are protected under the Planning and Development Acts. In addition, there are a number of international conventions and agreements relating to our heritage, which Ireland has ratified including the Environmental Impact Assessment Directive, which clearly requires that Environmental Impact Assessment (EIA) includes consideration of effects on archaeological heritage.

Heritage Ireland 2030 has replaced the National Heritage Plan (2002) with updated national policy priorities in relation to the protection and management of our national heritage (built, cultural and natural). These documents are underpinned by the core principle that heritage belongs to us all and we all share a responsibility to protect it.

The responsibility of Local Authorities in relation to the care and protection of heritage is also identified in the National Heritage Plan. Key actions in these plans include the requirement of Local Authorities to prepare and implement Local Heritage Plans in partnership with the main stakeholders in the area. The Cork County Heritage Plan was adopted in 2005 and is currently in its implementation phase. Actions arising from the current Plan include 8 heritage publications which focus on a range of issues including guidance on the protection of areas of special cultural interest (Múscraí Heritage Plan), a detailed publication on the county's archaeological resource and guidance on specific elements of built heritage value including shopfronts and works within Architectural Conservation Areas.

A series of beautifully illustrated historic maps have also been produced for a selection of County Towns to aid education and awareness of the County's rich urban heritage. This process is ongoing.

The Plan also recognises the overlapping policy themes that Built and Cultural Heritage shares with other Chapters within the Plan. At a site level, for example, there is potential for negative effects for biodiversity, flora and fauna where older building stock provides habitat for roosting bats, owls etc. and is refurbished without mitigation measures being implemented. The Plan therefore recommends consultation with Chapter 15 Biodiversity and Environment in this instance and supports the requirement for an ecological assessment (where appropriate).

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County Development Plan Objective HE 16-1: County Heritage Plan

Continue to implement the current County Heritage Plan (2005) in partnership with relevant stakeholders and any successor of this document.

County Development Plan Objective HE 16-2: Protection of Archaeological Sites and Monuments

Secure the preservation (i.e. preservation *in situ* or in exceptional cases preservation by record) of all archaeological monuments and their setting included in the Sites and Monuments Record (SMR) (see www.archaeology.ie) and the Record of Monuments and Places (RMP) and of sites, features and objects of archaeological and historical interest generally.

In securing such preservation, the planning authority will have regard to the advice and recommendations of the Development Applications Unit of the Department of Housing, Local Government and Heritage as outlined in the Frameworks and Principles for the Protection of the Archaeological Heritage policy document or any changes to the policy within the lifetime of the Plan.

County Development Plan Objective HE 16-3: Underwater Archaeology

Protect and preserve the archaeological value of underwater archaeological sites and associated underwater and terrestrial features. In assessing proposals for development, the development will take account of the potential underwater archaeology of rivers, lakes, wetlands, intertidal and sub-tidal environments through appropriate archaeological assessment by a suitably qualified archaeologist.


County Development Plan Objective 16-4: Zones of Archaeological Potential in Historic Towns and Settlements

Proposed development works in Historic Towns and settlements, Zones of Archaeological Potential, Zones of Notification and the general historic environs in proximity to the zones, should take cognisance of the impact potential of the works, and all appropriate archaeological assessments employed to identify and mitigate the potential impacts

County Development Plan Objective HE 16-5: Zones of Archaeological Potential

Protect the Zones of Archaeological Potential (ZAPs) located within historic towns, urban areas and around archaeological monuments generally. Any development within the ZAPs will need to take cognisance of the upstanding and potential for subsurface archaeology, through appropriate archaeological assessment.

County Development Plan Objective HE 16-6: Industrial and Post Medieval Archaeology

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Protect and preserve industrial and post-medieval archaeology and long-term management of heritage features such as mills, limekilns, forges, bridges, piers and harbours, water-related engineering works and buildings, penal chapels, dwellings, walls and boundaries, farm buildings, estate features, military and coastal installations. There is a general presumption for retention of these structures and features. Proposals for appropriate redevelopment including conversion should be subject to an appropriate assessment and record by a suitably qualified specialist/s.

County Development Plan Objective HE 16-7: Battlefield, Ambush and Siege Sites and Defensive Archaeology

Protect and preserve the defensive archaeological record of County Cork including strategic battlefield, ambush and siege sites, and coastal fortifications and their associated landscape due to their historical and cultural value. Any development within or adjoining these areas shall undertake a historic assessment by a suitably qualified specialist to ensure development does not negatively impact on this historic landscape.

County Development Plan Objectives HE 16-8: Burial Places

Protect all historical burial places and their setting in County Cork and encourage their maintenance and care in accordance with appropriate conservation principles

County Development Plan Objectives HE 16-9: Archaeology and Infrastructure Schemes

All large-scale planning applications (i.e. development of lands on 0.5 ha or more in area or 1km or more in length) and Infrastructure schemes and proposed roadworks are subjected to an archaeological assessment as part of the planning application process which should comply with the Department of Arts, Heritage and the Gaeltacht's codes of practice. It is recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.

County Development Plan Objectives HE 16-10: Management of Monuments within Development Sites


Where archaeological sites are accommodated within a development it shall be appropriately conservation/ protection with provision for a suitable buffer zone and long-term management plan put in place all to be agreed in advance with the County Archaeologist.

County Development Plan Objectives HE 16-11: Archaeological Landscapes

To protect archaeological landscapes and their setting where the number and extent of archaeological monuments are significant and as a collective are considered an important archaeological landscape of heritage value.

County Development Plan Objectives HE 16-12: Raising Archaeological Awareness

As part of the Heritage Plan it is an objective to develop a management plan, if resources allow, for the archaeology of County Cork, which could include an evaluation of the Historic Character Assessment of Cork County helping to identify areas for tourism potential, and strategic research while also

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promoting best practice in archaeology and encouraging the interpretation, publication and dissemination of archaeological findings from the development application process.

County Development Plan Objectives HE 16-13: Undiscovered Archaeological Sites

To protect and preserve previously unrecorded archaeological sites within County Cork as part of any development proposals. The Council will require preservation in situ to protect archaeological monuments discovered. Preservation by record will only be considered in exceptional circumstances

County Development Plan Objectives HE 16-14: Record of Protected Structures


- (a) The identification of structures for inclusion in the Record will be based on criteria set out in the Architectural Heritage Protection Guidelines for Planning Authorities (2011).
- (b) Extend the Record of Protected Structures in order to provide a comprehensive schedule for the protection of structures of special importance in the County during the lifetime of the Plan as resources allow.
- (c) Seek the protection of all structures within the County, which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. In accordance with this objective, a Record of Protected Structures has been established and is set out in Volume Two Heritage and Amenity, Chapter 1 Record of Protected Structures.
- (d) Ensure the protection of all structures (or parts of structures) contained in the Record of Protected Structures.
- (e) Protect the curtilage and attendant grounds of all structures included in the Record of Protected Structures.
- (f) Ensure that development proposals are appropriate in terms of architectural treatment, character, scale and form to the existing protected structure and not detrimental to the special character and integrity of the protected structure and its setting.
- (g) Ensure high quality architectural design of all new developments relating to or which may impact on structures (and their settings) included in the Record of Protected Structures.
- (h) Promote and ensure best conservation practice through the use of specialist conservation professionals and craft persons.
- (i) In the event of a planning application being granted for development within the curtilage of a protected structure, that the repair of a protected structure is prioritised in the first instance i.e. the proposed works to the protected structure should occur, where appropriate, in the first phase of the development to prevent endangerment, abandonment and dereliction of the structure.

County Development Plan Objectives HE 16-15: Protection of Structures on the NIAH

Protect where possible all structures which are included in the NIAH for County Cork, that are not currently included in the Record of Protected Structures, from adverse impacts as part of the development management functions of the County.

County Development Plan Objectives HE 16-16: Protection of Non- Structural Elements of Built Heritage

Protect non-structural elements of the built heritage. These can include designed gardens/garden features, masonry walls, railings, follies, gates, bridges, shopfronts and street furniture. The Council will promote awareness and best practice in relation to these elements.

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County Development Plan Objectives HE 16-17: Areas of Special Planning Control

Establish areas of special planning control within Architectural Conservation Areas where appropriate. These areas will include a scheme setting out objectives for the conservation and enhancement of the special character of the area and will be based on an Architectural Appraisal of each town.


County Development Plan Objectives HE 16-18: Architectural Conservation Areas

Conserve and enhance the special character of the Architectural Conservation Areas included in this Plan. The special character of an area includes its traditional building stock, material finishes, spaces, streetscape, shopfronts, landscape and setting. This will be achieved by;

- (a) Protecting all buildings, structures, groups of structures, sites, landscapes and all other features considered to be intrinsic elements to the special character of the ACA from demolition and nonsympathetic alterations.
- (b) Promoting appropriate and sensitive reuse and rehabilitation of buildings and sites within the ACA and securing appropriate infill development.
- (c) Ensure new development within or adjacent to an ACA respects the established character of the area and contributes positively in terms of design, scale, setting and material finishes to the ACA.
- (d) Protect structures from demolition and non sympathetic alterations.
- (e) Promoting high quality architectural design within ACAs.
- (f) Seek the repair and re-use of traditional shopfronts and where appropriate, encourage new shopfronts of a high-quality architectural design.
- (g) Ensure all new signage, lighting advertising and utilities to buildings within ACAs are designed, constructed and located in such a manner they do not detract from the character of the ACA.
- (h) Protect and enhance the character and quality of the public realm within ACAs. All projects which involve works within the public realm of an ACA shall undertake a character assessment of the said area which will inform a sensitive and appropriate approach to any proposed project in terms of design and material specifications. All projects shall provide for the use of suitably qualified conservation architects/ designers.
- (i) Protect and enhance the character of the ACA and the open spaces contained therein. This shall be achieved through the careful and considered strategic management of all signage, lighting, utilities, art works/pieces/paintings, facilities etc to protect the integrity and quality of the structures and spaces within each ACA.
- (j) Ensure the protection and reuse of historic street finishes, furniture and features which contribute to the character of the ACA.

County Development Plan Objectives HE 16-19: Vernacular Heritage

- (a) Protect, maintain and enhance the established character, forms, features and setting of vernacular buildings, farmyards and settlements and the contribution they make to our architectural, archaeological, historical, social and cultural heritage and to local character and sense of place.
- (b) Cork County Council encourages best conservation practice in the renovation and maintenance of vernacular buildings including thatched structures through the use of specialist conservation professionals and craft persons. Development proposals shall be accompanied by appropriate documentation compiled by experienced conservation consultant.

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- c) There will generally be a presumption in favour of the retention of vernacular buildings and encouragement of the retention and re-use of vernacular buildings subject to normal planning considerations, while ensuring that the re-use is compatible with environmental and heritage protection.

County Development Plan Objectives HE 16-20: Historic Landscapes

- (a) Recognise the contribution and importance of historic landscapes and their contribution to the appearance of the countryside, their significance as archaeological, architectural, historical and ecological resources.
- (b) Protect the archaeological, architectural, historic and cultural element of the historic/heritage landscapes of the County of Cork.
- (c) All new development within historic landscapes should be assessed in accordance with and giving due regard to Cork County Councils 'Guidance Notes for the Appraisal of Historic Gardens, Demesnes, Estates and their Settings' or any other relevant guidance notes or documents issued during the lifetime of the Plan.

County Development Plan Objective HE 16-21: Design and Landscaping of New Buildings

- (a) Encourage new buildings that respect the character, pattern and tradition of existing places, materials and built forms and that fit appropriately into the landscape.
- (b) Promote sustainable approaches to housing development by encouraging new building projects to be energy efficient in their design and layout.
- (c) Foster an innovative approach to design that acknowledges the diversity of suitable design solutions in most cases, safeguards the potential for exceptional innovative design in appropriate locations and promotes the added economic, amenity and environmental value of good design.
- (d) Require the appropriate landscaping and screen planting of proposed developments by using predominantly indigenous/local species and groupings and protecting existing hedgerows and historic boundaries in rural areas. Protection of historical/commemorative trees will also be provided for.

County Development Plan Objectives HE 16-22: Village Design Statements


Facilitate the preparation and implementation of village design statements and other community led projects and plans to enhance village environments whilst ensuring that such initiatives are consistent with other Plan policies.

County Development Plan Objectives HE 16-23: Cultural Heritage

Protect and promote the cultural heritage of County Cork as an important economic asset and for its intrinsic value to identity of place and the well-being of people within the County.

County Development Plan Objectives HE 16-24: Naming of New Developments

Promote and preserve local place names, local heritage and the Irish language by ensuring the use of local place names or geographical or cultural names which reflect the history and landscape of their setting in the naming of new residential and other developments. Such an approach will be a requirement of planning permissions for new developments.

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APPENDIX 6 PREVIOUS ARCHAEOLOGICAL EXCAVATIONS

An examination of previous excavations carried out within and around the area The for development provides a useful framework for assessment of the study area in terms of its archaeological significance as well as its archaeological potential. The Archaeological Excavations Bulletin is an annual fieldwork gazetteer for Irish Archaeology; it was checked for a record of any licensed archaeological investigations carried out in the vicinity of the development area between 1969 and 2024.

Site name: Tead More

Sites and Monuments Record No.: NA-Licence number: 17E0082

Author: Tony Cummins for John Cronin and Associates

Site type: Enclosure


ITM: E 591726m, N 571140m

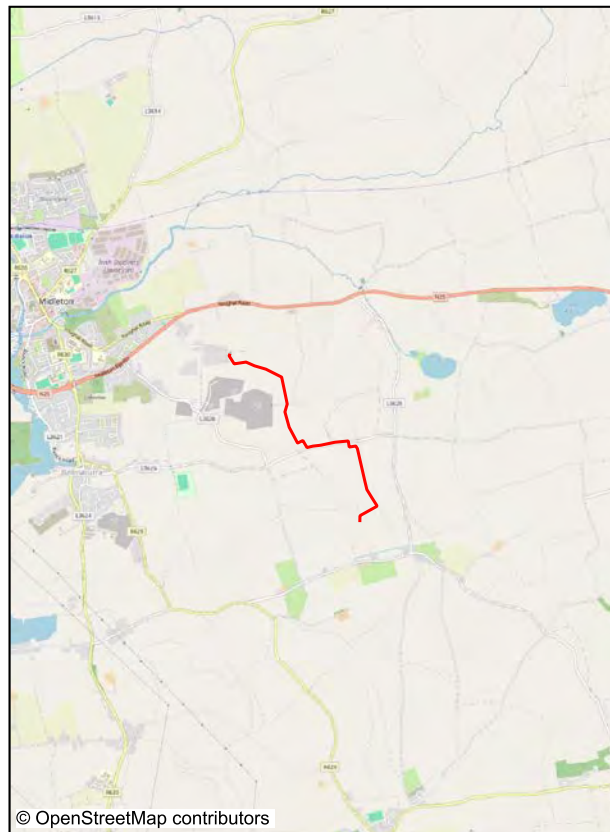
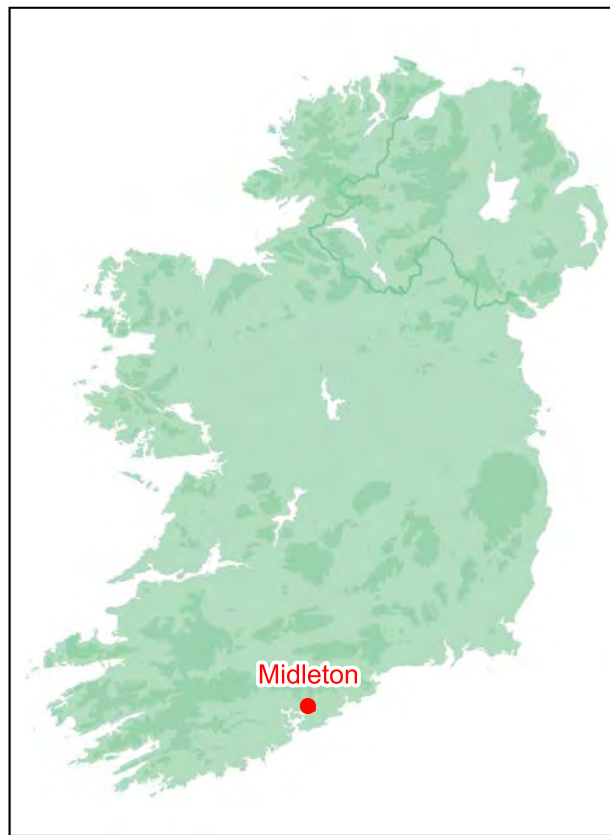
Test trenching was undertaken to investigate a number of geophysical anomalies identified as being of archaeological potential at a proposed solar farm within a large tillage field. An application to use a metal-detector was also submitted to NMS in order to assist in artefact retrieval during test trenching (17R0028). The geophysical survey of the development area was undertaken by Ian Elliot of Irish Geophysical and Archaeological Surveys (Licence 16R0106). In summary, the survey indicated that the field had been impacted upon by intensive ploughing activity but a number of potential archaeological features were identified in the northern end. Test trenching of these potential features and their environs was undertaken in order to investigate the nature and extent of any archaeological remains. Testing along the line of the proposed access tracks and cable runs within the site was also undertaken.

Test trenching confirmed that the subsoil surface had been disturbed by intensive ploughing throughout the field. However, ephemeral traces of an enclosure, identified by geophysics as a weak anomaly indicating the presence of a c. 20m diameter enclosure delimited by two narrow, concentric ditches, were uncovered (centre point @ ITM 591668, 571321). The disturbed remains of two narrow infilled enclosing ditches were noted during manual cleaning on the east side of the enclosure while its western extent could not be clearly defined in an area heavily disturbed by ploughing. There were no traces of any internal features identified within the trench and none were noted in the geophysical survey. The two ditches on the east side were set 1.9m apart with the outer example ranging between 0.3-0.5m wide and the inner ditch averaging 0.5m wide. It appeared that a section of the outer ditch had been partially removed by ploughing activity as the underlying subsoil in this area was revealed during light trowelling. The surfaces of both ditch fills were cleaned, recorded, resealed and left to remain in situ.

No artefacts or other cultural inclusions were noted during cleaning of the surfaces of the ditch fills or during visual and metal-detecting surveys of the spread ploughsoil upcast from the trench. The developer has amended the development design to avoid any impacts on this feature and its environs. The other geophysical anomalies appeared to be the result of a combination of bedrock outcrops on the subsoil surface and modern agricultural activity.

Unit 3A Westpoint Trade Centre, Ballincollig, Co. Cork

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Legend

— Proposed Grid Connection Route

Project Code: RH1550 Tead More Solar Park 20kV Connection

Prepared by: C.O'Sullivan

Status: AIA

Date: 19/12/2024

Approved by: E.O'Flaherty

Draft: 1.0

Scale: 1:10,000 @ A3



100 200 300 400 500 m



**Rubicon
Heritage**

Figure 1 - Site location of Proposed Tead More Solar Park 20kV Connection

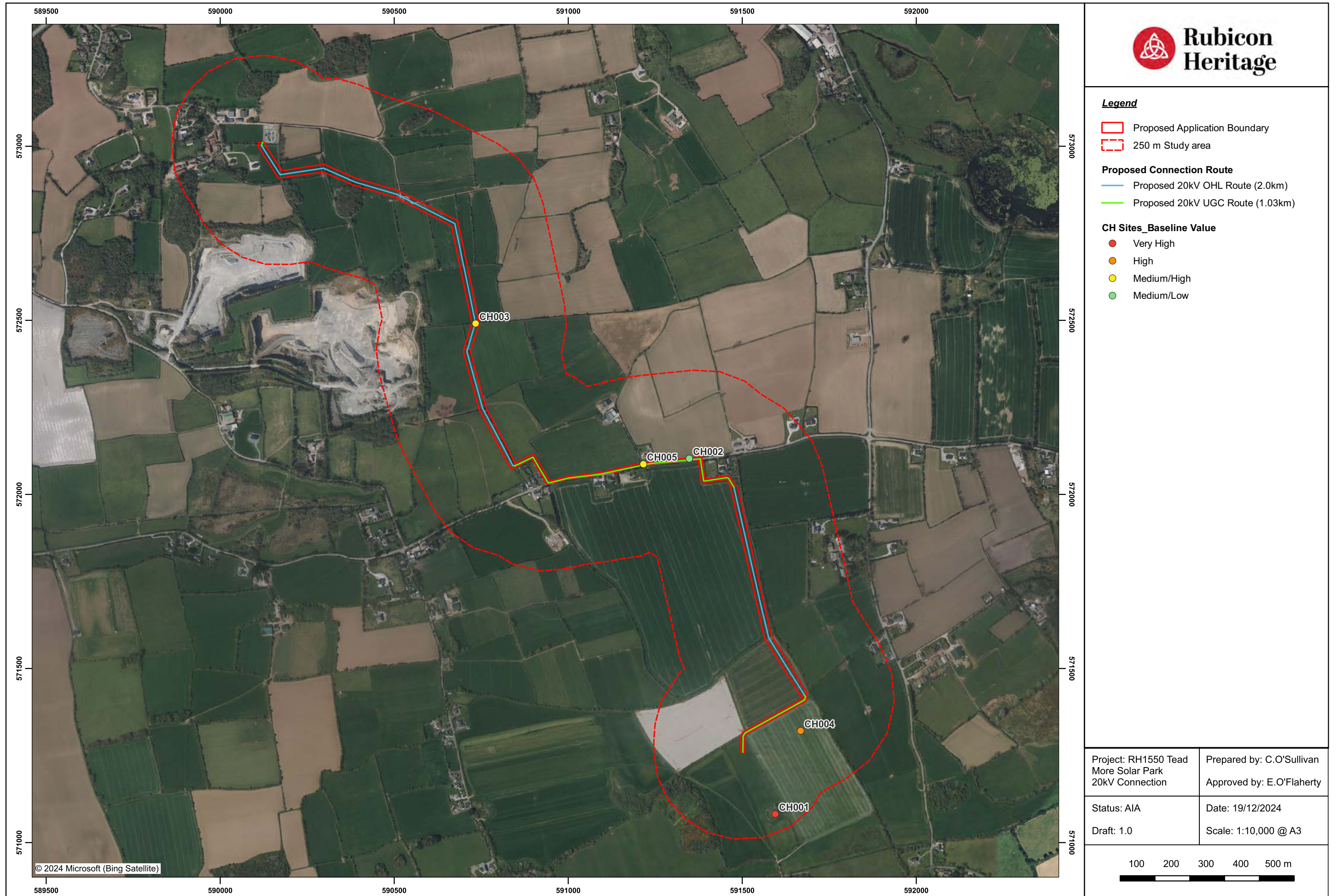


Figure 2 - Cultural Heritage sites within the proposed development study area.

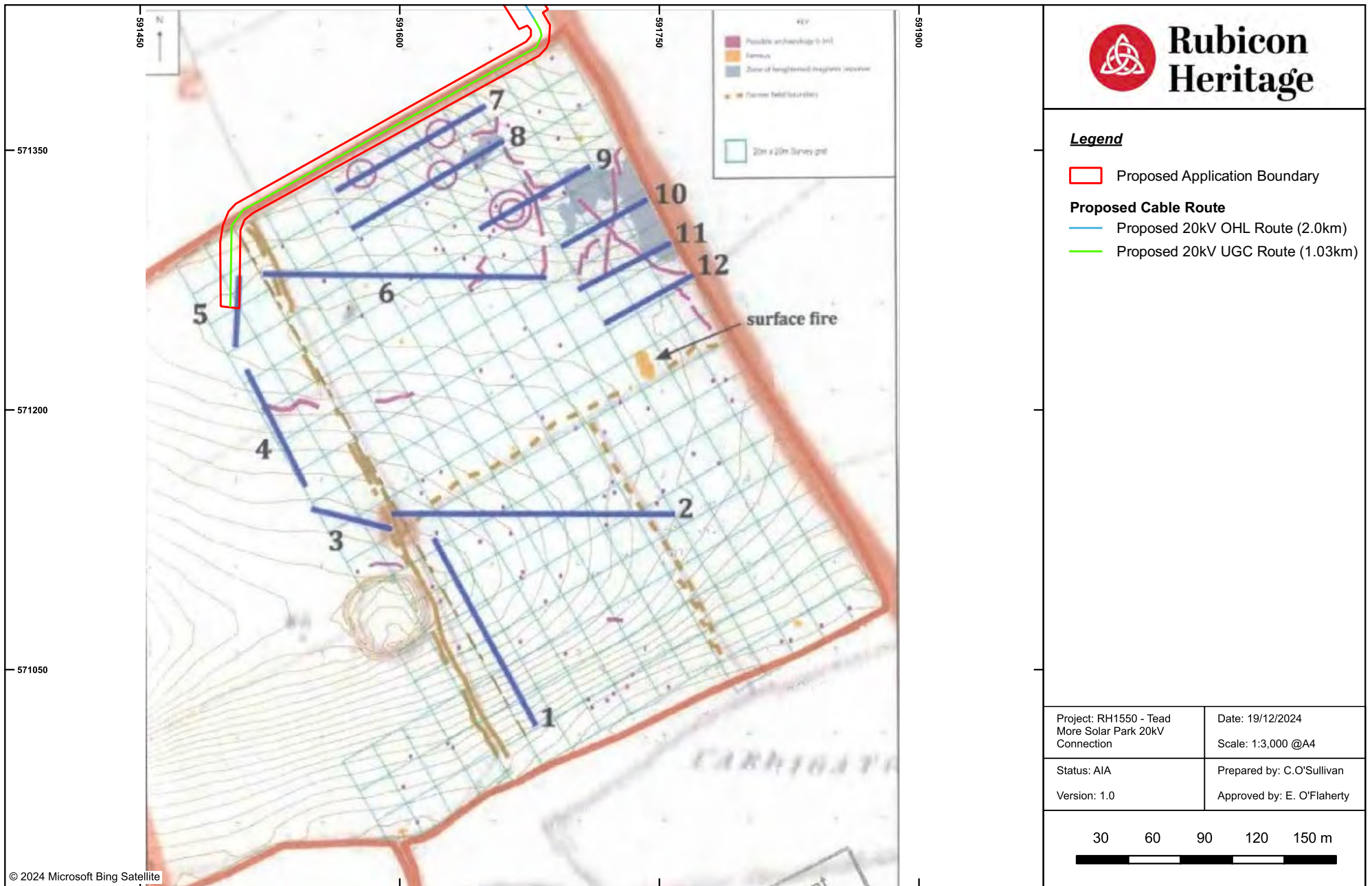


Figure 3 - Proposed works area with previous geophysical survey interpretation and trial trenches.



- Legend**
- Proposed Application Boundary
 - 250 m Study area
- Proposed Cable Route**
- Proposed 20kV OHL Route (2.0km)
 - Proposed 20kV UGC Route (1.03km)

Project: RH1550 Tead More Solar Park 20kV Connection	Prepared by: C.O'Sullivan Approved by: E.O'Flaherty
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Status: AIA Draft: 1.0	Date: 19/12/2024 Scale: 1:8,000 @ A3
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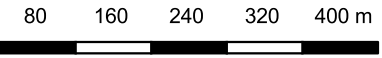


Figure 4 - Proposed works area showing 20kV OHL Route and 20kV UGC Route.

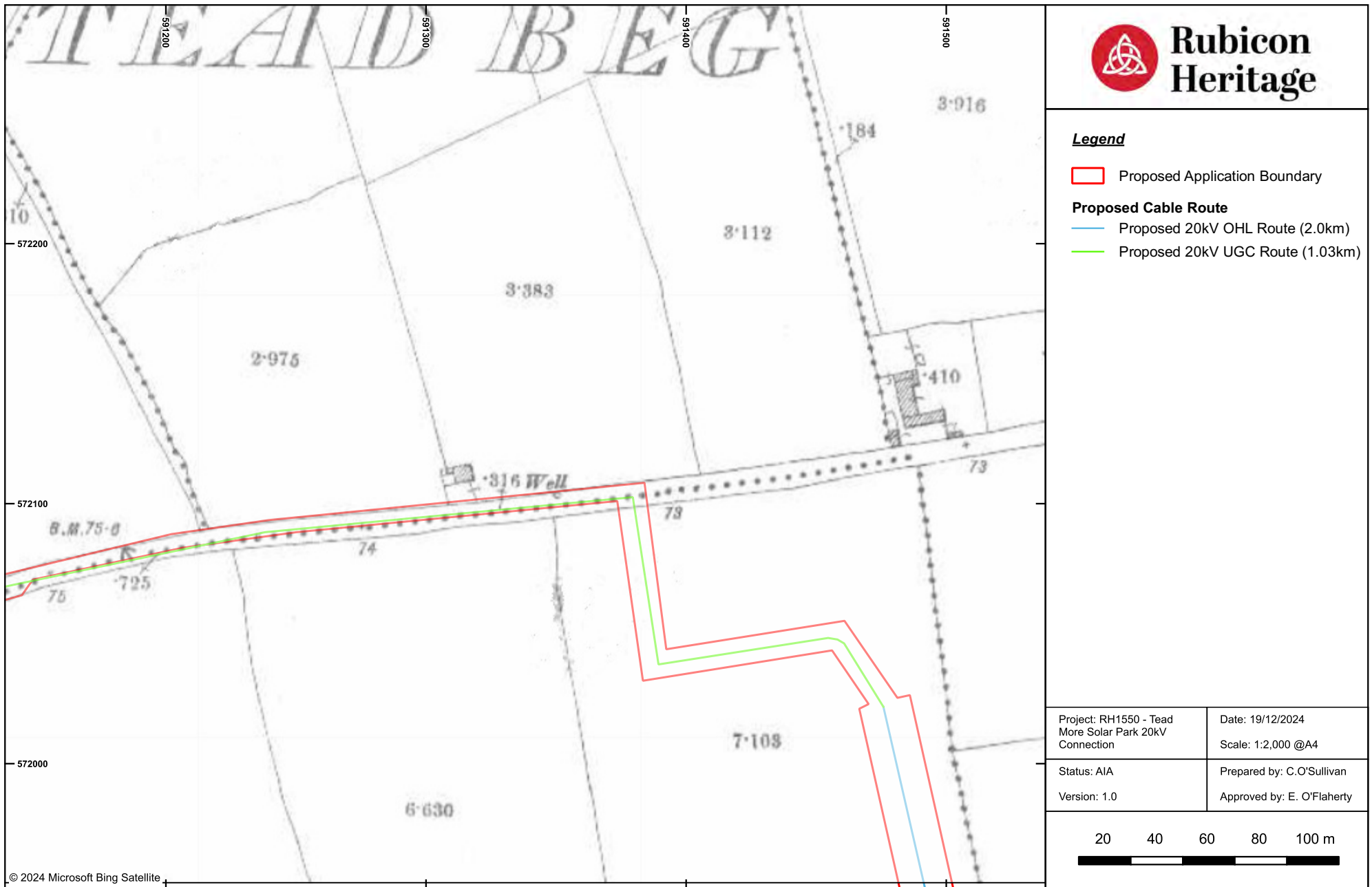


Figure 5 - First Edition 25-inch Ordnance Survey map showing UCH site, CH002, within the application boundary



Plate 1 - View of proposed grid connection route at northern end, facing SE



Plate 2 - View of Carrigshane 38kV substation and proposed connection route, facing NW



Plate 3 - View of northern half of the proposed 20kV OHL route , facing ESE



Plate 4 - View of northern half of the proposed 20 kV OHL route, facing NW



Plate 5 - View of northern half of the proposed 20 kV OHL route, facing S



Plate 6 - View of northern half of the proposed 20 kV OHL route, facing NW



Plate 7 - View of the proposed UGC route within L3625 and CH005 (Townland Boundary), facing E-



Plate 8 - View of location of CH002 (UCH) from the northern field, facing SW



Plate 9 - View of location of CH002 from the roadside, facing NW



Plate 10 - View of the proposed UGC route within L3625 and CH005, facing W



Plate 11 - View of southern half proposed grid connection route, facing S



Plate 12 - View of proposed 20 kV OHL route at southern end, facing NE



Plate 13 - View of proposed 20 kV UCG route at southern-end and CH001 (RMP), facing S

Comhairle Contae Chorcaí Cork County Council

An Rannóg Pleanála,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC
Fón: (021) 4276891 Faics: (021) 4276321
Suíomh Gréasáin: www.corkcoco.ie
Planning Department,



Tead More Solar Limited,
C/O Mary Kelleher,
MKO,
Tuam Road,
Galway.
H91 VW84.

County Hall,
Carrigrohane Road, Cork T12 R2NC
Tel: (021) 4276891 Fax: (021) 4276321

13th November, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is or is not development and is or is not exempted development.

Dear Madam,

I refer to your application for a Declaration of Exemption in relation to the above.

It is considered that the information submitted with the Section 5 Declaration application is insufficient to enable the Planning Authority to make a determination in this case. You are therefore requested to submit the following further information :

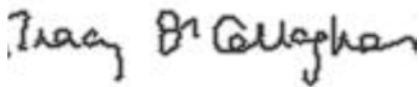
1. An Archaeological Impact Assessment shall be prepared by a suitably qualified archaeologist of the development site. This archaeological assessment should:
 - examine the known and predicted archaeological environment.
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
 - evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology.
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage.
2. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate

for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

3. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
4. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

In addition, please note that it is the policy of Cork County Council to deter the use of private cabling along a public road. This may cause issue with the securing of a road opening license. You are also advised to contact the roads engineering section (Midleton office) in respect of this matter.

Yours faithfully,



TRACY O' CALLAGHAN.
PLANNING DEPARTMENT.

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

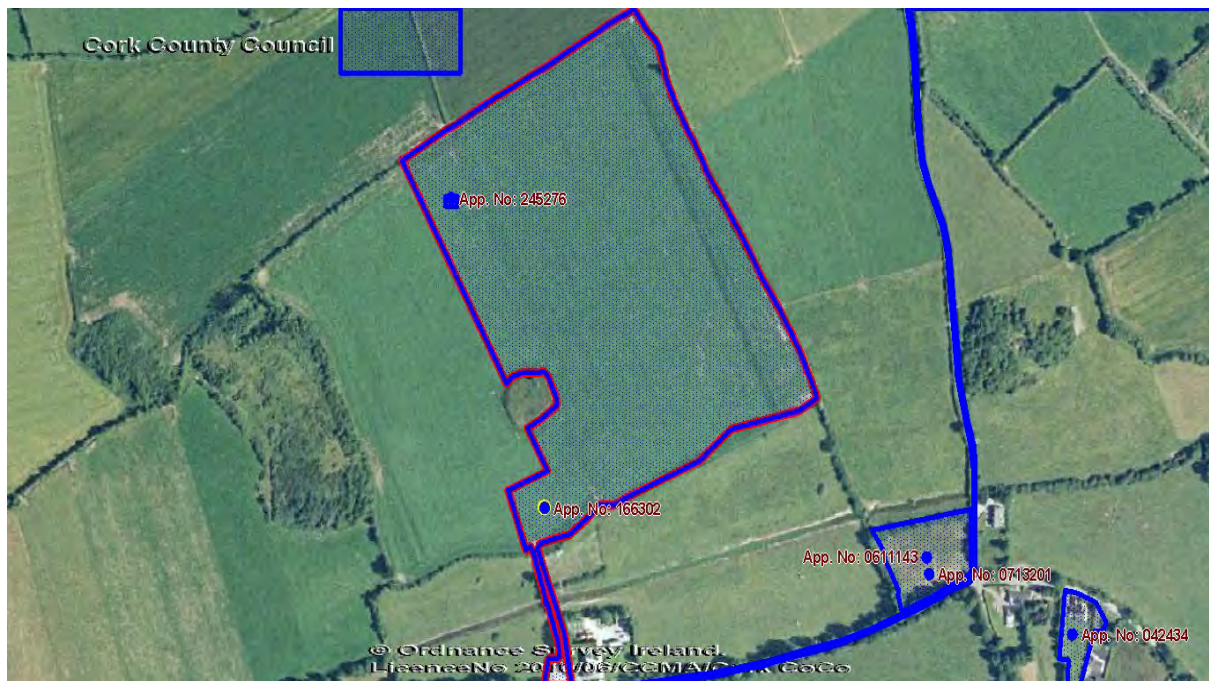
Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

D271-24- Solar farm Grid Connection- Teadmore

The Question

The applicant is querying whether the Whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is **development** and if it is development, is it **exempt development** for the purposes of the Act

Planning History



16/6302- Permission granted (10 year) to Temporis Ltd for the development of a solar photovoltaic panel array consisting of up to 27,000 m2 of solar panels on ground mounted steel frames, 2 no. substation buildings, 4 no. inverter units, 2 no. storage and control cabins, underground cable and ducts, boundary security fence, new internal tracks, CCTV and all associated site services and works

24/5276- Permission granted to Tead More Solar Ltd for modifications to permitted solar farm (Pl.Reg.No. 16/6302). The modifications are within the boundary of the permitted development and will comprise of: 1) The amendment of the design and layout of the permitted on-site 20kV substation to adhere to modern ESB standards, 2) Amendments include exclusion of the permitted 2 no. switch rooms and the development of 1 no. combined switch room (55.19 sq.m) and other minor amendments, 3) The proposed development includes all associated site works and ancillary infrastructure.

Relevant Precedent

RL3503 The Board determined that the provision of a connection between the 110kv substation of the Yellow River Windfarm granted under PA0032 & the National Grid is development and is exempted development at Rhode, Co. Offaly.

RL3375 Board determined that 220m of 20kv underground cable forming part of grid connection at Raragh, Kingscourt, Co Cavan is development and is exempted development.

RL302895 The Board determined that the developer Power Capital Renewable Energy Ltd. was a statutory undertaker for the provision of 20kV medium voltage grid connection from a permitted solar farm to national grid is a statutory undertaker

Statutory Provisions

I consider the following statutory provisions relevant to this referral case:

Planning and Development Act, 2000

“statutory undertaker” means a person, for the time being, authorised by or under any enactment of instrument under an enactment to –

- 1(a) Construct or operate a railway, canal, inland navigation dock, harbour or airport,
- 2(b) Provide, or carry out works for the provision of, gas, electricity or telecommunications services, or
- 3(c) Provide services connected with, or carry out works for the purposes of the carrying on of the activities of, any public undertaking.

Section 3 (1) states:-

“In this Act, “development” means, except where the context otherwise requires, the carrying out of works on, in over or under land, or the making of any material change of use of any structures or other land.”

Works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal”.

S 4(1) (g) development consisting of the carrying out by any local authority or statutory undertaker of any works for the purpose of inspecting, repairing, renewing, altering or removing any sewers, mains, pipes, cables, overhead wires, or other apparatus, including the excavation of any street or other land for that purpose;

Section 4 (2) of the Act provides that the Minister may, by regulations, provide for any class of development to be exempted development. The main regulations made under this provision are the Planning and Development Regulations, 2001.

Section 4(4) Notwithstanding..... any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required”

Section 172(1) “An environmental impact assessment shall be carried out by a planning authority or the Board, as the case may be in respect of an application for consent for - (a) Proposed development of a class specified in Schedule 5 to the Planning and Development Regulations 2001 which exceeds a quantity area, or other limit specified in that Schedule, and

b) Proposed development of a class specified in Schedule 5 to the Planning and Development Regulations 2001 which does not exceed a quantity, area or other limit specified in that Schedule but which the planning authority or the Board determines would be likely to have significant effects on the environment.”

Planning and Development Regulations, 2001

Article 3(3) “electricity undertaking” means an undertaker authorised to provide an electricity service”

Article 6(1) of the Regulations states as follows:- *“(a) Subject to article 9, development consisting of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1*

Article 9 (1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development.

The provisions of Class 26 &27 of Part 1 of Schedule 2 regulations is also of relevance

CLASS 26

The carrying out by any undertaker authorised to provide an electricity service of development consisting of the laying of underground mains, pipes, cables, or other apparatus for the purposes of the undertaking

CLASS 27

The carrying out by any undertaker authorised to provide an electricity service of development consisting of the construction of over -head transmission or distribution lines for conducting electricity at a voltage not exceeding a nominal value of 20kV”

Application Detail



The grid connection route is highlighted in orange on the image above. The grid connection is to be installed from the solar farm linking same to the Carrigshane 38kV substation approx. 3km to the NW. The new cable will run primarily along public roads (lightly trafficked local roads- L3625) but will also cross some 3rd party lands. In total approx. 1km of the cable will be undergrounded while the remaining 2km will be overhead line. The main undergrounded element will be along the public roads. The road excavation, installation and reinstatement process will take on average of 1 no. day to complete for each 100m section. In respect of the roads impact, an outline CMP has been submitted and it is stated that the full detail around same will be agreed with CCC in respect of the impact of road opening/ traffic management. The full phases/ extent of development has been set out in the supporting document submitted

1. Overhead Grid Connection Between the Solar Farm Site and L3625: This phase involves establishing the overhead grid connection between the solar farm site and L3625. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems.

2. Underground Grid Connection Along L3625: This phase entails the installation of underground cables along the designated route of L3625. It involves trenching, laying of cables, and backfilling. Excavation, cable laying, jointing, and testing procedures will be conducted in accordance with regulatory standards and safety protocols.

3. Overhead Grid Connection Between L3625 and the Substation: This phase encompasses the construction of the overhead grid connection between L3625 and the substation. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems. Note, the final approx. 8m run to the 38kV substation will be underground.

Assessment

The proposal constitutes “development” for the purposes of the Act insofar as “works” are being carried out. The question therefore is whether or not the works constitute “exempted development” for the purposes of the Act

In respect of the works proposed, Class 26 and Class 27 of Part 1 of Schedule 2 would appear to apply in this instance, however this exemption is only applicable to an “*undertaker authorised to provide an electricity service*”.

The applicant in documents lodged has provided some additional clarity and supporting precedent around this issue. In particular I note the following:

Article 3(3) of the regulations states that an electricity undertaking means an undertaker authorised to provide an electricity service. The Electricity Regulation Act 1999 provides a definition as follows:

“electricity undertaking” means any person engaged in generation, transmission, distribution or supply of electricity, including any holder of a licence or authorisation under this Act, or any person who has been granted a permit under Section 37 of the Principal Act

In light of these definitions, it would appear the applicant falls within the category of undertaker on foot of its authorisation under the Planning Act to construct a solar farm that is a project for the provision of electricity. Notwithstanding, it is not stated in the documents lodged that the applicant has applied for Authorisation to Construct from the Commission for Regulation of Utilities under section 14 of the Electricity Regulation Act 1999. Similarly, in order to generate electricity, the applicant must obtain a License to Generate from the Commission. These consents may yet to be obtained. As such there is still a question over the legitimacy of “authorised undertaker”

In relation to this matter, I refer to precedent- in particular ABP-302895-18, Kildare County Council Reference ED/00656). I have reviewed that case and this question did arise. The ABP inspector states in that referral the fact that the applicants have been granted permission for an electricity generating development is sufficient to classify the applicants as

coming under Class 26, Part 1 Schedule 2 of the Planning and Development Regulations. This is a similar scenario to the subject proposal and that context I am satisfied that the applicant meets the provisions of Class 26 and Class 27

Restrictions on Exemption

Section 4(4) of the Act essentially de-exempts any development which attracts a requirement for Environmental Impact Assessment (EIA) or Appropriate Assessment (AA).

In relation to EIA, the development of a grid connection between the solar farm development permitted under ref no. 16/6302 and the ESB substation is not a prescribed class of development for the purposes of EIA. In consideration of screening for EIA, I would note that the original solar farm application was not subject to EIA and is not a prescribed class of development for the purposes of EIA. Please note that the original permission included reference to the subject connection route thus there is no concern over "project splitting. Accordingly I am satisfied that no further EIA requirements arise

As regards Appropriate Assessment, the grid connection is in relation to a permitted development (16/6302). "The information submitted with the referral includes a screening report which has been reviewed by the ecology section (see appendix B). The ecology section is satisfied that the proposed does not pose any risk to the integrity of Natura 2000 sites as would warrant AA

Article 9 restrictions

Having considered the restrictions under Article 9, the following subsections are relevant

(ii) Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.

The proposal does not contravene any conditions

(iii) endanger public safety by reason of traffic hazard or obstruction of road users,

The area engineer has reviewed this element (see appendix A) and has indicated that the inclusion of private cables on public roads is undesirable and not encouraged by CCC. Please note that the issue of road opening licensing is however somewhat separate to this S5 process. In this regard I note the comments of the ABP inspector on a similar case (see RL 310121-21)

"Given that a Road Opening License is required prior to the construction of the proposed development under Section 254 of the Planning and Development Act 2000 (as amended), I am satisfied that all road safety issues will be addressed by the Roads Authority. On this basis I do not consider the proposed development would create a traffic hazard and, thereby, would not be restricted on exemption under Article 9(1)(a)(iii) of the Regulations

While a similar conclusion could likely be drawn in this instance, it may be that F.I will be required in relation to element ViiA (see below). As such, there may be merit in including this concern raised by the area engineer to ensure completeness of application

(V and ViiA)

In respect of possible impact on archaeological or other sites of interest that are subject of preservation / conservation objectives Article 9(1)(a)(vii) and (ViiA). The file has been referred to the co. archaeologist (see report under appendix). The co. archaeologist is unable to make a determination on this issue as no supporting documentation has been provided in relation to archaeological matters. F.I will be needed

The conclusions in relation to AA and EIA above refer in the context of Article 9(1)(a) (viiB) and 9(1)(c). The ecologist has also reviewed the proposal against elements Vii, ViiB and ViiC and is satisfied that no ecological issues arise

Conclusion

In considering this referral, and having had regard particularly to -

- (a) Section 2(1), 3(1), 4(4), 172(1) of the Planning and Development Act, 2000, as amended,
- (b) Articles 3, 6 and 9 and Class 26, and Class 27 Part 1 Schedule 2 of the Planning and Development Regulations, 2001, as amended,

The Planning Authority has concluded that:

Further Information is required to complete the determination

An Archaeological Impact Assessment shall be prepared a suitably qualified archaeologist of the development site.

This archaeological assessment should

- examine the known and predicted archaeological environment
 - examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
 - evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology
 - propose a strategy to mitigate the adverse effects of the development on the archaeological heritage
2. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval

remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.

3. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
4. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

In addition, please note that it is the policy of Cork County Council to deter the use of private cabling along a public road. This may cause issue with the securing of a road opening license. You are also advised to contact the roads engineering section (Midleton office) in respect of this matter

Enda Quinn
Executive Planner
12/11/2024

D/271/24 Section 5 Declaration of Exemption for 20kV Grid Connection at Teadmore Solar Park (Reg. Ref. 16/06302

Ecology Office Report

The purpose of this report is to assess whether the proposed grid connection which is the subject of the above referenced Section 5 Declaration application would be likely to trigger any relevant Ecological Restrictions on Exemptions under Article 9 of the Planning and Development Regulations 2001 (as amended).

Project Details

This is a Section 5 Declaration application querying whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midleton Co. Cork is development which is exempted development.

The Teadmore Solar Park was permitted under Reg. Ref: 16/06320 in 2017 and permission for modifications to the substation within the solar farm was subsequently permitted in 2024 under Reg. Ref. 24/5276. The grid connection proposed is c.3.03km in length and consists of 1.03km of underground cable largely located along the public road (L3612) with undergrounding also within the Carrigshane substation and the solar farm. The route will predominantly comprise of an overhead line comprising of c.2km. No streams or watercourses will be crossed to facilitate the development.

An Outline Construction Method Statement and Appropriate Assessment Screening Report including habitat survey have been submitted in support of the Section 5 application.

Site Context and Location

The site is located to the north of the existing Teadmore Solar Park and south of the Carrigshane substation. These lands are located 4km to the south of Midleton and 3km to the north of Cloyne within a rural area. The site is accessed via the L3630 roadway which forms part of the development site. The proposed development is not located within the floodzone according to available Cork County Development Plan 2022 flood mapping available on the CCC PEQ system.

The Knockmaddree 010 watercourse is located c.350m to the west and the Dower Stream which forms a tributary of the Womanagh 020 is located c.415m to the south of the grid connection and is located south of the solar farm site. These watercourses can be seen in Figure 1 below. These watercourses are not directly connected to the route of the grid connection.

There are five European Sites located within 15km of the Application Site, which are listed as follows:

- Cork Harbour SPA (Site Code: 4030) located 1.9km to the west of the site;
- Ballycotton Bay SPA (Site Code: 4022) located 8.2km to the south east of the site;
- Great Island Channel SAC (Site Code: 1058) located 1.9km to the west of the site;
- Ballymacoda (Clonpriest and Pillmore) SAC (Site Code: 0077) located 12km to the east; and
- Ballymacoda Bay SPA (Site Code: 4023) located 12km to the east of the site.

The following proposed Natural Heritage Areas (pNHAs) are located within the vicinity of the site:

- Great Island Channel (Site Code: 1058) pNHA is located c. 1.9km to the west of the site;
- Carrigshane Hill (Site Code: 1042) pNHA located c. 1km to the north west; and
- Loughs Aderry and Ballybutter pNHA (Site Code: 0446) located 1.4km to the north east.

Figure 1: Site Location and Context



Source: EPA Eden Mapping System (accessed: 11/11/2024)

Assessment

European Sites

An Appropriate Assessment Screening Report has been submitted in support of this application prepared by MKO planning and Environmental Consultants. Per the Screening report, a total of five European Sites are identified to be located within 15km of the project site including the Great Island Channel SAC, Ballymacoda (Clonpriest and Pillmore) SAC, Cork Harbour SPA, Ballycotton Bay SPA and Ballymacoda Bay SPA. The AA Screening report as submitted concludes that there is no hydrological or ecological connection between the proposed development and any of these European Sites and the site does not cross any large drains or watercourses. It is further submitted that whilst the proposed grid connection includes overhead lines, considering the nature and scale of the development, lack of significant supporting habitat, the separation distance between the proposed development site and the SPAs involved, that no significant effect as a result of the collision are anticipated as a result of the proposed development. The AA Screening report also considers potential for cumulative and in combination effects having regard to plans, projects and planned development for the area. The report concludes that no pathway or mechanism for the proposed development to result in any significant effect on any European Site was identified and therefore, there is no potential for it to contribute to any such effects when considered in-combination with any other development. The AA Screening concludes that 'It is concluded beyond reasonable scientific doubt, in view of best scientific knowledge, on the basis of objective information and in light of the conservation objectives of the relevant European sites, that the proposed development, individually or in combination with other plans and projects, will not have a significant effect on any European Site'.

Having reviewed the relevant documentation as submitted and having reviewed the relevant ecological data sets in relation to each of the mentioned European Sites, it is determined that a Stage 2 Appropriate Assessment is not required because it can be excluded on the basis of the latest and best objective scientific information following screening, that this project, individually and/or in combination with other plans and projects, will not have a significant effect on the Great Island Channel SAC, Ballymacoda (Clonpriest and Pillmore) SAC, Cork Harbour SPA, Ballycotton Bay SPA and Ballymacoda Bay SPA in view of their conservation objectives and there will be no adverse effects on the integrity of the named European sites. It is therefore concluded that the proposed project does not pose a risk of significant effects on the integrity of any Natura 2000 site for the following reasons:

- There is no spatial overlap between the proposed development site and any Natura 2000 site;
- No direct loss, alteration or fragmentation of habitats will occur within any Natura 2000 site;
- The risk of surface water emissions associated with the proposed development is considered low given the small scale of the proposed development and the lack of any direct hydrological connection to any Natura 2000 site during the construction or operational phase.
- Considering the nature and scale of the development, lack of significant supporting habitat, the separation distance between the proposed development site and the referenced SPA sites, no significant effect as a result of the disturbance or collision are anticipated, as a result of the proposed development.
- No potential for in-combination effects have been identified.

It is therefore determined that Appropriate Assessment is not required.

Natural Heritage Areas

There are no Natural Heritage Areas within the vicinity of the project site. I note the above listed pNHA's located within the vicinity of the site and having regard to the distance between the project site and lack of any hydrological or ecological connection to these pNHA sites, I am satisfied that the proposed development does not pose a risk of having an adverse impact on a Natural Heritage Area or a proposed Natural Heritage Area.

Article 9 Ecological Restrictions Assessment

Development to which Article 6 of the Planning and Development Regulations 2001 (as amended) relates shall not be exempted development for the purposes of the Act should any Article 9 restrictions apply.

I have reviewed the proposal having regard to the Article 9(1)(a)(vii), (viiB) and (viiC) which include ecological related restrictions on Article 6 exemptions as detailed in columns 1 and 2 of **Table 1** below. I include my conclusion in relation to this assessment in column 3 of **Table 1** below.

Table 1: Article 9 Restrictions Assessment (Ecological Related)

Relevant Provisions	Detailed Provisions	Conclusion of Assessment
Article 9 (1)(a)(vii)	consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of	I am satisfied that the proposal as presented does not pose a risk of having a

Relevant Provisions	Detailed Provisions	Conclusion of Assessment
	archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,	significant effect on any features or other objects of ecological interest in respect of this Article 9 restriction on exemption.
Article 9 (1)(a)(viiB)	comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,	I am satisfied that the proposed development does not pose a risk of having a significant adverse effect on any Natura 2000 site(s), alone or in combination with other Plans or Projects.
Article 9 (1)(a)(viiC)	consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.	I am satisfied that the proposal does not pose a risk of having an adverse impact on a Natural Heritage Area or proposed Natural Heritage Area.

Conclusion

Having regard to the proposal as presented under D/217/24 for a 20kv underground and overhead grid connection from the permitted Teadmore Solar Park to the existing 38kV substation at Carrigshane, Midelton Co. Cork, I am satisfied that no de-exemption applies under Article 9 (1)(a)(viiB) and (viiC) of the Planning and Development Regulations 2001 (as amended). I am also satisfied that no de-exemption applies under Article 9 (1)(a)(vii) of the Planning and Development Regulations in respect of any features or other objects of ecological interest.



Joy Barry
Ecology Office Planner
11/11/2024

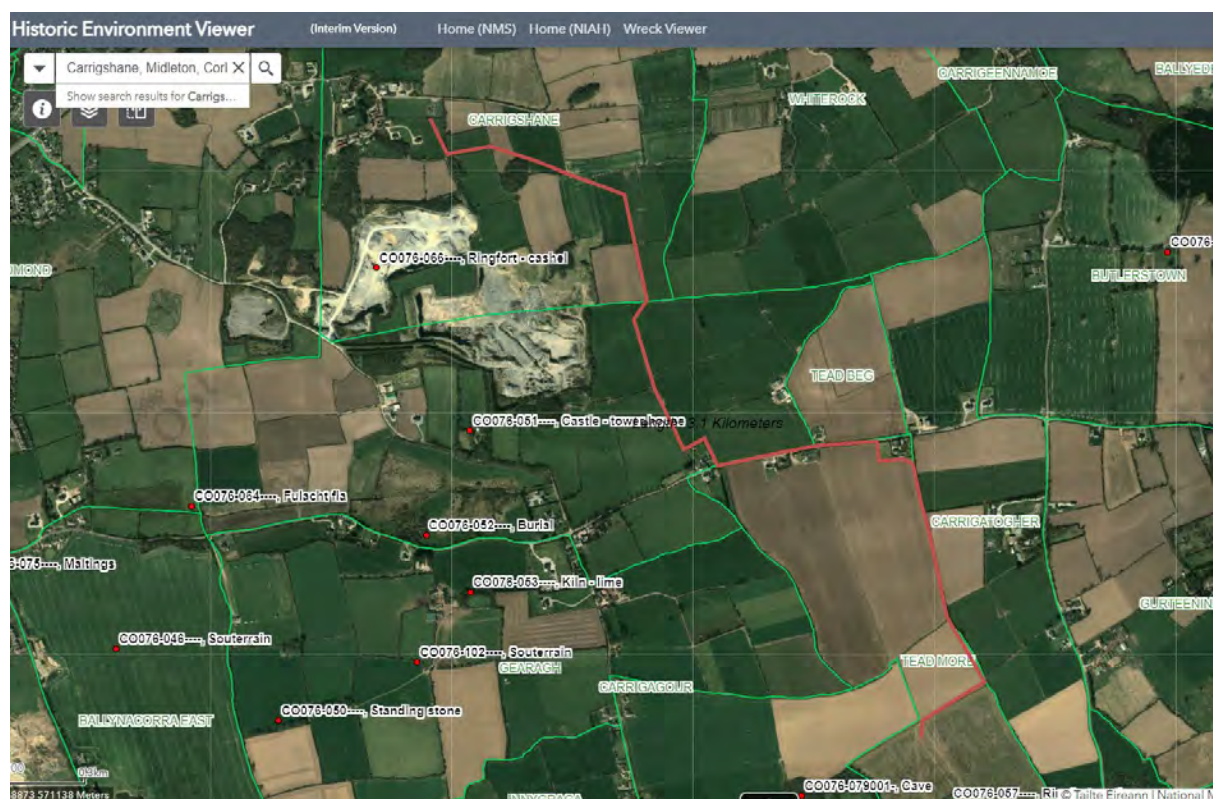
Section 5 Application - Grid Connection at Tead More Solar Park, in relation to PI. Ref 16/06302

Status

MKO have been requested to seek a Section 5 Declaration of Exemption or otherwise from Cork County Council, in respect of determining whether the proposed 20kV Grid Connection from the permitted Tead More Solar Park (PI. Ref 16/06302), does or does not constitute as Exempted Development under Section 5 of the Planning and Development Act 2000, as amended (the Act).

The route is over 1km and therefore is considered *large in scale*.

It is noted that the route which is a combination of an OHL and UG grid connection is proposed to be located in green fields and some local roads. It does not traverse any statutory Zones of Notification for any Recorded Archaeological Monuments.



Route superimposed on Historic Env Viewer (approx. only).

County Development Plan - Objectives

County Development Plan 2022 Objectives HE 16-2:
Protection of Archaeological Sites and Monuments

Secure the preservation (i.e. preservation in situ or in exceptional cases preservation by record) of all archaeological monuments and their setting included in the Sites and Monuments Record (SMR) (see www.archaeology.ie) and the Record of Monuments and Places (RMP) and of sites, features and objects of archaeological and historical interest generally. In securing such preservation, the planning authority will have regard to the advice and recommendations of the Development Applications Unit of the Department of Housing, Local Government and Heritage as outlined in the Frameworks and Principles for the Protection of the Archaeological Heritage policy document or any changes to the policy within the lifetime of the Plan.

**County Development Plan 2022 Objectives HE 16-3:
Underwater Archaeology**

Protect and preserve the archaeological value of underwater archaeological sites and associated underwater and terrestrial features. In assessing proposals for development, the development will take account of the potential underwater archaeology of rivers, lakes, wetlands, intertidal and sub-tidal environments through appropriate archaeological assessment by a suitably qualified archaeologist.

**County Development Plan 2022 Objectives HE 16-5:
Zones of Archaeological Potential**

Protect the Zones of Archaeological Potential (ZAPs) located within historic towns, urban areas and around archaeological monuments generally. Any development within the ZAPs will need to take cognisance of the upstanding and potential for subsurface archaeology, through appropriate archaeological assessment.

**County Development Plan 2022 Objectives HE 16-6:
Industrial and Post Medieval Archaeology**

Protect and preserve industrial and post-medieval archaeology and long-term management of heritage features such as mills, limekilns, forges, bridges, piers and harbours, water-related engineering works and buildings, penal chapels, dwellings, walls and boundaries, farm buildings, estate features, military and coastal installations. There is a general presumption for retention of these structures and features. Proposals for appropriate redevelopment including conversion should be subject to an appropriate assessment and record by a suitably qualified specialist/s.

**County Development Plan 2022 Objectives HE 16-7:
Battlefield, Ambush and Siege Sites and Defensive Archaeology**

Protect and preserve the defensive archaeological record of County Cork including strategic battlefield, ambush and siege sites, and coastal fortifications and their associated landscape due to their historical and cultural value. Any development within or adjoining these areas shall undertake a historic assessment by a suitably qualified specialist to ensure development does not negatively impact on this historic landscape.

**County Development Plan Objectives HE 16-8:
Burial Places**

Protect all historical burial places and their setting in County Cork and encourage their maintenance and care in accordance with appropriate conservation principles.

**County Development Plan Objectives HE 16-9:
Archaeology and Infrastructure Schemes**

All large scale planning applications (i.e. development of lands on 0.5 ha or more in area or 1km or more in length) and Infrastructure schemes and proposed roadworks are subjected to

an archaeological assessment as part of the planning application process which should comply with the Department of Arts, Heritage and the Gaeltacht's codes of practice. It is recommended that the assessment is carried out following pre planning consultation with the County Archaeologist, by an appropriately experienced archaeologist to guide the design and layout of the proposed scheme/development, safeguarding the archaeological heritage in line with Development Management Guidelines.

**County Development Plan Objectives HE 16-10:
Management of Monuments within Development Sites**

Where archaeological sites are accommodated within a development it shall be appropriately conservation/ protection with provision for a suitable buffer zone and long-term management plan put in place all to be agreed in advance with the County Archaeologist.

**County Development Plan Objectives HE 16-11:
Archaeological Landscapes**

To protect archaeological landscapes and their setting where the number and extent of archaeological monuments are significant and as a collective are considered an important archaeological landscape of heritage value.

**County Development Plan Objectives HE 16-12:
Raising Archaeological Awareness**

As part of the Heritage Plan it is an objective to develop a management plan, if resources allow, for the archaeology of County Cork, which could include an evaluation of the Historic Character Assessment of Cork County helping to identify areas for tourism potential, and strategic research while also promoting best practice in archaeology and encouraging the interpretation, publication and dissemination of archaeological findings from the development application process.

**County Development Plan Objectives HE 16-13:
Undiscovered Archaeological Sites**

To protect and preserve previously unrecorded archaeological sites within County Cork as part of any development proposals. The Council will require preservation in situ to protect archaeological monuments discovered. Preservation by record will only be considered in exceptional circumstances.

Impact / Conclusion

I note that MKO have addressed the Planning exemptions where it relates to archaeology, cultural heritage (Cover Letter Table 1).

Planning Regulations, Exemption and Archaeology

Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would—

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan,

in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan.

Comment: The protection of Archaeology and Cultural Heritage is paramount and the objectives of the County Development Plan note that developments (linear) in excess of 1km should be subject to an archaeological assessment (HE16-9). In the absence of an archaeological overview or archaeological assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted. In this regard, the applicant should submit an Archaeological Impact Assessment (including visual assessment given that the application includes an Overhead element). Furthermore, access to the works areas have not been identified and should be identified and assessed by an archaeologist in order to provide comfort to the L/A that no impacts will occur to such features (which may appear on historic mapping, sub-surface, areas of archaeological potential such as river crossings, streams).

(vii a) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended.

Comment:

MKO have noted (Cover letter Table 1, Planning Exemptions and restrictions) that the proposed works do not comprise the excavation, alteration or demolition of any monument included in the Record of Monuments and Places. I concur with this determination in that the proposed works are not such that Section 5 applies.

Overall Conclusion:

In the absence of an Archaeological / Historical Impact Assessment, I cannot be certain that the development will not comprise the excavation, alteration or demolition of features, sites of archaeological or historical interest. In this regard, I am unable to make a determination based on the information submitted and therefore the applicant should submit an Archaeological/Historical Impact Assessment (including visual assessment given that the application includes an Overhead element). This will allow the planning authority to make a fully informed decision / determination on the Section 5 application. Please submit Further Information as follows:

An Archaeological Impact Assessment shall be prepared by a suitably qualified archaeologist of the development site.

This archaeological assessment should

- examine the known and predicted archaeological environment
- examine the proposed development (overhead and underground elements, access routes, and any other elements of the proposed development that may require groundworks including river crossings, streams etc)
- evaluate the proposed development in terms of the impact (direct and indirect) of the proposed works on existing or predicted archaeology
- propose a strategy to mitigate the adverse effects of the development on the archaeological heritage

5. The archaeologist should carry out any relevant documentary research and inspect the site. A field survey (including a record of any standing remains including post-medieval remains) shall be carried out. Once the archaeology and potential archaeology of the site has been identified, the archaeologist shall contact the Local Authority Archaeologist, Annette Quinn to agree an appropriate strategy to mitigate for any adverse effects of the development on the archaeological heritage such as Archaeological testing, monitoring of ground works, buffer zone, relocation of the proposed development, re-design if required.
6. A visual impact assessment of the impact of the proposed development on adjacent archaeological sites and monuments shall be carried out. Views to and from adjacent archaeological monuments shall be assessed in light of the proposed development with a detailed mitigation plan or re-design to reduce potential negative effects on setting.
7. Having completed the work, the archaeologist shall prepare a written report compiling the above information, with clearly labelled drawings (with the monument overlaid with the proposed development with any required buffer zones) and relevant photographs to the Planning Authority and to the National Monuments Service of the Department of Housing, Local Government and Heritage for consideration.

Area engineer comments

Hi Paul,

There appears to be 450m of underground cable on the L-3625-0 public road. This would be very undesirable. CCC policy is to not have private cables such as this on public roads. If the proposed 30kV underground and overground grid connection doesn't go for planning and is considered exempt the policy would still need enforced.

Enda & Dave may have further comment on same.

Regards,

Janette

Comhairle Contae Chorcaí Cork County Council

Anna O'Brien,
Carrigshane,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kV underground and overhead grid connection from the permitted Teadmore Solar Park to the existing 38kV substation at Carrigshane, Midleton, Co. Cork is or is not development or is or is not exempted development

Dear Madam,

Please be advised that a declaration has been sought with respect to Section 5 of the Planning and Development Act 2000 (as amended) from the Planning Authority by Tead More Solar Ltd with respect to whether the above description between Tead More & Carrigshane, Midleton, Co. Cork constitutes development.

You are being notified as the applicant has indicated that you are one of the legal owners of the land in question.

Yours faithfully,



Angela Carrigy
ASO PLANNING DEPARTMENT

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.
Fón: (021) 4276891
R-phost: planninginfo@corkcoco.ie
Suíomh Gréasáin: www.corkcoco.ie

Planning & Development,
County Hall,
Carrigrohane Road, Cork T12 R2NC.
Tel (021) 4276891
Email: planninginfo@corkcoco.ie
Web: www.corkcoco.ie



Comhairle Contae Chorcaí Cork County Council

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Planning & Development,
County Hall,



Olivia Ryan,
Carrigshane,
Midleton,
Co. Cork

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Yours faithfully,

Angela Carrigy
ASO PLANNING DEPARTMENT

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>



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Comhairle Contae Chorcaí Cork County Council

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.

Fón: (021) 4276891
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Planning & Development,
County Hall,
Carrigrohane Road, Cork T12 R2NC.

Tel (021) 4276891
Email: planninginfo@corkcoco.ie
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Andrew David Daly,
Gurteenina,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

Whether the development of 20kV underground and overhead grid connection from the permitted Teadmore Solar Park to the existing 38kV substation at Carrigshane, Midleton, Co. Cork is or is not development or is or is not exempted development

Dear Sir,

Please be advised that a declaration has been sought with respect to Section 5 of the Planning and Development Act 2000 (as amended) from the Planning Authority by Tead More Solar Ltd with respect to whether the above description between Tead More & Carrigshane, Midleton, Co. Cork constitutes development.

You are being notified as the applicant has indicated that you are one of the legal owners of the land in question.

Yours faithfully,



Angela Carrigy
ASO PLANNING DEPARTMENT

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>



We are Cork.



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Comhairle Contae Chorcaí Cork County Council

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.
Fón: (021) 4276891
R-phost: planninginfo@corkcoco.ie
Suíomh Gréasáin: www.corkcoco.ie
Planning & Development,
County Hall,
Carrigrohane Road, Cork T12 R2NC.
Tel (021) 4276891
Email: planninginfo@corkcoco.ie
Web: www.corkcoco.ie



Matthew & Paula McAuliffe,
Coppingerstown,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

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Planning & Development,
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William O'Brien,
Carrigshane,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.


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Tel (021) 4276891
Email: planninginfo@corkcoco.ie
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Michael O'Brien,
Carrigshane,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

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Planning & Development,



Denis O'Brien,
Carrigshane,
Midleton,
Co. Cork

County Hall,
Carrigrohane Road, Cork T12 R2NC.
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16th October, 2024

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ASO PLANNING DEPARTMENT

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David O'Brien,
Carrigshane,
Midleton,
Co. Cork

16th October, 2024

Our Ref.: D/271/24

Re: Declaration of Exempted Development under Section 5 of The Planning and Development Act 2000 – 2010.

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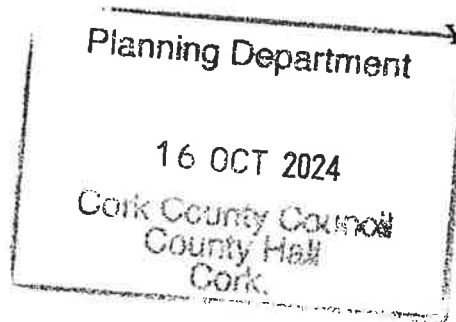


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Cork County Council,
Planning Department,
Ground Floor,
County Hall,
Carrigrohane Road,
Cork.
T12 R2NC

Our ref: 230203
Your ref:



Date: 14th October 2024

Re: Section 5 Declaration of Exemption for 20kV Grid Connection at Tead More Solar Park, in relation to Pl. Ref 16/06302

Dear Sir/Madam,

On behalf of our client Tead More Solar Limited, with an address at 5 Mount Street Upper, Dublin 2, Dublin, Ireland, MKO have been requested to seek a Section 5 Declaration of Exemption or otherwise from Cork County Council, in respect of determining whether the proposed 20kV Grid Connection from the permitted Tead More Solar Park (Pl. Ref 16/06302), does or does not constitute as Exempted Development under Section 5 of the Planning and Development Act 2000, as amended (the Act).

This Section 5 application seeks a declaration from Cork County Council on the following;

“Whether the development of 20kv underground and overhead grid connection from the permitted Teadmore Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is development which is exempted development.”

The proposed development consists of:

“The laying of 20kV underground (0.94km) and erection (1.86km) of overhead electricity transmission cable and associated joint bays and communications chambers through the townland of Tead More from the permitted Tead More Solar Park (Pl. Ref 16/06302) to the existing 38 kV ESB Substation located at Carrigshane, Midleton, Co. Cork. The proposed cable route is c.2.8km in length and runs through the townlands of Tead More & Carrigshane.”

It is our opinion that the development to provide a 20kv underground and overhead grid connection, which is the subject of this Section 5 referral, constitutes exempted development under the terms of Class 26 and Class 27 of Schedule 2, Part 1 provided it meets certain criteria as set out in Article 6 Planning and Development Regulations 2001 (as amended).

MKO, Tuam Road, Galway, H91 VW84
+353 (0)91 735 611 | mkoireland.ie | info@mkoireland.ie

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Context of the Proposed Grid Connection

The purpose of the proposed grid connection is for the transmission of electrical power generated at the permitted Keiloge Solar Farm to the National Grid via the existing Carrigshane 38kV substation. The proposed route represents the most direct route from the permitted solar park to the existing substation.

Appropriate Assessment

An Appropriate Assessment screening report prepared by MKO accompanies this request submitted to the Planning Authority. The screening report concludes:

“It is concluded beyond reasonable scientific doubt, in view of best scientific knowledge, on the basis of objective information and in light of the conservation objectives of the relevant European sites, that the proposed development, individually or in combination with other plans and projects, will not have a significant effect on any European Site”.

Statutory Provisions

Part 1, Section 2(1) of the Planning and Development Act 2000 (as amended) (the Act) states that, “works” includes ‘*any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure*’.

Part 1, Section 2(1) of the Act states that a “statutory undertaker” means a person, for the time being, “*authorised by or under any enactment or instrument under an enactment to - (a) construct or operate a railway, canal, inland navigation, dock, harbour or airport, (b) provide, or carry out works for the provision of gas, electricity or telecommunications services, or (c) provide services connected with, or carry out works for the purposes of the carrying on of the activities of, any public undertaking*”.

Part 1, Section 4(1) sets out the various forms and circumstances in which development is exempted development for the purposes of the Act.

Part 1, Section 4(2)(a)(i) states that “*the Minister may by regulations, provide for any class of development to be exempted development for the purposes of this Act, where he or she is of the opinion that - (i) By reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development,*”

Part 1, Section 4(4) states that “*notwithstanding... any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or appropriate assessment of the development is required*”.

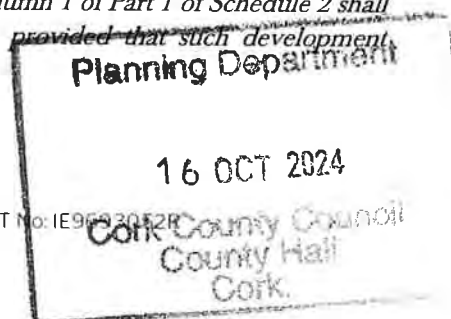
The Planning and Development Regulations 2001 (as amended) set out types of development which may be exempted development under the meaning of the Act.

Article 6(1):

“Subject to article 9, development of a class specified in Column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, ~~provided that such development,~~

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complies with the conditions and limitations specified in Column 2 of the said Part 1 opposite the mention of that class in the said Column 1."

Schedule 2, Part 1: Development by Statutory Undertakers

Class 26:

"The carrying out by any undertaker authorised to provide an electricity service of development consisting of the laying underground of mains, pipes, cables or other apparatus for the purposes of the undertaking".

Class 27:

"The carrying out by any undertaker authorised to provide an electricity service of development consisting of the construction of over-head transmission or distribution lines for conducting electricity at a voltage not exceeding a nominal value of 20kV"

An "electricity undertaking", as referred to in Class 26 and 27, Part 1, Schedule 2 is defined in Article 3(3) of the Regulations as "*undertaker authorised to provide an electricity service*". The Electricity Regulation Act 1999 provides a definition of an electricity undertaking which means "*any person engaged in generation, transmission, distribution or supply of electricity, including any holder of a licence or authorisation under this Act, or any person who has been granted a permit under Section 37 of the Principal Act.*"

In the absence of a statutory definition of that term it would appear that it is intended to refer to an undertaking which has been granted the necessary licences and/or authorisation pursuant to the Electricity Regulation Act 1999. In this regard, the applicant Teadmore Solar Farm Limited is a statutory undertaker for the purposes of constructing the proposed 20kV electrical connection to the specifications of ESB Networks and ultimately to be owned and operated by them.

Article 9(1) Restrictions on Exemptions

Relevant provisions of Article 9(1) which sets out restrictions of Exempted Development which shall not be exempted development for the purposes of the Act are set out in Table 1 with a response indicating whether the proposed works would be 'de-exempt' under the meaning of relevant provisions of Article 9(1).

Table 1 restrictions of exceptions as set out in Article 9(1) of the Regulations

"9(1) (a) Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(i) Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.	The proposed works would not contravene any relevant permission.
(ii) endanger public safety by reason of traffic hazard or obstruction of road users	<p>The proposed works comprise works on the public road network and would be subject to a road opening licence as set out in the Road Act 1992 (as amended). The Roads Authority may administer a road opening licence subject to conditions to ensure public safety and to manage impact on road users.</p> <p>An application for a Road Opening License from the Road Authority must be in accordance with the <i>Guidelines for</i></p>

MKO, Tuam Road, Galway, H91 VW84
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Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork

Managing Openings in Public Roads, prepared by the Department of Transport, Tourism and Sport. Section 3.4 of the Guidelines require that a Temporary Traffic Management Plan is prepared in agreement with the Planning Authority at the licencing stage. Therefore, it can be concluded that, in order to obtain a Road Opening Licence, a Traffic Management Plan will be agreed with the Planning Authority. It can be reasonably assumed that, should the traffic management plan be inadequate, or should the works themselves pose a threat to public safety that a Road Opening Licence would not be issued by the Roads Authority.

For completeness, an Outline Traffic Management Plan (OTMP) has been prepared by Punch Engineering and is included with this referral. The document includes a description of the traffic management measures which include partial road closure (stop and go) as well as provisions to limit the impact on local residents and local quarry access. The OTMP indicates plans for the management of construction traffic as well as deliveries to site including a description of proposed haul routes. A full management plan will be agreed with the Roads Authority prior to the granting of a road opening licence and conditions which may be attached to such a licence shall be fully complied with.

Reference is made in in this matter also to section 8.4.9 of the Inspectors Report of case ref. **ABP-310120-21** which states the following in relation to traffic hazard associated with the laying of 20kV medium voltage cables:

“Given that a Road Opening Licence is required prior to the construction of the proposed development under Section 254 of the Planning and Development Act 2000 (as amended), I am satisfied that all road safety issues will be addressed by the Roads Authority. On this basis I do not consider the proposed development would create a traffic hazard and, thereby, would not be restricted on exemption under Article 9(1)(a)(iii) of the Regulations”.

(iiia) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,

The proposed works do not comprise any development which would result in glint or glare.

(v) consist of or comprise the excavation, alteration or demolition (other than peat

A review of the Cork County Development Plan 2022-2028 indicates that there are no places, caves, sites, features or other



extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest there preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,

objects of archaeological, geological, historical, scientific or ecological interest impacted by the proposed works.



(viiA) comprise of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No 2 of 1930) as amended.

The proposed works do not comprise the excavation, alteration or demolition of any monument included in the Record of Monuments and Places. The nearest RPM feature is CO076-066, a 'ruined cathair' located southwest of the proposed works. Data accessed through the National Monuments Services notes this feature as '*Area now extensively quarried and there was no visible trace of the monument when inspected in 1991*'.

CO076-051, also to the southwest is noted as 'castle towerhouse' with the following description:

'In farmyard; fragmentary remains of small tower house standing to 4 storeys with conjoined rectangular structure to N standing to 1 storey. At ground level walls survive for 7.65m on W side and for 5.7m on S side; only lower courses of N wall survive; E wall entirely fallen. Surviving walls narrow as they rise; at upper levels only short returns of S and W walls remain'.

The proposed works are not works to which Section viiA applies.

(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate

An appropriate Assessment Screening Report has been prepared as part of this referral, as set out above. The report concludes that the subject works are works which would require Appropriate Assessment. As such Section viiB does not apply.

assessment because it would be likely to have a significant effect on the integrity of a European site,

Precedent Exempted Development Examples

Statutory Undertaker

The Planning Authority is referred to the following cases where it was determined that, by reason of holding an authorisation to construct a renewable energy development that, the developer is a statutory undertaker under the meaning of the Act:

- **ABP-302895:** The Board determined that the developer Power Capital Renewable Energy Ltd. was a statutory undertaker for the provision of 20kV medium voltage grid connection from a permitted solar farm to national grid is a statutory undertaker.
- **RL3436:** The Board determined that the developer Ecopower Developments Limited was a statutory undertaker for the provision of 20kV underground from a permitted wind farm to national grid is a statutory undertaker.
- **ABP 307454:** The Board determined that Power Capital Renewable Energy Ltd are a statutory undertaker to provide 20kV medium voltage cable from a permitted solar development to 38kV substation.

Exempted Development

The Planning Authority is referred to the following cases where it was determined that the provision of a 20kV medium voltage grid connection from a permitted renewable energy development to the national grid is development and is exempted development.

- **ABP 307454:** The Board determined that the provision of a 20kV medium voltage underground cable from a permitted solar development to 38kV substation is development and is exempted development.
- **RL3377/RL3401:** The Board determined that the provision of a 20kV electrical connection between Cnoc Wind Farm and Ballybeagh 38Kv substation (Ballbeagh, Tullaroan, County Kilkenny) is development and is exempted development.
- **ABP-302895:** The Board determined that the provision of a medium voltage grid connection between the solar farm development permitted under ref no. 16/1265 and the Dunfirth ESB substation is development and is exempted development.

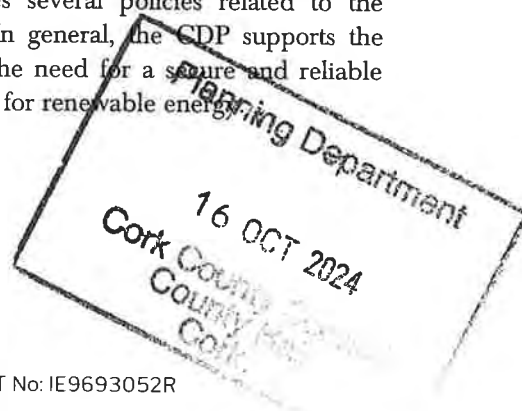
Planning Policy Provisions

The Cork County Development Plan (CDP) 2022-2028 outlines several policies related to the development and maintenance of electricity grid infrastructure. In general, the CDP supports the development of renewable energy in the county and recognises the need for a secure and reliable electricity transmission infrastructure to meet the growth in demand for renewable energy.

Policy ET 13-22- Transmission Network

MKO, Tuam Road, Galway, H91 VW84
+353 (0)91 735 611 | mkoireland.ie | info@mkoireland.ie

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a) *To co-operate and liaise with statutory and other energy providers in relation to power generation in order to ensure adequate power capacity for the existing and future needs of the County including business and residential demands.*

b) *Proposals for new electricity transmission networks will need to consider the feasibility of undergrounding or the use of alternative routes especially in landscape character areas that have been evaluated as being of high landscape sensitivity. This is to ensure that the provision of new transmission networks can be managed in terms of their physical and visual impact on both the natural and built environment and the conservation value of European sites.*

c) *Proposals for development which would be likely to have a significant effect on nature conservation-sites and/or habitats or species of high conservation value will only be approved if it can be ascertained, by means of an Appropriate Assessment or other ecological assessment, that the integrity of these sites will not be adversely affected.*

The proposed works are not in an area of high landscape sensitivity. The landscape character area is identified as **Broad Fertile Lowland Valley**, with a Medium landscape Value, and Medium Landscape Sensitivity. The nearest Scenic Route, the S51 'Road from Ballynacorra via East Ferry to Whitegate and Roches Point' lies to the west and southwest of the proposed works. The views protected are described in the CDP as views of the estuary and harbour, Roches point and the rural coastal environment. The proposed works are between 2 and 3 km inland from the Scenic route and as such will not impact the protected features of the scenic route. In addition, the route is not identified in the CDP as giving a 'sense of remoteness' and the surrounding lands uses adjacent to the proposed works are those of intensive agriculture, quarrying, residential and light industrial uses. As such, it is not expected that the proposed works are such which cannot be absorbed by the existing landscape and will not have an impact on the existing landscape.

The proposed works are not those which may impact any Designated Sites. Cork Harbor SPA and NHA are c. 2-3km from the proposed works. Please refer in detail to the Appropriate Assessment Screening Report enclosed with this referral.

Conclusion

The subject of this Section 5 determination application is whether or not the provision of a 20kV overground and underground electricity transmission cable, 1 no. joint bay and associated polesets for the purposes of connecting the permitted Teadmore Solar Park (Pl. Ref 16/06302) to the existing Carrigshane 38kV Substation is development which is exempted development under the meaning of the Planning and Development Act 2000 (as amended).

The proposed works which come under the meaning of Class 26 and Class 27 of Schedule 2, Part 1: Development by Statutory Undertakers as set out in the Planning and Development Regulations 2001 (as amended). The proposed works are not works to which any de-exemption defined in Article 9(1) applies.

Based on the forgoing, and the additional information enclosed with this referral, it is our opinion that the proposed works are those which are exempted under the meaning of the Act.

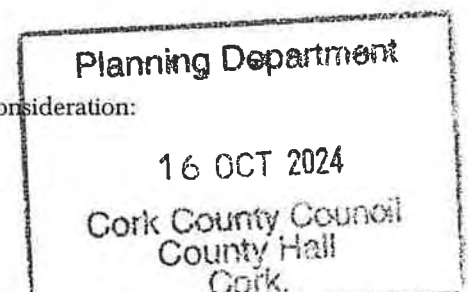
Enclosures

The following documentation is enclosed with this submission for your consideration:

- > Completed Application Form;

MKO, Tuam Road, Galway, H91 VW84
+353 (0)91 735 611 | mkoireland.ie | info@mkoireland.ie

Dublin - MKO, 9C Beckett Way, Park West Business Park, Dublin, D12 XN9W
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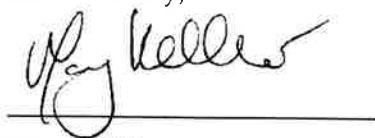


- > Appropriate Assessment Screening Report, prepared by MKO;
- > Planning Drawings prepared by TLI
- > Outline Traffic Management Plan Prepared by Punch Consulting Engineers.
- > Outline Construction Methodology prepared by TLI

Payment of the application fee will be made following receipt of this application by Cork County Council. Once this application has been registered the Application Fee of €80 will be made with regard to the appropriate planning reference number.

We trust that you find the above in order and respectfully request confirmation on receiving this application. Should you require any further information or clarity on any of the items set out above do not hesitate to contact me mkelleher@mkoireland.ie

Yours sincerely,



Mary Kelleher

Project Planner



MKO, Tuam Road, Galway, H91 VW84
+353 (0)91 735 611 | mkoireland.ie | info@mkoireland.ie

Dublin - MKO, 9C Beckett Way, Park West Business Park, Dublin, D12 XN9W
McCarthy Keville O'Sullivan Ltd t/a MKO. Registered in Ireland No: 462657. VAT No: IE9693052R



Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork.



CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION

APPLICANT CHECKLIST

(Please tick ✓)

- 4 No. Copies of Application Form:
- 1 No. Copy of Contact Details:
- 4 No. Copies 6" O.S. Maps:
- 4 No. Copies 25" O.S. Maps:
- 4 No. Copies of Site Layout Plan:
- 4 No. Copies Scaled Drawings of Development:
- €80 Application Fee:

<input checked="" type="checkbox"/>
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<input checked="" type="checkbox"/>
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<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>

Full Planning pack has been sent electronically as agreed with the Planning Authority on 15th October 2024

The fee has been paid to the cash office of Cork County Council Planning Department

FOR OFFICE USE ONLY

Receipt No.	PLG0046384
Cash/Cheque/ Credit Card	CARD
Date	10/10/24
Declaration Ref. No.	D/271/24



DATE STAMP HERE

You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3rd parties to view.

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

DATA PROTECTION

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to dpo@corkcoco.ie or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.

1. NAME OF APPLICANT: (ADDRESS TO BE SUPPLIED AT QUESTION A – CONTACT DETAILS)

Tead More Solar Limited

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION OF EXEMPTION IS SOUGHT:

Tead More & Carrigshane, Midelton, Co. Cork

3. QUESTION/DECLARATION DETAILS:

Please state the specific question for which a Declaration of Exemption is sought

Note: Only works listed and described under this section will be assessed under the Section 5 Declaration of Exemption

Whether the development of 20kv underground and overhead grid connection from the permitted Teadmre Solar Park (Pl. Ref. 16/06302) to the existing 38kV substation at Carrigshane, Midelton Co. Cork is development which is exempted development.”

Please refer in detail to the documentation provided with this application form which includes:

1. Cover Letter
2. AA Screening
3. Outline Traffic Management Plan
4. Outline Construction Methodology
5. Drawings

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Cork.

4. APPLICATION DETAILS:

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m²)

(a) Floor area of existing/proposed structure(s):	N/A
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 st October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A If yes, please provide floor areas (m ²) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following: Existing/previous use _____ _____ Proposed use N/A _____	
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

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 Cork

5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input type="checkbox"/>	B. Other <input checked="" type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:	Works are proposed in the public road and in 3rd party lands	
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):	Landowner names and addresses appended to this application form	

6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please state relevant reference No. _____
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

7. APPROPRIATE ASSESSMENT: Please refer to AA Screening included.


Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes No

8. DATA PROTECTION DECLARATION:

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Processing of your Declaration of Exemption application by the Planning Authority

I give permission for my personal information to be processed for the purpose stated above

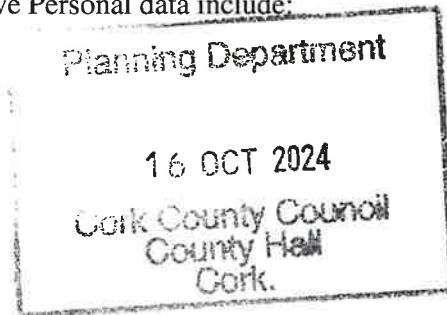
Signed (By Applicant Only)	
Date	11th October 2024

GDPR Special Categories of data / Sensitive Personal data - Explicit Consent

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation



In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Sensitive personal data being submitted in support of Declaration of Exemption Application

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	
Date	11th October 2024

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: planninginfo@corkcoco.ie or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: westcorkplanninginfo@corkcoco.ie However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.

ADVISORY NOTES:

The application must be accompanied by the required fee of €80
 The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.
 Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.
 The application should be sent to the following address:
 The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.

9. I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:

<i>Signed (Applicant or Agent as appropriate)</i>	Mary Kelleher (MKO) 
Date	11th October 2024



ADDITIONAL CONTACT INFORMATION TO BE SUBMITTED WITH APPLICATION

- The applicant(s) address **must** be submitted on this page.
- **Only one copy of this section of the application form needs to be submitted**

(A) Applicant: (From Question 1 of Application Form)

Address (Required):	5 Mount Street Upper, Dublin 2, Dublin, Ireland D02AW82
Telephone No./Mobile No. (if any):	0877811511
Email Address (if any):	james.goldsmith@voltclub.ie

(B) Person/Agent acting on behalf of the Applicant (if any):

Name:	Mary Kelleher
Address:	MKO Tuam Road Galway
Telephone No./Mobile No. (if any):	083 8872813
Email Address (if any):	mkelleher@mkorieland.ie
Should all correspondence be sent to the above address? Please tick appropriate box.	
Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)	

(C) Owner/s (required where applicant is not the owner):

Name:	Land Owner; Address.
Address:	David O'Brien; Carrigshane, Midleton, County Cork. Denis O'Brien; Carrigshane, Midleton, County Cork Michael O'Brien; Carrigshane, Midleton, County Cork William O'Brien; Carrigshane, Midleton, County Cork Matthew and Paula McAuliffe; Coppingerstown, Midleton, County Cork. Andrew David Daly; Gurteenina, Midleton, County Cork Olivia Ryan; Carrigshane, Midleton, County Cork Anna O'Brien; Carrigshane, Midleton, County Cork
Telephone No./Mobile No. (if any)	
Email Address (if any)	

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application. These details will not be made available to any third party with the exception of An Bord Pleanála for the purpose of administering the appeal.

Fully completed application forms should be submitted to the relevant planning office.

CORK COUNTY COUNCIL

County Hall Office

Planning Dept. TEL: (021) 4276891
County Hall, FAX: (021) 4867007
Carrigrohane Road,
Cork, T12 R2NC

West Cork Planning Office

Norton House, TEL: (028) 40340
Cork Road, FAX: (028) 21660-1
Skibbereen
Co. Cork, P81 AT28

WEB ADDRESS: www.corkcoco.ie



20kV Tead More Solar Farm 20kV Grid
Connection Route, Co. Cork

Outline Construction Traffic Management Plan
232125-PUNCH-XX-XX-RP-C-0017

October 2024



Document Control

Document Number: 232125-PUNCH-XX-XX-RP-C-0017

Status	Revision	Description	Date	Prepared	Checked	Approved
A0	C01	Planning Issue	11/10/2024	D Trkulja	MC Daly	C Murphy



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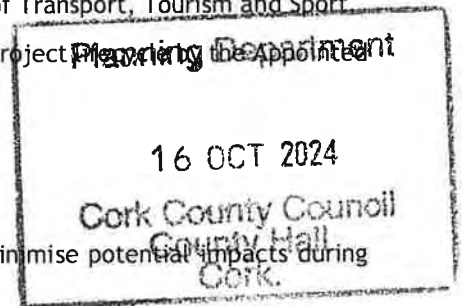
1 Introduction

1.1 General

PUNCH Consulting Engineers have been appointed by Tead More Solar Ltd to produce an Outline Construction Traffic Management Plan (OCTMP) for the Grid Infrastructure (the proposed development) in Tead More, Ballynacorra, Co. Cork. The development includes installation of overhead and underground cables from a solar farm, which was granted planning permission by Cork County Council under planning reference number 166302, to the existing Carrigshane 38kV Substation.

This OCTMP sets out guidelines on traffic management during the construction phase of the development. It has been prepared prior to the appointment of a contractor. It will be the responsibility of the appointed contractor to prepare and submit a full detailed Construction Traffic Management Plan (CTMP) to Cork County Council and An Garda Síochána for agreement and approval, prior to commencement of construction. All works are to be agreed with the Roads Authority prior to commencement of the works through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

The CTMP will be a live document that will be updated throughout the project by the Appointed Contractor if required.



1.2 Purpose and Scope

This OCTMP is a critical construction contract document, aiming to minimise potential impacts during the proposed scheme's construction. Its objectives include:

1. Outlining minimum traffic management measures for site access/egress points and their approaches during the works,
2. Outlining traffic management options for grid laying within roads during the works,
3. Demonstrating to the Developer, Contractor and Suppliers the need to adhere to the relevant guidance documentation for such works,
4. Providing a basis for the Contractor to develop the OCTMP into a comprehensive CTMP.

The Developer or the Employer's Representative will be responsible for ensuring that the Contractor develops this OCTMP into a CTMP and manages the construction activities in accordance with the CTMP.

Objectives and measures are also included for the management, design and construction of the project to control the traffic impacts of construction as it may affect the environment, local residents and the public in the vicinity of the construction works.

The goal of this OCTMP is to minimise residual impacts on the public road network during the construction phase of the proposed development, ensuring transport-related activities are conducted with maximum safety and minimal disruption to other road users.

The OCTMP has also been prepared to identify safe and suitable methods of access for construction traffic to the proposed development. It outlines traffic management strategies for transporting construction materials, equipment, and personnel along the public road network to facilitate the development's construction. Site operatives will primarily use light vehicles, while Heavy Goods Vehicles (HGVs) will transport general construction materials like fill material, concrete, poles, cables etc., to the site and remove excavated material for off-site disposal.

The development of grid route infrastructure such as that associated with the Proposed Development in the public road network is subject to the granting of a road opening license by the roads authority. The legal framework establishing the powers of the road authorities and various other public and private bodies in respect of work forming openings in public roads is established in the Roads Act 1993 ('the Roads Act').

Section 13(10)(b) of the Roads Act provides powers to the road authority to consent to allow works to be carried out on a road, and such permission constitutes a 'road opening license'. In the granting of a road opening license, the road authority may attach restrictions and/or conditions to a road opening license as it deems appropriate. The procedures and requirements in relation to the licencing of works in the public road is set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

Should road closures be required, these are dealt with by way of road closure licence issued also by the road authority. A Community Liaison Officer will be appointed by the developer who will be available to inform local residents of the works prior to commencement.

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2 Existing Conditions

2.1 Site Location

The Carrigshane 38kV Substation is situated around 3.03km northwest of the proposed solar farm site, and approximately 600 meters east of Midleton. Meanwhile, the proposed solar farm site is located approximately 2.8 kilometres southeast of Midleton.

Please refer to Figure 2-1 for the location of the proposed works.

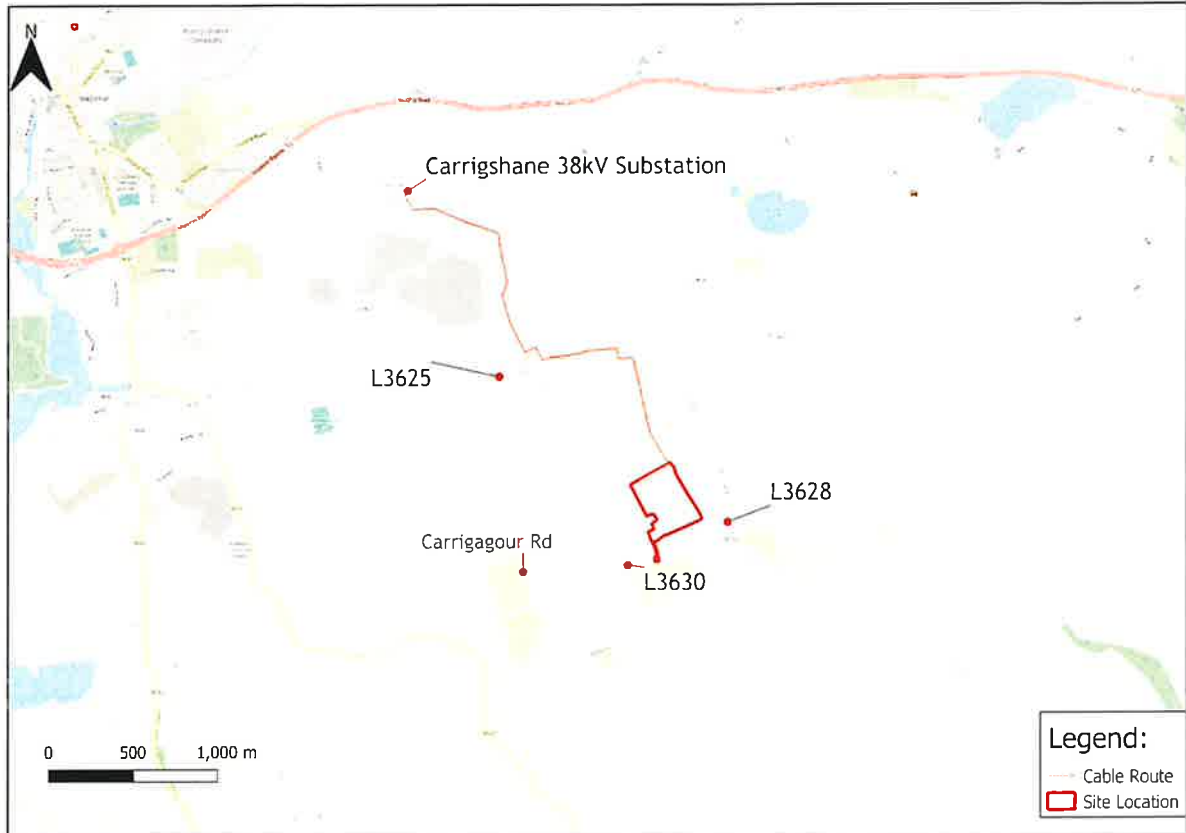
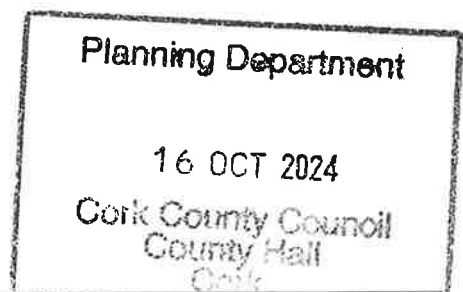


Figure 2-1: Site Location

Traffic associated with the proposed development will potentially affect roads along and near the cable route during construction, which is shown in Section 2.2 below. The roads throughout the study area comprise local roads only and are lightly trafficked.

The grid route will consist of underground cables which will be installed as described the Outline Construction Methodology prepared by TLI Group (Document No: 05756-R01-01), submitted under separate cover.



2.2 Local Road Network

The character of the roads for the access and egress to the site, and along the cable route, varies depending on the environment, and is generally as follows:

- L3625 - Approximately 4m wide with grass verges to either side. There is no hardshoulder.
- L3626 - Approximately 4m wide with grass verges to either side. There is no hardshoulder.
- L3628 - Approximately 6m wide with grass verges to either side. There is no hardshoulder.
- L92501 - Approximately 4m wide with grass verges to either side. There is no hardshoulder.

The local road network is shown in Figure 2-2 below.

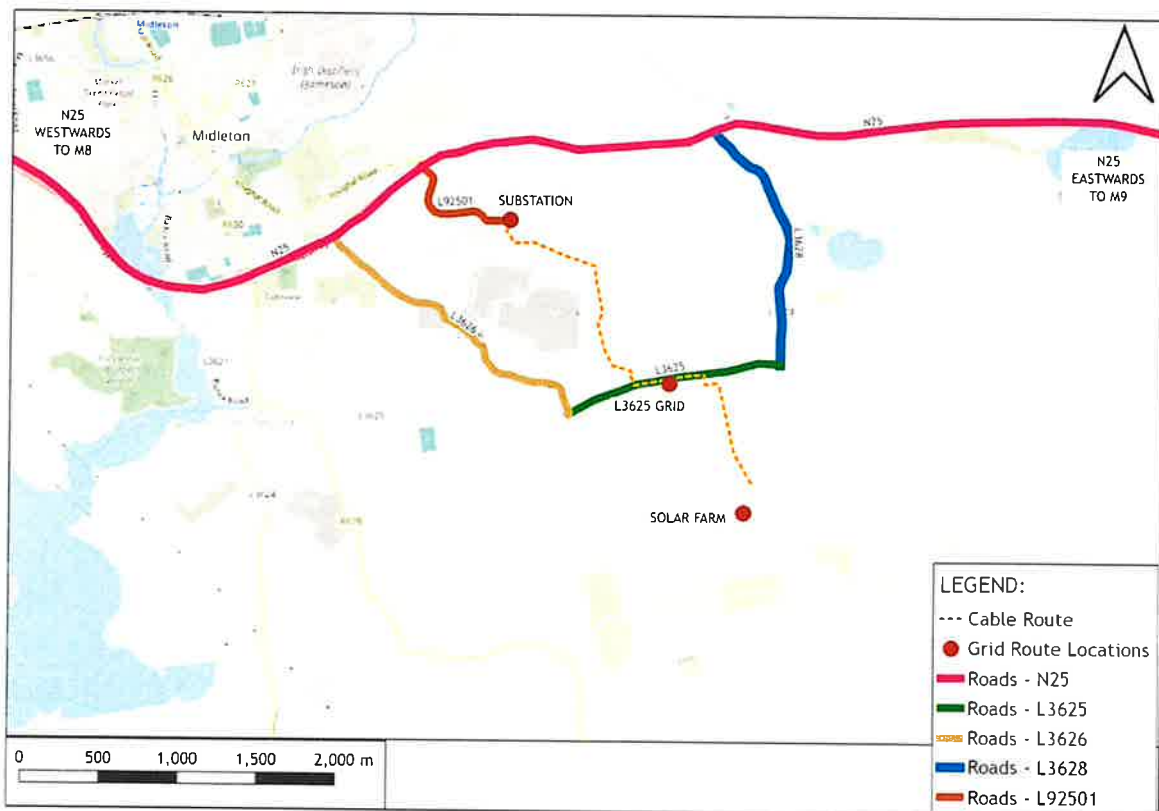


Figure 2-2: Local Road Network

2.3 Sustainable Transport Network

Sustainable transport measures are limited in the vicinity of the proposed works areas given the rural nature of the environment. There are no footpaths, dedicated public transport or cycle lanes provided on the approach to the proposed development.

Bus Éireann services do not travel on the proposed cable route.



3 Construction Traffic Generation

3.1 Overview

The potential temporary impacts of the scheme on the wider and local road network are as follows:

1. Temporary impacts during construction due to the excavation of materials in order to facilitate construction, and the associated movements of excavation vehicles,
2. Temporary impacts associated with the importing of construction materials, equipment, etc. to the works areas, and the relevant movements of delivery and construction vehicles and construction personnel,
3. Temporary impacts during construction due to road closures, lane closures and diversions,
4. Construction staff commuting to and from the cable route corridor and working areas,
5. General service traffic associated with construction activities (i.e. plant deliveries, visitors, traffic between working areas, etc.)

3.2 Staff Type and Transportation Options

The staff anticipated are considered in 3 categories:

1. Staff associated with excavations and underground cable laying,
2. Staff associated with backfilling and resurfacing.
3. Staff associated with erection of utility poles and above ground cable installation across the fields adjoining the local access roads.

Given the rural location of the site, transportation to and from the site is expected to be by car. Staff are instructed not to park on public roads except within designated cable works areas, as further described in below sections.

3.3 Working Areas and Staffing Levels

The working areas will be located along the length of the cable route which comprises of an overhead line crossing private lands, underground cable crossing private lands, and underground cable crossing public roads. An upper limit of 20no. construction staff is expected to be involved during construction at any given time. A car occupancy rate of 1.5 individuals per vehicle has been considered, accounting for potential carpooling among teams working closely together. This results in an estimated total of 14 vehicles arriving and departing each day. Typically, these vehicles will arrive before 8am and depart after 4pm.

The Main Contractor will be required to submit a site layout plan that will detail the various construction stages. The Main Contractor will ensure that each active working area will be serviced as required and will be secured with appropriate fencing/hoarding. Materials, plant and equipment, and worker welfare facilities will be located within each active working area. These areas will progressively move as the works progress. As Project Supervisor Construction Stage (PSCS), the Main Contractor will be responsible for site security, and they are to ensure that the site and working areas are adequately secured at all times.

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3.4 On-Road and Road Crossing Works

The cable construction requires a number of separate operations and associated vehicles at the construction area on the road. The maximum number of vehicles to be parked on the roads works area will be 2.

The total cable length to be installed within the road (L3625) is approximately 451m. This will necessitate a road closure which will be in operation on a phased basis over a length of 545m. The excavation, installation and reinstatement process will take on average of 1 no. day to complete for each 100m section.

Details of the traffic management for diversion in the case of road closures and signage associated with same, will be agreed with Cork County Council's roads department in advance of application for the Road Opening License. This is in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

3.5 Haul Routes and Deliveries

Construction equipment and vehicles required for each construction element/operation will be delivered to site by appropriate vehicles. Specific equipment and vehicles which are deemed to be required for the proposed development by the contractor, suppliers and staff are to be confirmed and included in the CTMP, prior to the commencement of construction.

Deliveries to the development will involve an average of 1-2 HGVs per day, with up to 4 two-way HGV trips per day during excavation and fill works.

Most of the material, including specialist components, to be delivered to site will travel via the N25 from the east, where N25 connects to the wider motorway network M9 in Waterford, and from the west where N25 connects to the wider motorway network M8 in Cork. Indicative haul routes are shown in Figure 3-1 below.

Materials from quarries and other suppliers is also likely to travel via the N25 and regional roads. These suppliers are as yet unspecified. The CTMP will specify locations of these suppliers and the haul routes to be used from each location to each working area.



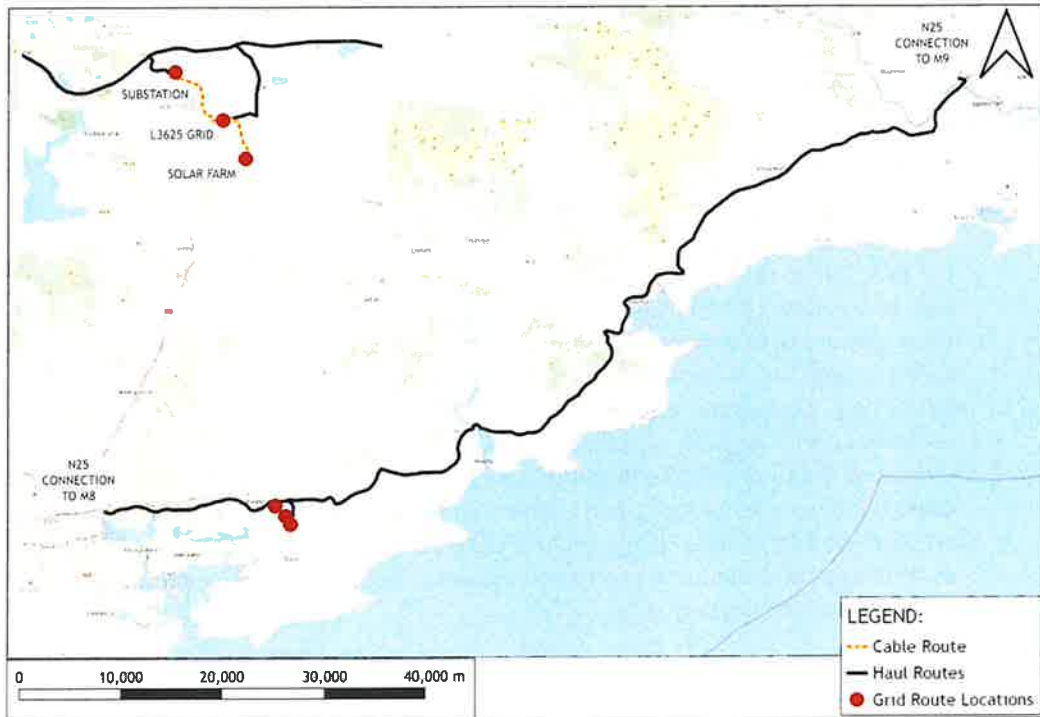


Figure 3-1: Indicative Haul Routes

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4 Construction Phases

The phases and order of phases set out in this section are for example purposes only. The phases and order in which they are carried out are subject to the appointed contractor's construction considered programme.

1. **Overhead Grid Connection Between the Solar Farm Site and L3625:** This phase involves establishing the overhead grid connection between the solar farm site and L3625. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems.
2. **Underground Grid Connection Along L3625:** This phase entails the installation of underground cables along the designated route of L3625. It involves trenching, laying of cables, and backfilling. Excavation, cable laying, jointing, and testing procedures will be conducted in accordance with regulatory standards and safety protocols.
3. **Overhead Grid Connection Between L3625 and the Substation:** This phase encompasses the construction of the overhead grid connection between L3625 and the substation. It involves the erection of utility poles, stringing of conductors, and installation of associated equipment such as insulators and lightning protection systems. Note, the final approx. 8m run to the 38kV substation will be underground.

5 Traffic Control

5.1 Legislation & Guidelines

The appointed contractor shall consult the following documents when developing the CTMP:

1. Traffic Signs Manual, Chapter 8: Temporary Traffic Measures and Signs for Roadworks - Department of Transport
2. Temporary Traffic Management Design Guidance - Department of Transport
3. Guidance for the Control and Management of Traffic at Roadworks - Department of Transport, N.R.A and Local Government Management Services Board
4. Guidelines for Working on Roads - Health and Safety Authority, 2009 (Practical guidance on the Safety, Health and Welfare at Work (Construction) (Amendment) (No. 2) Regulations 2008)

These Guideline documents shall be read in conjunction with primary Safety Health & Welfare at Work legislation including the 2005 Act, the Safety, Health and Welfare (Construction) Regulations 2013, and any amendment to them (the Construction Regulations).

5.2 Site Access and Egress

The proposed access locations to the development have been identified and the Contractor will provide advanced warning signs, in accordance with the latest current Department of Transport's 'Traffic Signs Manual, Chapter 8: Temporary Traffic Measures and Signs for Roadworks, on the approaches to proposed site access locations, a minimum of one week prior to construction works commencing at that location.

Appropriate lines of sight are to be identified at each access location. Any locations where appropriate lines of sight are not achievable will be managed by the use of banksman and / or temporary traffic management for all vehicles entering / egressing from the working area.

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5.3 Traffic Control Measures

The following sub-section contains a non-exhaustive list of traffic control measures that are expected as part of the project. It is the responsibility of the appointed contractor to consult the legislation and guidance listed above to determine the appropriate traffic control measures.

5.3.1 Shuttle Working

Shuttle working will be employed as a traffic control measure during cable construction along the road (L3625). Full guidance on the requirements is available in Part 1 of Temporary Traffic management Design Guidance; however, Table 3-2 shows the basic requirements.

Table 5-1: Minimum Carriageway Widths for Shuttle Working (Guidance for the Control and Management of Traffic at Road Works, 2010)

Normal traffic including buses and HGVs	Cars and light vehicles only
3.25 m desirable minimum	2.75 m desirable minimum
3.0 m absolute minimum	2.5 m absolute minimum

5.3.2 Road Closures

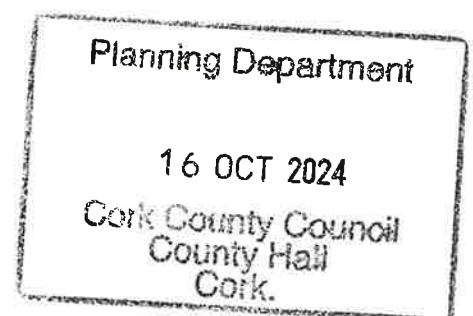
Road closures should be avoided where possible but may be required for short periods where all other options have been exhausted, i.e. the construction of the cable route requires the construction of a road crossing of L3625. It is envisaged that the road crossing will be open cut type, rather than an HDD method.

Road closures should be carried out in accordance with Section 0.2.5.4 of the Temporary Traffic Management Design Guidance. Where road closures are required alternative routes and diversions should be well signposted in accordance with section 8.2.4 of the Traffic Signs Manual.

All works within the public road are in the control of the Roads Authority through roads opening licencing as set out in 'Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport. Refer to Section 6.1 below.

5.3.3 Communications and Local Stakeholder Management

The Contractor will appoint a Community Liaison Officer to liaise with owners of the local properties in advance of works commencing. The Contractor will use a competent sign provider to effectively communicate the works extents and diversions, and all signage used will meet the requirements of the Safety, Health & Welfare at Work (General Applications) Regulations 2007 and Chapter 8 Traffic Signs Manual.



6 Traffic Management Requirements

All works required within the public road area is in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport, and must have traffic management compliant with Chapter 8 of the Traffic Signs Manual.

6.1 Road Opening License

Where works are carried out on sections of public roads including but not limited to carriageways, footpaths and grass verges a Road Opening License is required prior to the commencement of works. The Contractor is entirely responsible for obtaining Road Opening Licences as necessary to enable him to fulfil his contractual obligations. Issuing of the Road Opening License is in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

As per the Guidelines, when issuing a licence, a road authority shall have regard to the following:

- The manner in which work may be carried out,
- The need to coordinate, in such a manner as to minimise any disruption of traffic by the roadworks concerned,
- The periods during which and the times at which the roadworks concerned, and the other works are carried out,
- The necessity to minimise the disruption to traffic caused by the roadworks concerned and other roadworks,
- The urgency of the need to carry out the roadworks,
- Standards in relation to temporary and permanent reinstatement,
- Provision of security for satisfactory completion,
- Any cost likely to be incurred as a result of the direction.

The process for applying for such a licence are set out in Section 4.3.1 of the Guidelines. In making an application, the applicant must provide sufficient information to the satisfaction of the roads authority such that the application can be considered.

When considering the application, the road authority may request alterations to the provided information or additional details. Consequently, the road authority will have significant input and direction over how the works are executed, prior to the granting of a road opening licence, ensuring they can future-proof their maintenance of the public road network.

If road closure is required as part of a road opening licence, then the following applies:

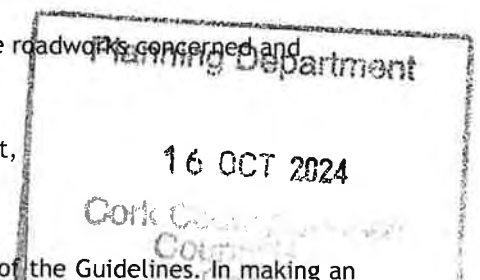
1. Road Closures

The requirements for the temporary closure of a public road are set out in Section 75 of the Roads Act 1993 and Article 12 of the Road Regulations 1994. A specified process under the 1993 Act must be followed involving public advertisement and consultation. The appointed contractor and TMP designer will consult Cork County Council (CCC) with regard to the details of the road closure application.

Where a temporary road closure may be necessary to carry out works associated with the grid connection works, the appointed contractor will seek a Temporary Closing of Roads Order. These works would be temporary in nature, with the excavation, installation and reinstatement process taking on average of 1 no. day to complete a 100m section.

As part of the application for the temporary closure, the appointed contractor will advise Cork County Council of the following:

1. Name of the road to be closed.



2. Location of closing points.
3. Date and period of closure required.
4. Reasons for closure.
5. Details of alternative routes.
6. Details of method of traffic management and maintenance of alternative routes, including sign posting and traffic control plans.

2. Alternative Routes / Diversions

All diversions and alternative routes are to be carried out in accordance with Section 0.5.2.9 of the Temporary Traffic Management Design Guidance. Preliminary diversions and alternative routes for the project have been identified on Figure 6-1 below. Final diversions and alternative routes should be identified and developed by the appointed contractor. There are 3 No dwelling located along the length of the L3625 where the underground cable is proposed. These works will be phased to ensure that local access to these properties is available at all times. All diversions that may be required are in the control of the road authority through the road closure application process.

6.2 Public Notices

The Contractor shall liaise with the Roads Authority in respect of any temporary road closures, lane closures, and other traffic management controls required to be carried out to ensure the safety of the workforce and the general public during the duration of the works. The advertising of such notices in local press, local radio, and leaflet drops will be required to warn motorists and local businesses and residents of the changes involved and new road layouts to be expected.

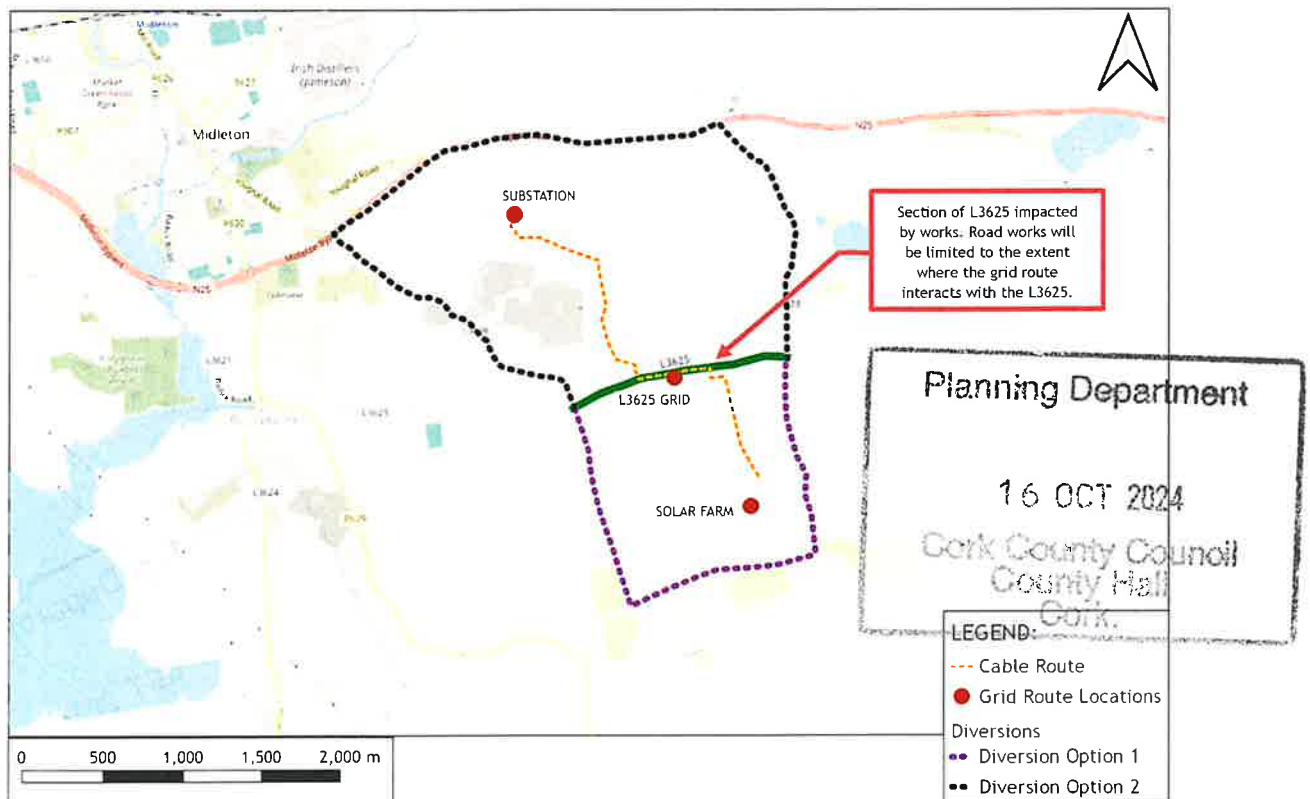


Figure 6-1: Preliminary diversion options

6.3 Traffic Management Signage

The Contractor will engage in consultations with relevant authorities to identify and agree signage requirements as part of the road opening licencing process. These signs will be installed prior to the commencement of on-site works, and will be subject to agreement with the road authority.

Proposed signage will include warning signs to provide warning to road users of the works access/egress locations and the presence of construction traffic.

All signage to be provided in accordance with the latest current Department of Transport's 'Traffic Signs Manual, Chapter 8: Temporary Traffic Measures and Signs for Roadworks. The Contractor will ensure that the following elements are implemented:

1. Consultation with the relevant authorities for the purpose of identifying and agreeing signage requirements,
2. Provision of temporary signage indicating site access route and locations for contractors and associated suppliers,
3. Provision of general information signage to notify road users and local communities about the nature and locations of the works, including project contact details.



7 Other Measures

7.1 Emergency Access

Access for emergency vehicles via the primary haul roads must be maintained at all times. Where a Stop/Go system is in operation, competent personnel shall be operating same and shall give priority to emergency vehicles to ensure they are not unduly delayed.

7.2 Variable Message Signs (VMS)

The Contractor shall allow for variable message signs (VMS) in accordance with section 8.2.4 of the Traffic Signs Manual on approach routes affected by traffic management measures, restrictions or road closures.

VMSs should be used to advise motorists of the upcoming works at least 2 weeks before traffic management measures are implemented to alert motorists of the upcoming works. The proposals shall be agreed with Cork County Council, and details of such are in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

7.3 Temporary Road Surfaces

All reinstatement be it temporary or permanent shall be carried out in accordance with Guidelines for Managing Openings in Public Roads - Department of Transport, Tourism and Sport 2017. The proposals shall be agreed with Cork County Council, and details of such are in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

7.4 Loading/Unloading locations

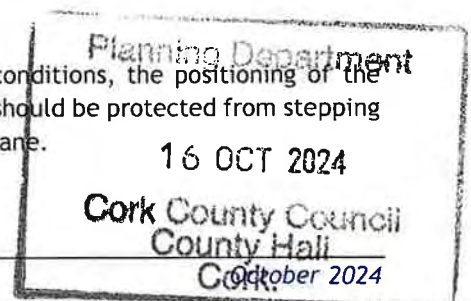
Vehicles must be loaded and unloaded within the site area (i.e. within site boundary red line). Contractors are not permitted to carry out loading or unloading on the public roadway. This approach reduces the risk to the public, reduces congestion, and minimises disruption and risk to any passing vehicles on the highway. All deliveries and collections will be overseen and managed for the Contractor by a nominated competent person. The proposals shall be agreed with Cork County Council, and details of such are in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.

7.5 Potential Interface with Other Projects

The proposed works may have an interface with other projects within the locality. There may be a number of PSCS's operating in the locality at any one time on individual sites. It will be the responsibility of the appointed Contractor as PSCS to ensure that delivery and haul routes, site access and egress points and potential crossing points associated with the site are fully coordinated and agreed with other Contractors in advance of the works commencing and agreement with the road authority through road opening licensing.

7.6 Lighting

Where floodlighting of the works area is required in poor daylight conditions, the positioning of the lighting units must not be such as to cause glare to drivers. Workmen should be protected from stepping inadvertently from the illuminated area into an unilluminated traffic lane.



In addition to lighting, signs, chevrons, barriers and other devices should be reflectorised. Reflectors should be used to ensure that the work area is adequately marked if the lighting is vandalised or otherwise fails.

7.7 Road Cleaning

In line with the Guidelines for Managing Openings in Public Roads, public roadways shall be kept tidy and clean during and on completion of the works. It will be a requirement of the works contract, and any conditions that form part of the road opening license that the contractor must adhere to, that the Contractor carry out periodic road sweeping/cleaning operations to remove any scheme related dirt and material deposited on the road network by construction / delivery vehicles. Road sweepers will dispose of material following sweeping of road network, to a licensed waste facility.

7.8 Vehicle Cleaning

It will be a requirement of the works contract that the Contractor will provide dry or wet wheel washing facilities where appropriate, and any other necessary measures to remove mud and organic material from vehicles exiting sites or works areas.

7.9 Traffic Management Speed Limits

Adherence to posted / legal speed limits will be emphasised to all staff and suppliers and contractors during induction training. Drivers of construction vehicles and HGVs will be advised that vehicular speeds in sensitive locations, such as local community areas, will be restricted to appropriate levels.

Special speed limits will be implemented for construction traffic in sensitive areas. Such recommended speed limits will only apply to construction traffic and not to general traffic. The proposals shall be agreed with Cork County Council, and details of such are in the control of the Roads Authority through roads opening licencing as set out in Guidelines for Managing Openings in Public Roads, Second Edition' (2017) ('the Guidelines') published by the (then) Department of Transport, Tourism and Sport.



Outline Construction Methodology

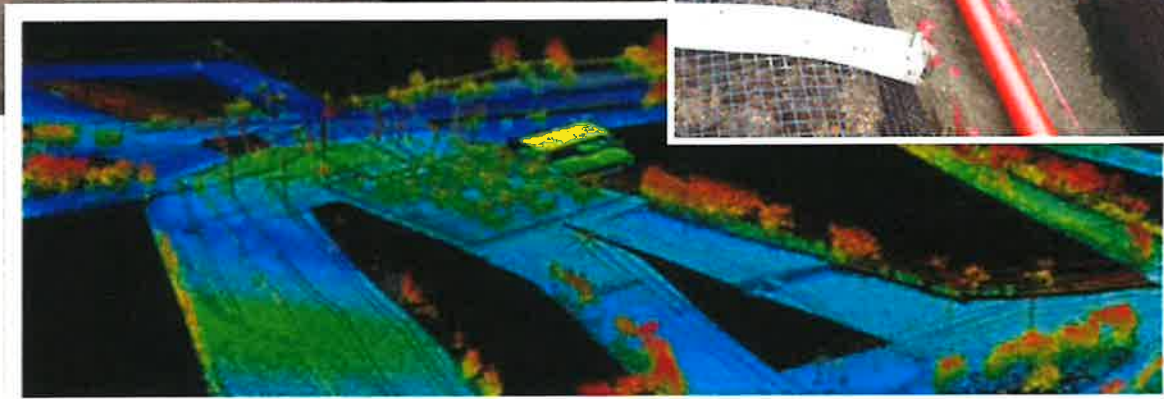
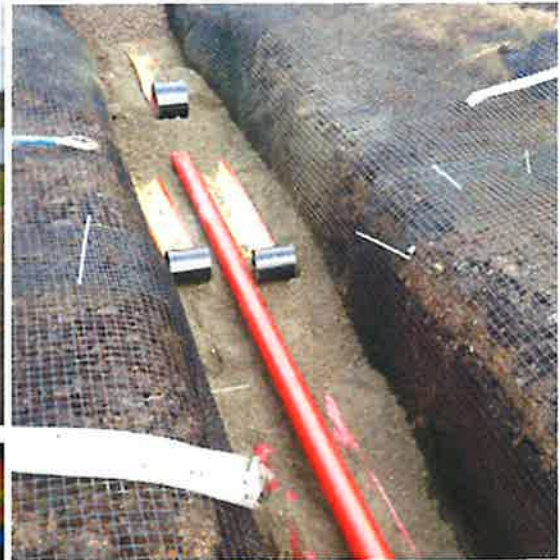


Tead More Solar Farm 20kV Grid Connection

Planning Department

16 OCT 2024

Cork County Council
County Hall
Cork



Report Ref: 05756-R01-01

Clients: Tead More Solar Ltd

Revision:	Designer:	Checked:	Date:	Notes:
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County Hall
Cork.

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1.0 Introduction

The purpose of this document is to outline and explain the construction techniques and methodologies which will be implemented during construction of the 20kV grid connection from the Tead More Solar Farm to the existing ESB owned Carrigishane 38kV substation. The grid connection will consist of an overhead line (OHL) and underground cable (UGC). The OHL works will consist of 23 No. poles to accommodate the OHL. The UGC works will consist of the installation of 1 no. ducts in an excavated trench to accommodate 3 no. power cables. This document is intended to be used as an aid to understand the methodologies to be employed during construction and should be read in conjunction with the Appropriate Assessment Screening Report and Traffic Management Plan which accompany the planning application. In addition, this document is in outline form only and will be revised and updated prior to the commencement of any construction activities, and detailed Method Statements will be prepared in respect of each aspect of the proposed development.

2.0 Proposed Grid Route

The proposed route is approximately 3.03km in length and consists of 1.03km UGC and 2.00km OHL. The proposed route runs in a northwest direction from the permitted Tead More Solar Farm (Planning Application Reference No. 16/6302) to the existing ESB Carrigishane 38kV substation. The proposed route is located within the Tead More Solar Farm site, the carriageway of local road (L-3625) and private land folios. The exact location of the underground cable within the proposed site boundary is subject to minor modification following a further detailed assessment to be undertaken prior to construction and following consultation with Cork County Council and all other relevant stakeholders.

Figure 1, below, outlines the proposed route, with each section of the route being discussed in detail at Table 1.



Figure 1 - Grid Connection Route Layout

Tables 1 and 2 of this report outline the preliminary design features of the UGC & OHL proposed route.

Table 1 – Approximate Route Location of Preliminary Design:			
Solar Farm (UGC)	Private Lands (OHL)	Private Lands (UGC)	Public Roads (UGC)
259m	2003m	321m	451m

Table 1: Tead More Solar Farm to Carraigshane 38kV Substation – UG Cable & OHL Location Summary

Error! Reference source not found. separates the route into two sections and describes the specific construction requirements of each individual section with access routes to the work areas. All plant and equipment employed on the proposed works will be subject to good site organisation and hygiene, particularly during construction activities.

Table 2 - Summary of Grid Connection Route	
Section	Description
UGC Section	<p>Carraigshane 38kV Substation, to 01EP, 16EP to 17EP & 23EP to Solar Substation Building</p> <p>The first section begins at the south periphery of the existing Carraigshane 38kV Substation and carries south to 01EP for approximately 8m. The second section is from 16EP to 17EP This is through private lands and public road (L3612) This section traverses 1 No. Gas transmission crossing, The UGC route leaves the public road network to carry within third party consenting lands. This section is approximately 750m long. The final section is between 23EP and the substation building, this is predominantly through the Solar Farm and is 270m long.</p> <p><u>Features:</u></p> <p>This section consists of 1 No. Gas transmission Crossing and has a one joint bay</p>
OHL Section	<p>Private Lands End Pole 01 to End Pole 16 & End Pole 17 to End Pole 23</p> <p>This section of the route begins south of Carraigshane substation at End Pole 01. The route continues overhead in a southeastern direction towards local road L3625 before reaching 16 EP. The second section of OHL begins in private lands at 17 EP and runs in a southern direction through to 23 EP</p> <p><u>OHL Section:</u></p> <p>The OHL will cross an existing HV OHL line between 02 HAP & 03 IMP. It is envisaged that this will be under crossed with a span of 70m but may be subject to minor increase/decrease because of immaterial deviations in pole locations during the detailed design process.</p>

Table 2: Summary of Proposed Grid Connection Route

3.0 UGC Construction Methodology

The proposed UGC will consist of 1 no. 125mm diameter uPVC power cable duct to be installed in an excavated trench, typically 450mm wide by 925mm deep, with variations on this design to adapt to service crossings and watercourse crossings. The ducts will be installed, the trench reinstated in accordance with landowner/Cork County Council specification, and then the electrical cable is pulled through the installed ducts in approximately 350/400m sections. Construction methodologies to be implemented and materials to be used will ensure that the UGC is installed in accordance with the requirements and specifications of ESB Networks.

Where the cable is installed in private lands the location where the cable is laid will depend on several factors, ground conditions, access, and the bend radius along route. Excavated material will be stored adjacent to the trench and incorporated into the backfilling where possible. Excess material will be removed off site to a licensed facility.

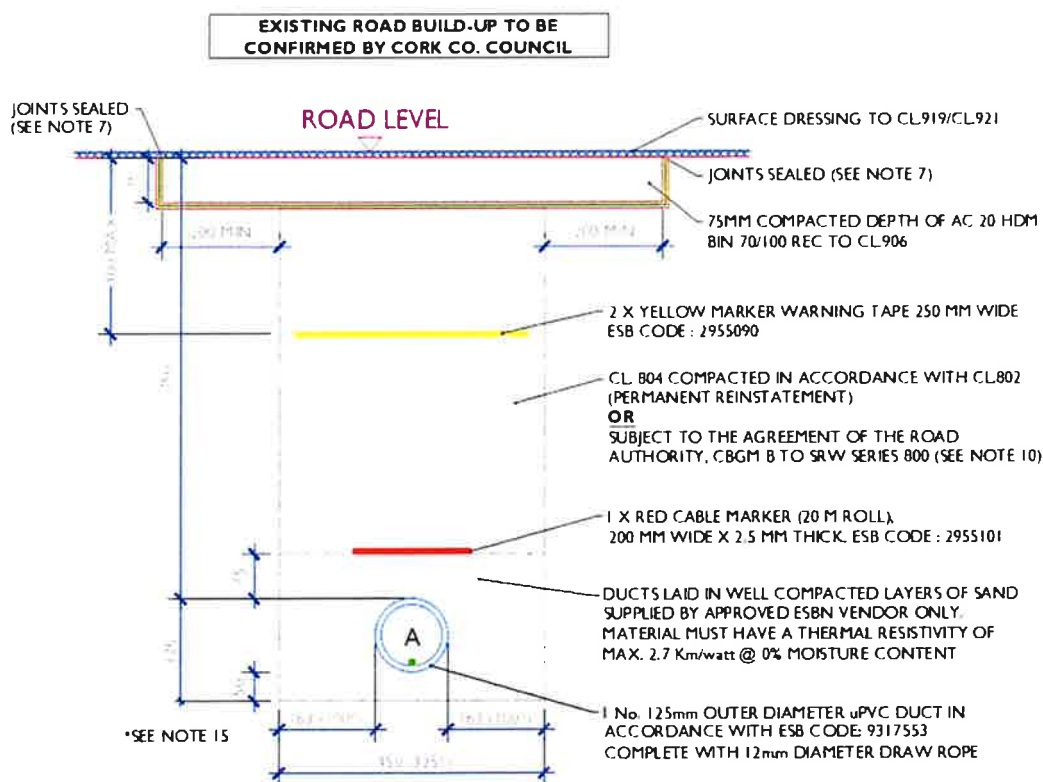


Figure 2 - Typical Trench in SD5 Roadway Section

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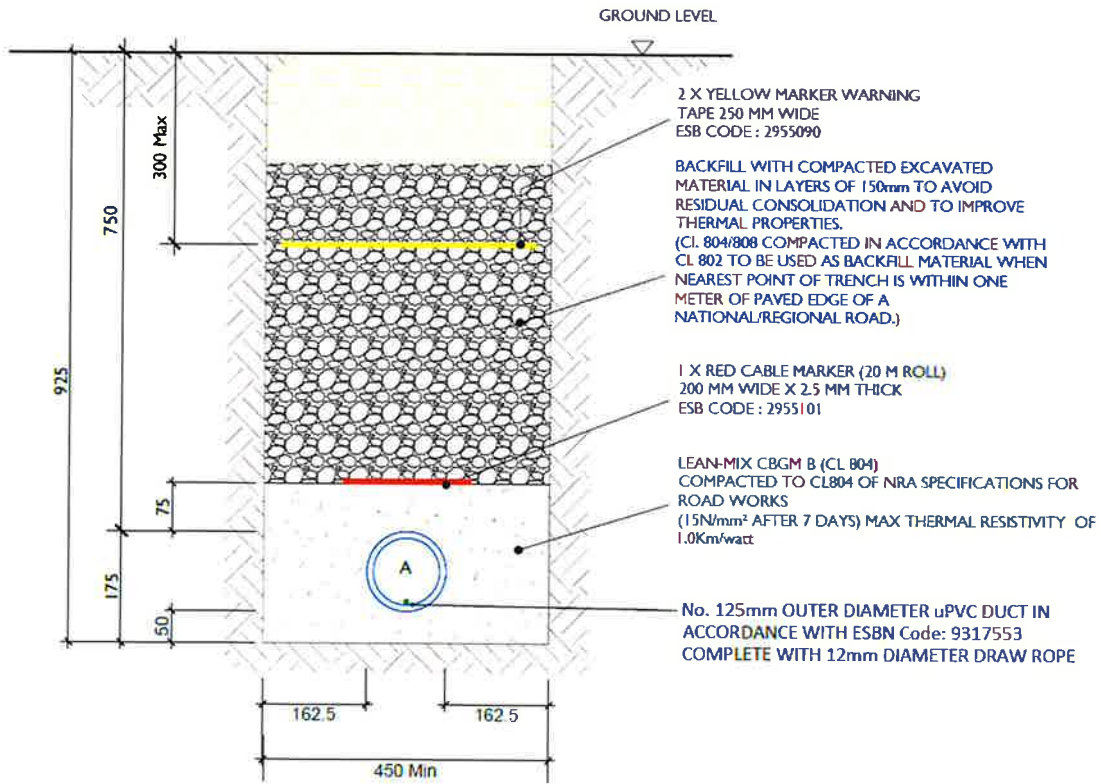


Figure 3 - Typical Duct Installation through Off Road Section

Surface cable markers will be placed along the route where cable depth is unavoidably shallow, due to constraints such as existing services, to indicate the precise location of the UGC. These markers will be metallic plates in accordance with ESB standards.

Marker posts will be used on non-roadway routes to delineate the duct route and joint bay positions. Corrosion proof aluminium triangular danger signs, with a 700mm base, and with centred lightning symbol, on fluorescent yellow background shall be installed in adequately sized concrete foundations. Marker posts shall also be placed in the event that burial depth is not to standard. The precise siting of marker posts will be dictated by ESBN as part of the detailed design process.

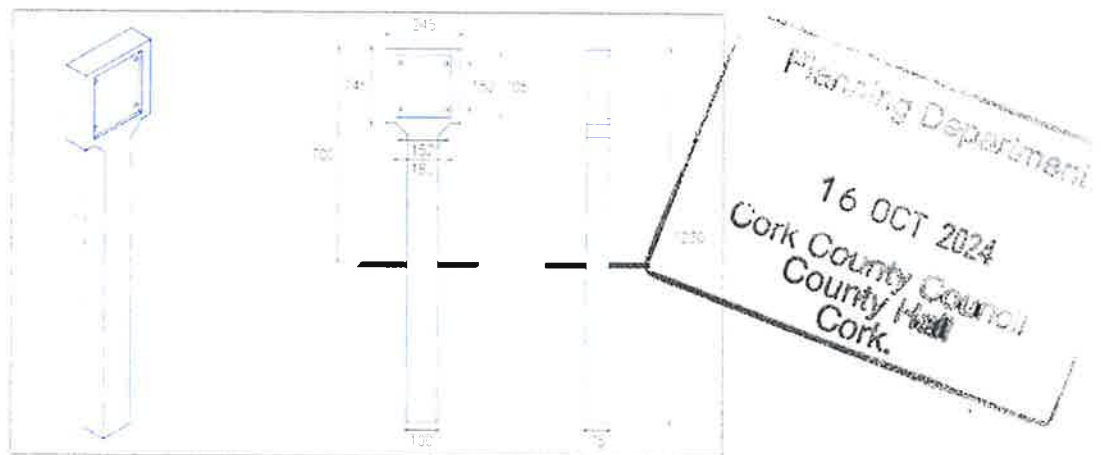


Figure 4 - Typical ESB Marker Posts Example

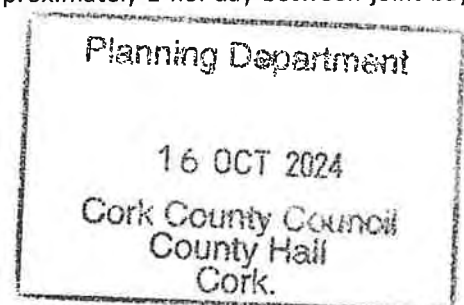
4.1 Trenching Methodology

The following section outlines the methodology to be followed during trenching works:-

- The Contractor, and their appointed Site Manager, will prepare a targeted Method Statement concisely outlining the construction methodology and incorporating all control measures included within the Planning application and accompanying reports where relevant;
- The base of the excavated trench will be lined with sand bedding to be imported to site from a local licensed supplier. The 125mm diameter uPVC cable ducting will be placed into the prepared trench, inspected and backfilled as per Figure 2 & Figure 3;
- Any existing underground services shall be identified on-site before the commencement of construction works through a Ground Penetrating Radar (GPR) survey;
- Where the cable route intersects with a culvert, the culvert will remain in place and the ducting will be installed above the culvert to provide minimum separation distances in accordance with ESB specifications. Given the substantial depth, there will be no interactions with the culvert.
- Traffic management measures will be implemented in accordance with those included in the Traffic Management Plan and agreed with Cork County Council;
- The excavated trench will be a minimum width of 450mm and approximately 925mm deep both within the public road network and within private lands;
- Excavated material will be temporarily stockpiled onsite for re-use during reinstatement. Stockpiles will be restricted to less than 2m in height. Stockpiles will be located a minimum of 50m from surface water features.
- Excavated material shall be employed to backfill the trench where appropriate and any surplus material will be transported off site and disposed of at a fully authorised soil recovery site;
- Any earthen (sod) banks to be excavated will be carefully opened with the surface sods being stored separately and maintained for use during reinstatement;
- Where required, grass will be reinstated by either seeding or by replacing with grass turves;
- No more than a 100-metre section of trench will be opened at any one time. The second 100 metres will only be excavated once the majority of reinstatement has been completed on the first;
- The excavation, installation and reinstatement process will take on average of 1 no. day to complete a 100m section;
- Where the cable is being installed in a roadway, temporary reinstatement may be provided to allow larger sections of road to be permanently reinstated together;
- Works will only be conducted in normal working hours of Monday to Friday 08:00 to 20:00 and Saturday 08:00 to 18:00, with no works on Sundays or Bank Holidays except in exceptional circumstances or in the event of an emergency;
- Following the installation of ducting, pulling the cable will take approximately 1 no. day between joint bay, with the jointing of cables taking approximately 1 no. day.

Equipment:

- 2-3 General Operatives;
- 1 Excavator Operator;
- 1 no. tracked excavator (only rubber tracked machines will be allowed on public roads);
- 1 no. dumper or tractor and trailer.



Materials:

- Sand for pipe bedding;
- Ready-mix Concrete where necessary (delivered to site);
- Trench backfilling material (excavated material and aggregates) to relevant specifications;
- Cable ducting;
- Permanent Surface Reinstatement Asphalt Material.
- Temporary Surface Reinstatement Materials.
- ESB Marker tape
- ESB Approved Marker Post

4.2 Managing Excess Material from Trench

All excavated material will be temporarily stored adjacent to the trench prior to re-use in the trench reinstatement (where applicable). Stockpiles will be restricted to less than 2m in height. Where excess material exists will be disposed of to a licensed facility.

4.3 Storage of Plant and Machinery

All plant, machinery and equipment will be stored on site within the works area or within the temporary construction compound to be located within the permitted Tead More Solar farm. Oils and fuels will not be stored on site and will be stored in an appropriately bunded area within the temporary storage compound.

4.4 Joint Bays

A Joint Bay is to be provided approximately 350m from 16EP and 400m from 17EP along the UGC route to facilitate the jointing of 2 No. lengths of UGC. Joint Bays are typically 1.6m x 2.9m x 1.2m pre-cast concrete structures installed below finished ground level. Joint Bay will be located in the non-wheel bearing strip of roadways, given when the profile is possible.

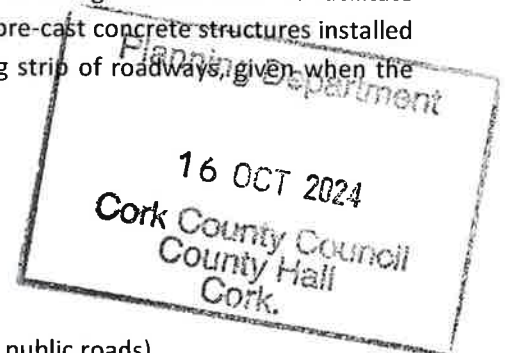
The precise siting of Joint Bays is subject to approval by ESBN.

Equipment:

- 2-3 General Operatives
- 1 Excavator Operator
- 360° tracked excavator (only rubber tracked machines will be allowed on public roads)
- 1 no. tracked dumper or tractor and trailer

Materials:

- Sand for pipe bedding
- Ready-mix Concrete where necessary (delivered to site);
- Trench backfilling material (excavated material and aggregates) to relevant specifications;
- 125mm diameter uPVC ducting
- Precast Chamber Unit / Construction materials for chamber



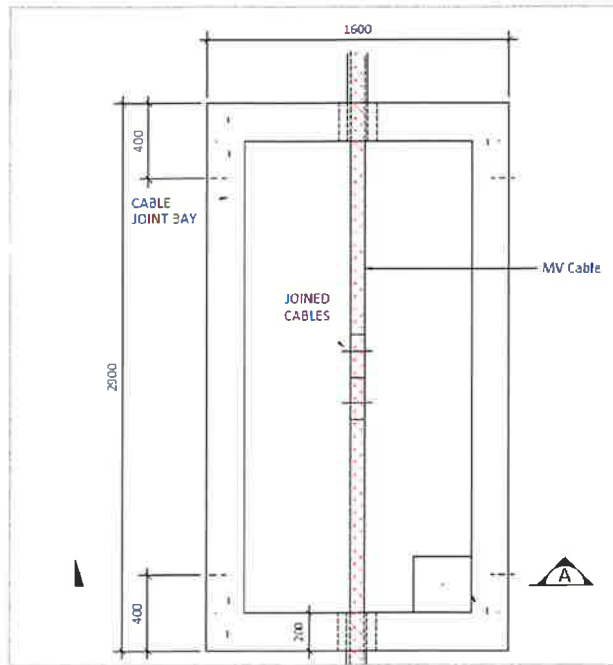


Figure 5 - Typical MV Joint Bay Plan Details

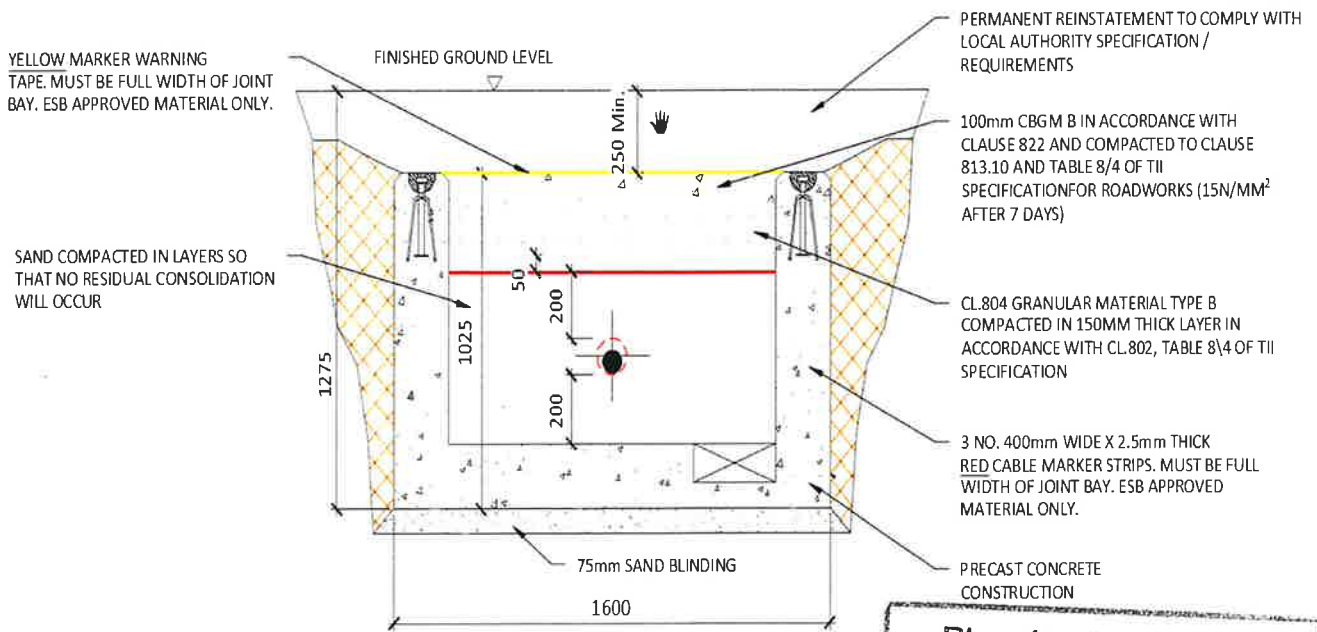


Figure 6 - Typical MV Joint Bay Section Detail

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5.0 OHL Construction Methodology

Portions of the grid connection route will require sections of overhead line to be constructed. The OHL section will consist of varying spans, with cable end pole structures (Figure 7) deployed at either end. The Cable End Pole structures will also be accompanied by stay-wires for supportive reinforcement. The OHL section will also consist of Light, Medium & Heavy Angle pole structures. The proposed OHL conductor will be 150mm² Mulberry as per ESB Networks specification.

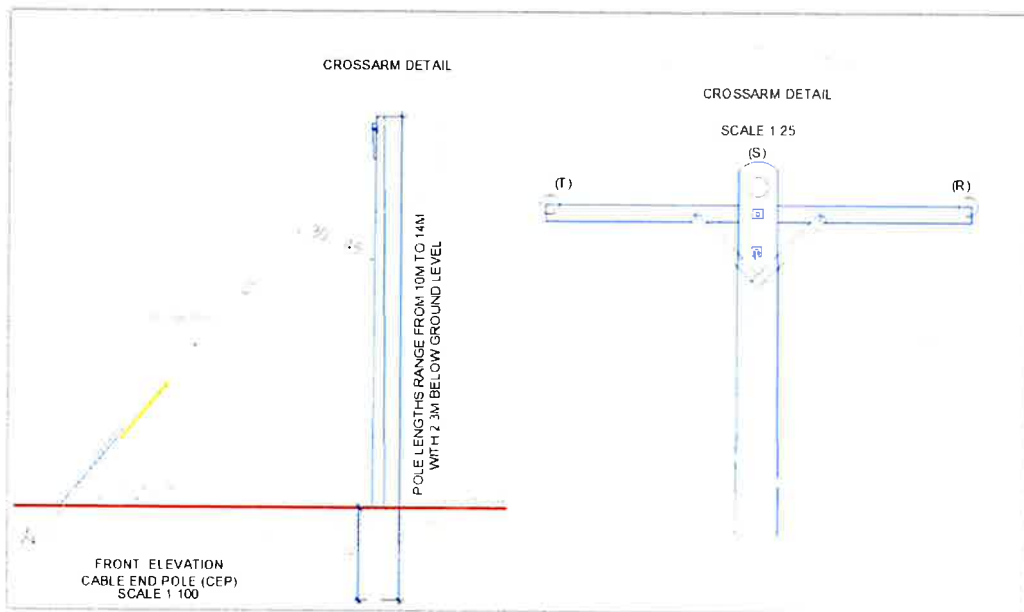


Figure 7: Typical 10kV Cable End Pole Structure

Prior to commencement of construction the contractor will prepare construction method statements for the works associated with the OHL sections. These method statements will take account of third-party requirements, and any site investigations carried out prior to construction.

The method statements produced by the contractor will be agreed with the relevant consultees where necessary. The Site Manager will supervise the construction works and will be responsible for the implementation of the approved method statements.

5.1 Installing Poles

Delivery of Material to Site

Poles will be delivered to site in advance of construction works commencing. The poles will be delivered to their locations by tractor and trailer and the foundations for the poles and the stay/guy wires will be dug out using a tracked excavator, crushed rock maybe needed to stabilise the ground around the polesets. Poles will be delivered to the temporary compound located within Tead More Solar Farm and brought to site by the works crew.

Pole Base Excavation and Pole Erection

- The excavation for each pole will be carried out using a tracked excavator;
- Excavations will be to a depth of approximately 2.3m. Excavated material will be side cast and used for the reinstatement of the pole;
- The pole is located and stood up using the excavator or winch tractor.
- The pole is supported at all times and the holes backfilled using excavated material



- The poles will be fitted with a steel cross-arm, to which three insulators are attached. The conductor is then attached to this cross-arm during the stringing process.
- Trees and vegetation surrounding the overhead line will require pruning in accordance with ESB Networks safety requirements, which is 10 metres either side of the centre of the poleset.
- The poles will be lifted into place one at a time using a tracked excavator, see Figure 8: Installation of Wood Polesets.



Figure 8: Installation of Wood Polesets

Construction Equipment Required

- 360° tracked excavator
- Winch Tractor/Pole erector
- Van
- Chains/hand tools

Duration of Poleset Installation Works

The average duration of pole set installation works is as follows:

- Per pole – 0.5 day
- Crew size - 3 workers



6.0 Access Routes to Work Area

6.1 UGC Access Routes

The section of the proposed underground cable which will be installed within the public road network will be accessed via the existing road network. Where the cable route is located on private lands, contractor(s) will be required to utilise the local public road network in the vicinity of the work area and from there utilise private access gates and tracks, where appropriate. Prior to the commencement of development, precise access arrangements will be agreed with the respective landowners.

6.2 OHL Access Routes

Temporary access tracks on the consented land (if required due to ground conditions and/or landowner requirements) will consist of timber or aluminium bog mats or crushed rock on a geotextile fabric (Figure 9, Figure 10 and Figure 11) to spread the weight of machinery over a greater area to prevent damage to the ground. If necessary, a low ground pressure excavator may also be utilised. This machine is designed to spread its weight across a wider area thereby reducing the pressure exerted on the ground. No invasive works will be undertaken when placing the matting. Upon completion of the works, all mats will be removed immediately. Access routes will be carefully selected to avoid any damage to land. Local consultation will be carried out with the relevant landowners to ensure that any potential disturbance will be minimised. Prior to the commencement of construction, the contractor will assess all access routes and determine the requirement for bog mats. Any such requirements will be incorporated into the relevant method statement.



Figure 9: Temporary Aluminium Panel Tracks





Figure 10: Timber Roadway (Bog Matt)



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Figure 11: Crushed Rock Roadway

7.0 Traffic Management

Traffic management and road signage will be in accordance with the Department of Transport: Traffic Signs Manual - Chapter 8: Temporary Traffic Measures and Signs for Road Works and in agreement with Cork County Council. All work on public roads will be subject to the approval of a road opening license application. The contractor will prepare detailed traffic management plans for inclusion as part of the road opening applications.

Where road widths allow, the UGC installation works will allow for one side of the road to be open to traffic at all times by means of a 'Stop/Go' type traffic management system, where a minimum 2.5m roadway will be maintained at all times. Temporary traffic signals will be implemented to allow road users safely pass through the works area by channelling them onto the open side of the road. Typically, the UGC will be installed in 100m sections, and no more than 100m will be excavated without most of the previous section being reinstated. Where the construction requires the crossing of a road, works on one carriageway will be completed before the second carriageway is opened, to maintain traffic flows.

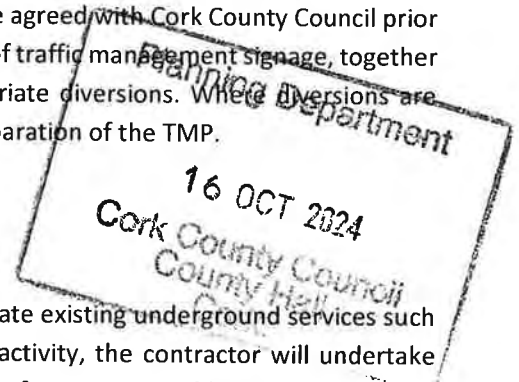
All construction vehicles will be parked within the works area so as not to cause additional obstruction or inconvenience to road users or residents. The traffic signals will be in place prior to the works commencing and will remain in place until after the works are completed. The public road will be checked regularly and maintained free of mud and debris. Road sweeping will be carried out as appropriate to ensure construction traffic does not adversely affect the local road condition.

In the event of emergency; steel plates, which will be available on site, can be put in place across the excavation to allow traffic to flow on both sides of the road.

All traffic management measures will be incorporated into a detailed Traffic Management Plan to be prepared, in consultation with Cork County Council, prior to the commencement of development.

8.0 Road Opening Licence

The proposed UGC works will require a road opening licence under Section 254 of the Planning and Development Act 2000-2015 from Cork County Council. A Traffic Management Plan (TMP) will be agreed with Cork County Council prior to the commencement of the development. This TMP will outline the location of traffic management signage, together with the location of any necessary road closures and the routing of appropriate diversions. Where diversions are required, these will be agreed with Cork County Council in advance of the preparation of the TMP.



9.0 Relocation of Existing Services

To facilitate the installation of the proposed UGC, it may be necessary to relocate existing underground services such as water mains, telecom or existing cables. In advance of any construction activity, the contractor will undertake additional surveys of the proposed route to confirm the presence or otherwise of any services. If found to be present, the relevant service provider will be consulted with to determine the requirement for specific excavation or relocation methods and to schedule a suitable time to carry out works.

9.1 Underground Cables

If existing underground cables are found to be present, a trench will be excavated, and new ducting and cabling will be installed along the new alignment and connected to the network on either end. The trench will be backfilled with suitable material to the required specification. Warning strip and marking tape will be laid at various depths over the cables as required. Marker posts and plates will be installed at surface level to identify the new alignment of the underground cable, with the underground cables will then be re-energised.

9.2 Water Mains

The water supply will be turned off by the utility so work can commence on diverting the service. The section of existing pipe will be removed and will be replaced with a new pipe along the new alignment of the service. The works will be carried out in accordance with the utility standards.

10.0 Cable pulling

Once the ducting is installed the electrical cables (situated on a drum) are pulled through the ducting by a specialised mechanical winch. The winch will also monitor the tension on the cables being pulled so as not to damage the cables. A guide rope is installed with the ducting to assist in the cable pulling process. The guide rope also is used for proving the ducts by attaching a mandrel, a sponge or brush, for cleaning the duct installed. Cable lubricant is applied to the outside of the cables being pulled through the duct. The lubricant assists in the pulling process by removing friction between the cable and the rollers. This not only speeds up the process but also prevents snagging and therefore damage to the cable.

11.0 Reinstating the Land

Once all works are complete, the access route and the construction areas around the structures are restored to their original condition. Generally, this work is carried out by a specialised agricultural contractor and is carried in accordance with the relevant IFA agreements and in consultation with the individual landowner. In the case of a roadway reinstatement, the reinstatement width, materials and finish will be provided in accordance with Local Authority and Department of Transport requirements.

12.0 Emergency Response Plan

All site personnel will be inducted in the provisions of the Emergency Response Plan. The following outlines some of the information, on the types of emergency, which must be communicated to site staff (list not exhaustive);

- Release of hazardous substance - Fuel or oil spill
- Concrete spill or release of concrete
- Flood event – extreme rainfall event
- Environmental buffers and exclusion zones breach
- Housekeeping of materials and waste storage areas breach
- Stop Works order due to environmental issue or concern



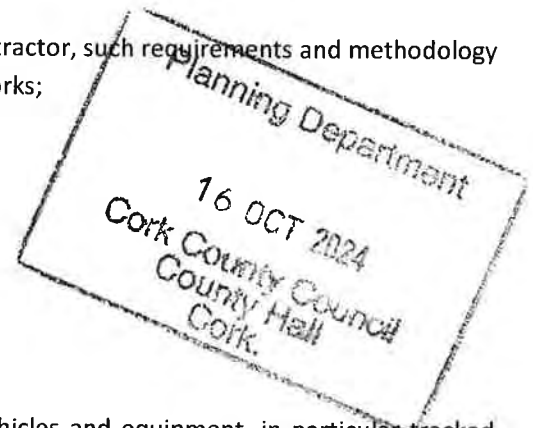
The Emergency Response Plan must be completed by the appointed Contractor before the project begins.

13.0 Best Practice Design and Construction Methodology

Prior to commencement of construction works the contractor will draw up a detailed Method Statement/Environmental Operating Plan which will be based on best practice measures. This method statement will be adhered to by the contractors and will be overseen by the project representative/foreman.

The proposed works will be carried out in accordance with the following best practice construction measures:

- If required, an ecological clerk of works shall be engaged to periodically inspect all elements of the works for their entire duration;
- All materials shall be stored at the main contractor compound and transported to the works zone immediately prior to construction;
- Weather conditions will be considered when planning construction activities;
- If very wet ground must be accessed during the construction process bog mats will be used to enable access to these areas by machinery. Temporary roads/access tracks will not be constructed;
- The Contractor shall ensure that all personnel working on site are trained in pollution incident control response. A regular review of weather forecasts of heavy rainfall is required and the Contractor is required to prepare a contingency plan for before and after such events;
- Excavations will be left open for minimal periods to avoid acting as a conduit for surface water flows.
- Only emergency breakdown maintenance will be carried out on site. Emergency procedures and spillage kits will be available and construction staff will be familiar with emergency procedures.
- Appropriate containment facilities will be provided to ensure that any spills from the vehicle are contained and removed off site. Adequate stocks of absorbent materials, such as sand or commercially available spill kits shall be available;
- Where dust suppression is considered to be required by the Contractor, such requirements and methodology shall be subject to the agreement with the Ecological Clerk of Works;



14.0 Invasive Species Best Practice Measures

Invasive species can be introduced into a location by contaminated vehicles and equipment, in particular tracked vehicles, which were previously used in locations that contained invasive species. Good site organisation and hygiene shall be always maintained on a site, particularly during construction activities. The following best practice measures form part of the construction methodology and will help to contain and/or prevent the introduction of invasive species on the site as follows:

- When deemed necessary, all plant and equipment employed on the proposed works (e.g. diggers, tracked machines, footwear etc.) will be thoroughly cleaned down using a power washer unit, and washed into a dedicated and contained area prior to arrival on site and on leaving site to prevent the spread of invasive aquatic / riparian species such as Japanese knotweed *Fallopia japonica* and Himalayan Balsam *Impatiens glandulifera*. A sign off sheet will be maintained by the contractor to confirm cleaning.
- Material gathered in the dedicated and contained clean down area will need to be appropriately treated as contaminated material on site.
- For any material entering the site, the supplier must provide an assurance that it is free of invasive species.
- Ensure all site users are aware of invasive species management plan and treatment methodologies. This can be achieved through “toolbox talks” before works begin on the site.
- Adequate site hygiene signage should be erected in relation to the management of non-native invasive material.

15.0 Waste Management

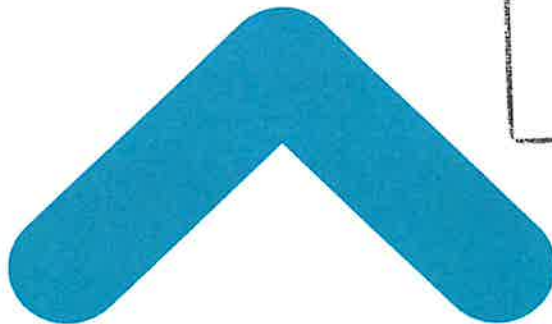
All waste arising during the construction phase will be managed and disposed of in a way that ensures the provisions of the Waste Management Act 1996 and associated amendments and regulations of the Waste Management Plan are followed.



Article 6 (3) Appropriate Assessment Screening Report

Teadmores Solar Farm
20kV Grid Connection

Planning Department
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Cork County Council
County Hall
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Prepared By: **MKO
Tuam Road
Galway
Ireland
H91 VW84**



Planning and
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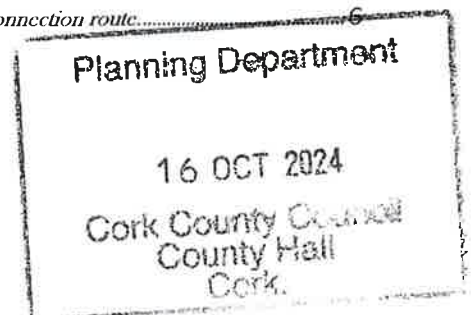
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INTRODUCTION

Background

MKO has been appointed to provide the information necessary to allow the competent authority to conduct an Article 6(3) Screening for Appropriate Assessment of a proposed grid connection for the permitted Teadmore Solar Park (Pl. Ref 16/6302) at Tead More, County Cork.

Screening for Appropriate Assessment is required under Council Directive 92/43/EEC on the conservation of natural habitats and of wild fauna and flora (the Habitats Directive). Where it cannot be excluded that a project or plan, either alone or in combination with other projects or plans, would have a significant effect on a European Site then same shall be subject to an appropriate assessment of its implications for the site in view of the site's conservation objectives. The current project is not directly connected with, or necessary for, the management of any European Site consequently the project has been subject to the Appropriate Assessment Screening process.

The assessment in this report is based on desk studies and field surveys undertaken in February 2024. It specifically assesses the potential for the proposed development to result in significant effects on European sites in the absence of any best practice, mitigation or preventative measures.

This Appropriate Assessment Screening Report has been prepared in accordance with the European Commission's Assessment of Plans and Projects Significantly affecting Natura 2000 Sites: Methodological Guidance on the provisions of Article 6(3) and 6(4) of the Habitats Directive 92/43/EEC (EC, 2021) and Managing Natura 2000 Sites: the provisions of Article 6 of the 'Habitats' Directive 92/43/EEC (EC, 2018) as well as the Department of the Environment's Appropriate Assessment of Plans and Projects in Ireland - Guidance for Planning Authorities (DoEHLG, 2010) and the Appropriate Assessment Screening for Development Management. Office of the Planning Regulator, Dublin 7, Ireland OPR (2021).

Statement of Authority

A baseline ecological survey was undertaken on the 12th of February 2024 by Stephanie Corkery (BSc., MSc.) of MKO. The ecological surveyor possesses the relevant academic qualifications and is competent in undertaking the ecological surveys in which she was involved.

This Appropriate Assessment Screening Report has been prepared by Deepali Mooloo (BSc., MSc.) and Stephanie Corkery. This report has been reviewed by Pádraig Desmond (BSc.). Pádraig has over 4 years' professional experience in ecological consultancy. He has extensive experience undertaking ecological surveys in a range of habitats and has worked on Appropriate Assessment and Ecological Impact Assessment for a wide range of projects.



2. DESCRIPTION OF THE PROPOSED DEVELOPMENT

2.1 Site Location

The proposed development site is located in East Cork in the town land of Teadmore approximately 3km north of Cloyne and 4km south-east of Middleton City (IG Reference: W 91725 71163). The site can be accessed via the L3630 local road.

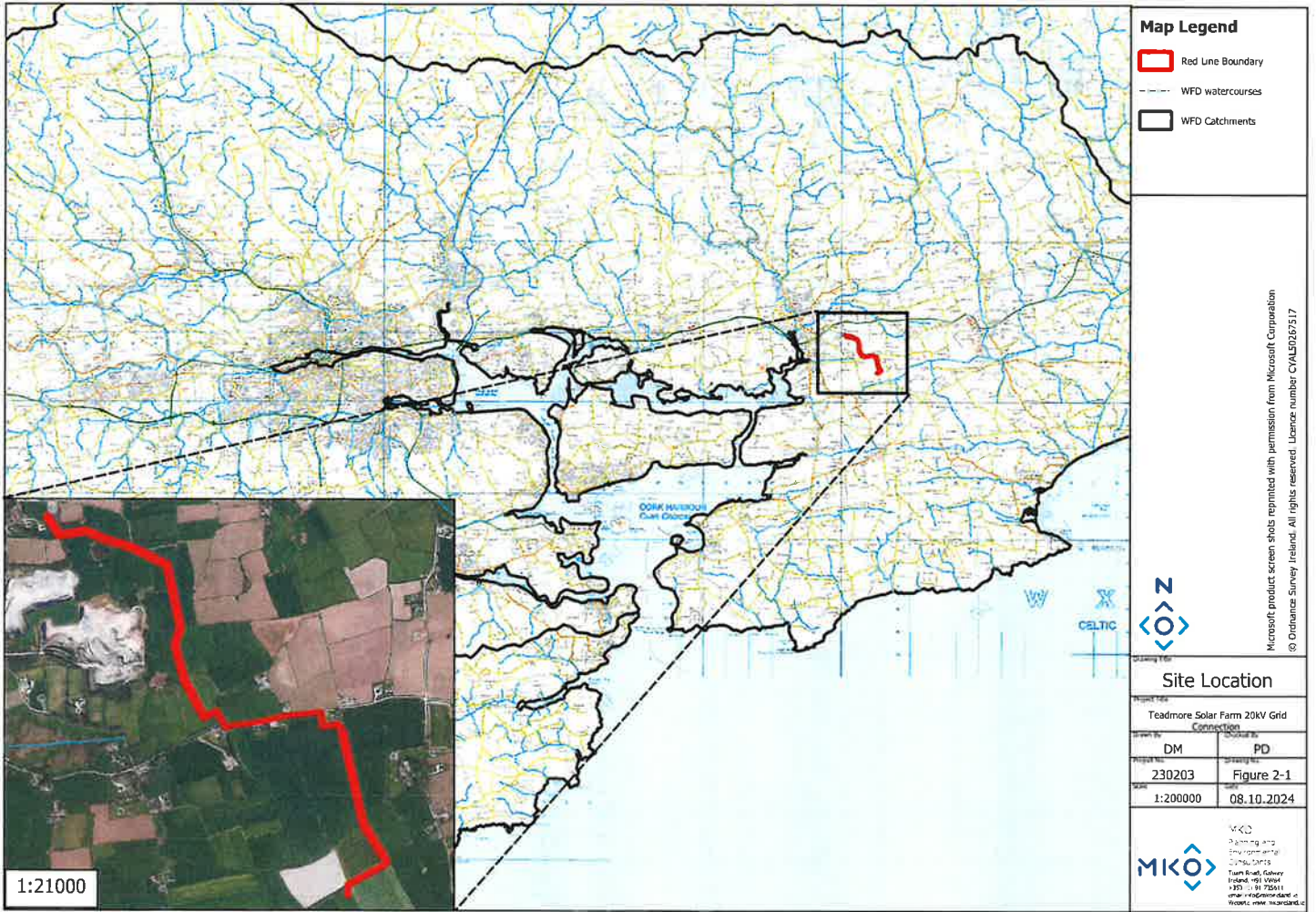
A site location map is provided in Figure 2-1.

2.2 Characteristics of the Proposed Development

2.2.1 Description of the project

The proposed works involve laying of 20kV 1030m of underground electrical cabling and ducting and associated joint bays and the erection of 2003m overhead 20kV electricity transmission cable and electricity poles from the permitted Tead More Solar Park (Pl. Ref 16/06302) to the existing 38 kV ESB Substation located at Carrigshane, Middleton, Co. Cork. The proposed cable route is 3.03km in length and consists of 259m underground cabling in the permitted solar farm, 2003m of overhead line through private lands, 321m underground cabling on private lands and 451m of underground cabling in the public road. The proposed works are in the townlands of Teadmore & Carrigshane.





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Description of the Baseline Ecological Environment

Assessing the impacts of any project and associated activities requires an understanding of the ecological baseline conditions prior to and at the time of the project proceeding. Ecological Baseline conditions are those existing in the absence of proposed activities (CIEEM 2018, as amended).

A multidisciplinary walkover survey was conducted on the 12th of February 2024 in line with NRA (2009) guidelines (Ecological Surveying Techniques for Protected Flora and Fauna during the Planning of National Road Schemes). All habitats within and adjacent to the works area were readily identifiable during the site visit. The proposed development site was searched for species listed on the Third Schedule of the European Communities (Birds and Natural Habitats) Regulations (S.I. 477 of 2011). Habitats were identified in accordance with the Heritage Council's 'Guide to Habitats in Ireland' (Fossitt, 2000). Plant nomenclature for vascular plants follows 'New Flora of the British Isles' (Stace, 2019). The walkover survey was designed to detect the presence, or likely presence, of a range of protected habitats and species, including those listed under the Annexes of the EU Habitats Directive 92/43/EEC. The multidisciplinary walkover survey comprehensively covered the entire footprint of the proposed grid connection.

The proposed cable route runs from permitted Tead More Solar Park to the existing 38 kV ESB Substation located at Carrigshane, Middleton, Co. Cork

The majority of the proposed grid connection will primarily occur within highly modified habitats such as agricultural lands and roads. The grid connection will be laid within habitats which have been classified as **Improved Agricultural Grassland (GA1)** and a section of adjoining public road classified as **Buildings and artificial surfaces (BL3)** (Plate 2-1 and Plate 2-2). Agricultural fields are delineated by **Stone walls and other stonework (BL1)** (Plate 2-3), **Hedgerows (WLI)** mainly comprised of hawthorn (*Crataegus monogyna*), bramble (*Rubus fruticosus* agg.), occasional gorse (*Ulex europaeus*), and ivy (*Hedera helix*), as well as **Earth banks (BL2)** (Plate 2-4). Scattered **Treelines (WL2)** which included ash (*Fraxinus excelsior*), sycamore (*Acer pseudoplatanus*), and hawthorn (*Crataegus monogyna*) were also noted along and adjacent to the proposed GC (Plate 2-5 and Plate 2-6). Grassy verge habitat surrounding agricultural fields and bordering roadsides was classified as **Dry meadows and grassy verges (GS2)** and contained a combination of species which included Yorkshire fog (*Holcus lanatus*), perennial ryegrass (*Lolium perenne*) nettle (*Urtica dioica*), dock (*Rumex* sp.), and lords and ladies (*Arum maculatum*).

No watercourses were identified along or adjacent to the proposed grid connection route during the multidisciplinary walkover survey. Following a review of the EPA mapviewer, the closest mapped watercourse to the proposed grid connection is 360m to the west. There is no direct hydrological connectivity between the proposed grid connection and this watercourse.

No habitats listed under Annex I of the EU Habitats Directive were recorded within the proposed grid connection and no suitable supporting habitat for species listed under Annex II of the EU Habitats Directive was identified during the walkover survey. No birds listed under Annex I of EU Birds Directive, nor significant suitable habitat, were recorded along the proposed grid connection route.

No Invasive Alien Species (IAS) listed under the Third Schedule of the European Communities Regulations 2011 (S.I. 477 of 2015) were found within or adjacent to the works area boundary.

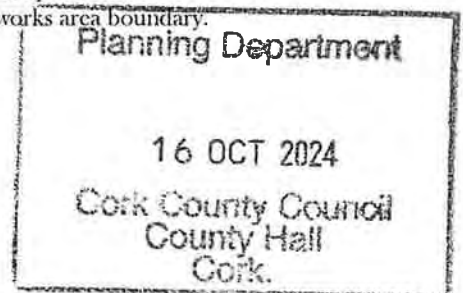




Plate 2-1 Example of Improved agricultural grassland (GAI) habitat along the proposed grid connection route.



Plate 2-2 Local road classified as Buildings and artificial surfaces (BI.3).



Plate 2-3 Example of Stone walls (BI.1) with Hedgerow (WI.1) and Dry meadows and grassy verges (GS2).



Plate 2-4 Example of Earth banks (BI.2) habitat found bordering agricultural fields.



Plate 2-5 Scattered trees adjacent to the proposed grid connection route.



Plate 2-6 Example of Treeline (WI.2) found adjacent to the proposed grid connection route.

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IDENTIFICATION OF RELEVANT EUROPEAN SITES

Identification of the European Sites within the Likely Zone of Influence

The following methodology was used to establish any European Sites upon which there is a potential for a likely significant effect to occur either individually or in combination with other plans and projects as a result of the proposed development:

- Initially the most up to date GIS spatial datasets for European designated sites and water catchments were downloaded from the NPWS website (www.npws.ie) and the EPA website (www.epa.ie) on the 11/10/2024.
- All European Sites that could potentially be affected were identified using a source-pathway - receptor model. To provide context for the assessment, European Sites surrounding the development site are shown on Figure 3-1. Information on these sites according to the site-specific conservation objectives is provided in Table 3-1. Sites that were further away from the proposed development were also considered and, in this case, no complete source-pathway- receptor chain for significant effect was identified for any other European Site.
- The catchment mapping was used to establish or discount potential hydrological connectivity between the site of the proposed development and any European Sites. The hydrological catchments are also shown in Figure 3-1.
- In relation to Special Protection Areas, in the absence of any specific European or Irish guidance in relation to such sites, the Scottish Natural Heritage (SNH) Guidance, '*Assessing Connectivity with Special Protection Areas (SPA)*' (2016) was consulted. This document provides guidance in relation to the identification of connectivity between proposed development and Special Protection Areas. The guidance takes into consideration the distances species may travel beyond the boundary of their SPAs and provides information on dispersal and foraging ranges of bird species which are frequently encountered when considering plans and projects.
- Table 3-1 provides details of all relevant European Sites as identified in the preceding steps and assesses the potential for likely significant effects on each.
- The assessment considers any likely direct or indirect impacts of the proposed development, both alone and in combination with other plans and projects, on European Sites by virtue of criteria including the following: size and scale, land-take, distance from the European Site or key features of the site, resource requirements, emissions, excavation requirements, transportation requirements and duration of construction, operation and decommissioning were considered in this assessment.
- The site synopses and conservation objectives of these sites, as per the NPWS website (www.npws.ie), were consulted and reviewed at the time of preparing this report.
- The potential for the proposed development to result in cumulative impacts on any European Sites in combination with other plans and projects was considered in the assessment that is presented in Table 3-2. Plans and projects considered include those that are listed in Section 3.2.

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Table 1: Identification of Designated Sites within the LULU Zone of Influence

European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
Special Areas of Conservation (SAC)			
Great Island Channel SAC [001058] Distance: 1.9 km	<ul style="list-style-type: none"> > [1140] Mudflats and sandflats not covered by seawater at low tide > [1830] Atlantic salt meadows (<i>Glauco-Puccinellietalia maritima</i>) 	Detailed conservation objectives for this site, (Version 1, June 2014), were reviewed as part of the assessment and are available at www.npws.ie	<p>There will be no direct effects as the footprint of the proposed development is located entirely outside of the boundary of this European Site.</p> <p>No QI habitat for which this SAC has been designated was recorded within or adjacent to the Proposed Development site and therefore, there is no potential for <i>ex-situ</i> effects on this European Site.</p> <p>No potential pathway for significant indirect effects on this European Site was identified, when considered in the absence of any mitigation, individually or cumulatively with other plans or projects.</p> <p>No watercourses were recorded along the proposed grid connection and no potential for significant indirect effects on the SAC via hydrological pathways have been identified.</p> <p>No complete source-pathway-receptor chain for significant effect exists and therefore, this SAC is not within the Likely Zone of Influence.</p>
Ballymacoda (Clonpriest and Pilmore) SAC [000077]	<ul style="list-style-type: none"> > [1130] Estuaries > [1140] Mudflats and sandflats not covered by seawater at low tide 	Detailed conservation objectives for this site, (Version 2, February 2015), were reviewed as part of the assessment and are available at www.npws.ie	<p>There will be no direct effects as the footprint of the proposed development is located entirely outside of the boundary of this European Site.</p>

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European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
Distance: 12.0 km	<ul style="list-style-type: none"> > [1310] Salicornia and other annuals colonising mud and sand > [1330] Atlantic salt meadows (<i>Glauxo-Puccinellietalia maritima</i>) 		<p>No QI habitat for which this SAC has been designated was recorded within or adjacent to the Proposed Development site and therefore, there is no potential for <i>ex-situ</i> effects on this European Site.</p> <p>No potential pathway for significant indirect effects on this European Site was identified, when considered in the absence of any mitigation, individually or cumulatively with other plans or projects.</p> <p>No watercourses were recorded along the proposed grid connection and no potential for significant indirect effects on the SAC via hydrological pathways have been identified.</p> <p>No complete source-pathway-receptor chain for significant effect exists and therefore, this SAC is not within the Likely Zone of Influence.</p>
Special Protection Area (SPA)			
Cork Harbour SPA [004030] Distance: 1.9 km	<ul style="list-style-type: none"> > [A004] Little Grebe (<i>Tachybaptus rufocollis</i>) > [A005] Great Crested Grebe (<i>Podiceps cristatus</i>) > [A017] Cormorant (<i>Phalacrocorax carbo</i>) > [A028] Grey Heron (<i>Ardea cinerea</i>) > [A048] Shelduck (<i>Tadorna tadorna</i>) 	Detailed conservation objectives for this site, (Version 1, December 2014), were reviewed as part of the assessment and are available at www.npws.ie	<p>There will be no direct effects as the footprint of the proposed development is located entirely outside the boundary of this European Site with a separation distance of 1.9 km.</p> <p>No significant supporting habitat for any SCI of the SPA was recorded along the proposed grid connection route and therefore, there is no potential for <i>ex-situ</i> effects on this European Site as a result of habitat loss, disturbance, or displacement.</p>

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European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
	<ul style="list-style-type: none"> > [A050] Wigeon (<i>Anas penelope</i>) > [A052] Teal (<i>Anas crecca</i>) > [A054] Pintail (<i>Anas acuta</i>) > [A056] Shoveler (<i>Anas chryseata</i>) > [A069] Red-breasted Merganser (<i>Mergus serrator</i>) > [A130] Oystercatcher (<i>Haematopus ostralegus</i>) > [A140] Golden Plover (<i>Pluvialis apricaria</i>) > [A141] Grey Plover (<i>Pluvialis squatarola</i>) > [A142] Lapwing (<i>Vanellus vanellus</i>) > [A149] Dumin (<i>Calcarius alpinus</i>) > [A156] Black-tailed Godwit (<i>Limosa limosa</i>) > [A157] Bar-tailed Godwit (<i>Limosa lapponica</i>) > [A160] Curlew (<i>Nemopus argyrea</i>) > [A162] Redshank (<i>Tringa totanus</i>) > [A179] Black-headed Gull (<i>Chroicocephalus ridibundus</i>) > [A182] Common Gull (<i>Larus canus</i>) > [A183] Lesser Black-backed Gull (<i>Larus fuscus</i>) > [A193] Common Tern (<i>Sterna hirundo</i>) > [A999] Wetlands 		<p>No potential pathway for significant indirect effect on this SPA was identified, when considered in the absence of any mitigation, individually or cumulatively with other plans or projects.</p> <p>The proposed grid connection is minor in nature and scale and works are restricted to highly modified agricultural fields and existing roads infrastructure and therefore, there is no potential for significant effects as a result of habitat loss.</p> <p>Additionally, whilst the proposed grid connection is within the foraging distance of several SCIs of the SPA and includes overhead lines, considering the nature and scale of the development and absence of significant supporting habitat for any SCI of the SPA, no significant effect as a result of the collision are anticipated, as a result of the proposed development.</p> <p>No watercourses were recorded within the site and there is no potential for significant indirect effects on the SPA as a result of water deterioration via hydrological pathways have been identified.</p> <p>No complete source-pathway-receptor chain for significant effect exists and therefore, this SPA is not within the Likely Zone of Influence.</p>

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European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
Ballycotton Bay SPA [004022] Distance: 8.2km	<ul style="list-style-type: none"> > [A052] Teal (<i>Anas crecca</i>) > [A137] Ringed Plover (<i>Charadrius hiaticula</i>) > [A140] Golden Plover (<i>Pluvialis apricaria</i>) > [A141] Grey Plover (<i>Pluvialis squatarola</i>) > [A142] Lapwing (<i>Vanellus vanellus</i>) > [A156] Black-tailed Godwit (<i>Limosa limosa</i>) > [A157] Bar-tailed Godwit (<i>Limosa lapponica</i>) > [A160] Curlew (<i>Numenius arquata</i>) > [A169] Turnstone (<i>Arenaria interpres</i>) > [A182] Common Gull (<i>Larus canus</i>) > [A183] Lesser Black-backed Gull (<i>Larus fuscus</i>) > [A999] Wetlands 	Detailed conservation objectives for this site, (Version 1, August 2014), were reviewed as part of the assessment and are available at www.npws.ie	<p>There will be no direct effects as the footprint of the proposed development is located entirely outside the boundary of this European Site with a separation distance of 8.2 km.</p> <p>No significant supporting habitat for any SCI of the SPA was recorded along the proposed grid connection route and therefore, there is no potential for <i>ex-situ</i> effects on this European Site as a result of habitat loss, disturbance, or displacement.</p> <p>No potential pathway for significant indirect effect on this SPA was identified, when considered in the absence of any mitigation, individually or cumulatively with other plans or projects.</p> <p>The proposed grid connection is minor in nature and scale and works are restricted to highly modified agricultural fields and existing roads infrastructure and are located over 8 km from this SPA. Therefore, there is no potential for significant effects as a result of habitat loss.</p> <p>Additionally, whilst the proposed grid connection includes overhead lines, considering the nature and scale of the development, the separation distance between the proposed development site and the SPA, and absence of significant supporting habitat for any SCI of the SPA within the proposed development site, no significant effect as a result of the collision are anticipated, as a result of the proposed development.</p>

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European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
			<p>No watercourses were recorded within the site and there is no potential for significant indirect effects on the SPA as a result of water deterioration via hydrological pathways have been identified.</p> <p>No complete source-pathway-receptor chain for significant effect exists and therefore, this SPA is not within the Likely Zone of Influence.</p>
<p>Ballymacoda Bay SPA {004023}</p> <p>Distance: 13.0km</p>	<ul style="list-style-type: none"> > [A050] Wigeon (<i>Anas penelope</i>) > [A052] Teal (<i>Anas crecca</i>) > [A137] Ringed Plover (<i>Charadrius hiaticula</i>) > [A140] Golden Plover (<i>Pluvialis apricaria</i>) > [A141] Grey Plover (<i>Pluvialis squatarola</i>) > [A142] Lapwing (<i>Vanellus vanellus</i>) > [A144] Sanderling (<i>Calidris alba</i>) > [A149] Dunlin (<i>Calidris alpina</i>) > [A156] Black-tailed Godwit (<i>Limosa limosa</i>) > [A157] Bar-tailed Godwit (<i>Limosa lapponica</i>) > [A160] Curlew (<i>Numenius arquata</i>) > [A162] Redshank (<i>Tringa totanus</i>) > [A169] Turnstone (<i>Arenaria interpres</i>) 	<p>Detailed conservation objectives for this site, (Version 1, February 2015), were reviewed as part of the assessment and are available at www.npws.ie</p>	<p>There will be no direct effects as the footprint of the proposed development is located entirely outside the boundary of this European Site with a separation distance of 13 km.</p> <p>No significant supporting habitat for any SCI of the SPA was recorded along the proposed grid connection route and therefore, there is no potential for <i>ex-situ</i> effects on this European Site as a result of habitat loss, disturbance, or displacement.</p> <p>No potential pathway for significant indirect effect on this SPA was identified, when considered in the absence of any mitigation, individually or cumulatively with other plans or projects.</p> <p>The proposed grid connection is minor in nature and scale and works are restricted to highly modified agricultural fields and existing roads infrastructure and are located over 13 km from this SPA. Therefore, there is no potential for significant effects as a result of habitat loss.</p>

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European Sites and distance from proposed development	Qualify Interests/Special Conservation Interests for which the European site has been designated (Sourced from NPWS online Conservation Objectives, www.npws.ie on the 22/01/2024	Conservation Objectives	Identification of Source-Pathway-Receptor chain and Likely Zone of Influence Determination
	<ul style="list-style-type: none"> > [A179] Black-headed Gull (<i>Chroicocephalus ridibundus</i>) > [A182] Common Gull (<i>Larus canus</i>) > [A183] Lesser Black-backed Gull (<i>Larus fuscus</i>) > [A999] Wetlands 		<p>Additionally, whilst the proposed grid connection includes overhead lines, considering the nature and scale of the development, the separation distance between the proposed development site and the SPA, and absence of significant supporting habitat for any SCI of the SPA within the proposed development site, no significant effect as a result of the collision are anticipated, as a result of the proposed development.</p> <p>No watercourses were recorded within the site and there is no potential for significant indirect effects on the SPA via hydrological pathways have been identified.</p> <p>No complete source-pathway-receptor chain for significant effect exists and therefore, this SPA is not within the Likely Zone of Influence.</p>

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Likely Cumulative Impact of the Proposed Works on European Sites, in-combination with other plans and projects

The potential for the proposed development to contribute to a cumulative impact on European Sites was considered. The online planning system for Cork County Council was consulted on the 11/10/2024. Plans and projects in the vicinity of the proposed development within the last 5 years include the following:

- > Permission for construction of a new two storey dwelling, garage, site works, wastewater treatment system, percolation area and all ancillary works. (pl ref: 205185)
- > Permission for construction of a single storey dwelling house, new vehicular entrance, new wastewater treatment system and percolation area and all associated site works. (pl ref: 204798)
- > Permission for construction of a two storey dwellinghouse, new vehicular entrance, wastewater treatment system and percolation area and all associated site works (pl ref: 196941)
- > Permission for construction of a dwelling, a site entrance, a wastewater treatment system and all associated site works (pl ref: 235548).
- > Permission for new single storey, detached dwelling with wastewater treatment system, associated site and ancillary works (pl ref: 215414).
- > Permission to construct a dwelling house, new vehicular entrance, domestic garage, install a wastewater treatment system and percolation area and all associated site works [pl ref: 224343].
- > Permission for construction of a new two storey dwelling, garage, new entrance, driveway, wastewater treatment system and all ancillary works [pl ref: 235385].
- > Permission for the development of a waste soils recovery facility for the importation of approx. 1.4Mm³ of inert soil and stones material to fill quarry voids; final restoration and landscaping to revert the site to agricultural use; provision of internal access track linking Midleton Quarry with adjacent permitted Coppingerstown Quarry; ancillary services such as installation of a weighbridge, weighbridge office incorporating welfare facilities, wheelwash, inspection shed/quarantine area with skips; associated site development works; access to site via existing vehicular access points; all on a site of approximately 15.7ha. An Environmental Impact Assessment Report will be submitted to the Planning Authority with the application. This development comprises an activity which will require a Waste License from the EPA [pl ref: 194719].
- > Permission to demolish the existing single storey front, side & rear extensions, permission to construct a new single storey side & rear to her existing dwelling, install 4 no. roof lights to the existing front & rear roofs of her dwelling, Elevational changes to the existing dwelling, install a wastewater treatment system & percolation area, new vehicular entrance and all associated site works [pl ref: 244092].

The following Plans were also reviewed and considered as part of this assessment:

- > Cork County Development Plan 2022-2028
- > Regional Spatial and Economic Strategy for the Southern Region 2040
- > Ireland 4th National Biodiversity Action Plan 2023-2030

The review focused on policies and objectives that relate to Natura 2000 sites and natural heritage. Policies and objectives relating to sustainable land use were also reviewed.

The review of these Plans is provided below in Table 3-2.



Table 4.2 Review of Plans

Plan	Key Policies/Issues/Objectives Directly Related to European Sites in The Zone of Influence	Assessment of development compliance with policy
<p>Cork County Development Plan 2022-2028</p>	<p>It is the Policy of the Council to:</p> <p>RP 5-19 Greenbelts around Settlements b) Reserve generally for use as agriculture, open space or recreation uses those lands that lie in the immediate surroundings of towns. Where Natura 2000 sites, Natural Heritage Areas, proposed Natural Heritage Areas and other areas of biodiversity value occur within Greenbelts, these shall be reserved for uses compatible with their nature conservation designation and biodiversity value.</p> <p>MCI 7-5; Marine Leisure a) Support the development of rural Cork's coastal marine leisure facilities, where they are compatible with other objectives and policies in this Plan and any Natura 2000 designations.</p> <p>TO 10-1: Promotion of Sustainable Tourism in County Cork a) Ensuring the protection of the natural, built and cultural heritage assets of the county, including Natura sites, which are in themselves part of what attracts visitors to the county.</p> <p>TO 10-2 Wild Atlantic Way and Irelands Ancient East Continue to actively engage, invest, encourage and promote the development of the Wild Atlantic Way and Irelands Ancient East regional brands through sustainable tourism, which will enable visitors to have enjoyable experiences while having regard for the cultural, built and natural heritage, and environmental impacts, including the protection of Natura 2000 sites.</p> <p>WM 11-1: EU Water Framework Directive and the River Basin Management Plan f) Support the prioritisation of the provision of water services infrastructure in: • All settlements where services are not meeting current needs, are failing to meet the requirements of the Urban Wastewater Treatment Directive, and where these deficiencies are > having negative impacts on Natura 2000 sites; and g) Development may only proceed where appropriate wastewater treatment is available which meets the requirements of environmental legislation, the Water Framework Directive and the requirements of the Habitats Directive.</p> <p>ET 13-7: Open to Consideration</p>	<p>The plans were comprehensively reviewed, with particular reference to Policies and Objectives that relate to the Natura 2000 network and other natural heritage interests. The proposed development will not result in significant impacts on any European Site and no potential for cumulative impacts when considered in conjunction with the proposed works were identified.</p>

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	<p>Commercial wind energy development is open to consideration in these areas where proposals can avoid adverse impacts on:</p> <ul style="list-style-type: none">> Natura 2000 Sites (SPA's and SAC's), Natural Heritage Areas (NHA's), proposed Natural Heritage Areas and other sites and locations of significant ecological value. <p>GI 14-1: Countywide Green and Blue Infrastructure Objectives</p> <p>b) Develop the green infrastructure network (including green corridors) to ensure the conservation and enhancement of biodiversity, including the protection of Natura 2000 European Sites, the provision of accessible parks, open spaces and recreational facilities (particularly within settlements), the sustainable management of water, the maintenance of landscape character and the protection and enhancement of architectural and archaeological heritage.</p> <p>BE 15-9: Protect sites, habitats and species</p> <p>a) Protect all natural heritage sites which are designated or proposed for designation under European legislation, National legislation and International Agreements. Maintain and where possible enhance appropriate ecological linkages between these. This includes Special Areas of Conservation, Special Protection Areas, Marine Protected Areas, Natural Heritage Areas, proposed Natural Heritage Areas, Statutory Nature Reserves, Refuges for Fauna and Ramsar Sites. These sites are listed in Volume 2 of the Plan.</p> <p>b) Provide protection to species listed in the Flora Protection Order 2015, to Annexes of the Habitats and Birds Directives, and to animal species protected under the Wildlife Acts in accordance with relevant legal requirements. These species are listed in Volume 2 of the Plan.</p> <p>c) Protect and where possible enhance areas of local biodiversity value, ecological corridors and habitats that are features of the County's ecological network. This includes rivers, lakes, streams and ponds, peatland and other wetland habitats, woodlands, hedgerows, tree lines, veteran trees, natural and semi-natural grasslands as well as coastal and marine habitats. It particularly includes habitats of special conservation significance in Cork as listed in Volume 2 of the Plan.</p> <p>e) Encourage, pursuant to Article 10 of the Habitats Directive, the protection and enhancement of features of the landscape, such as traditional field boundaries, important for the ecological coherence of the Natura 2000 network and essential for the migration, dispersal and genetic exchange of wild species.</p> <p>BE 15-17: Waste Prevention and Management</p> <p>a) Planning applications for infilling of marginal land through soil importation will be supported where it can be demonstrated that the developments accord with proper planning and sustainable development, ensuring that they are compatible with the protection of environmental resources including water quality, Natura 2000 sites, biodiversity, archaeological and landscape resources.</p>	
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Regional Spatial and Economic Strategy for the Southern Region (RSES) (2020-2032)

RPO 1 Environmental Assessment

b. The RSES seeks to protect, manage, and through enhanced ecological connectivity, improve the coherence of the Natura 2000 Network in the Southern Region.

RPO5 Population Growth and Environmental Criteria

Increased population growth should be planned with regard to environmental criteria, including:

- > Proximity of Natura 2000 sites and potential for adverse effects on these sites, and their conservation objectives.

RPO 11 Key Towns

k. To plan increasing population growth in all Key Towns on a phased basis in collaboration with Irish Water, the local authority and other stakeholders to ensure that the assimilative capacity of the receiving environment is not exceeded and that increased wastewater discharges from population growth does not contribute to degradation of water quality and avoids adverse impacts on the integrity of water dependent habitats and species within the Natura 2000 network;

l. To give due consideration to the suitability of new and/or existing drinking water sources (e.g. hydromorphological pressures) to meet the increased demands on the water supply and prevent adverse impacts on the integrity of water dependent habitats and species within the Natura 2000 network. The National Water Resources Plan (NWRP) will outline how we move towards a sustainable, secure and reliable public drinking water supply over the next 25 years, whilst safeguarding our environment.

RPO 117 Flood Risk Management and Biodiversity

It is an objective to avail of opportunities to enhance biodiversity and amenity and to ensure the protection of environmentally sensitive sites and habitats, including where flood risk management measures are planned. Plans and projects that have the potential to negatively impact on Natura 2000 sites are subject to the requirements of the Habitats Directive.

RPO 124 Green Infrastructure

a. It is an objective to promote the concept of connecting corridors for the movement of wildlife and encourage the retention and creation of features of biodiversity value, ecological corridors and networks that connect areas of high conservation value such as woodlands, hedgerows, earth banks, watercourses and wetlands. The RSES recognises the necessity of protecting such corridors and the necessity to encourage the management of features of the landscape that support the Natura 2000 network;

RPO 126 Biodiversity

c. Local Authorities are required to carry out required screening of proposed projects and any draft land-use plan or amendment/ variation to any such plan for any potential ecological impact on areas designated or proposed for inclusion as Natura 2000/ European Sites and shall decide if an Appropriate Assessment is necessary, of the potential impacts of the project or plan on the conservation objectives of any Natura 2000/European Site;

The strategy plan was comprehensively reviewed, with particular reference to Policies and Objectives that relate to the Natura 2000 network and other natural heritage interests.

The proposed development is adhering to the required appropriate assessment screening process and evaluating any potential impacts on Natura 2000 sites. The region's biodiversity, habitat connectivity, and natural heritage will not be significantly affected by the proposed works.

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	<p>RPO 151 Integration of Land Use and Transport j. The protection of the Natura 2000 networks and the ecological linkages connected to the Natura 2000 network.</p> <p>RPO 208 Irish Water and Water Supply c. Deliver and phase services, subject to the required appraisal, planning and environmental assessment processes and avoid adverse impacts on the integrity of the Natura 2000 network;</p> <p>d. Local Authority Core Strategies shall demonstrate compliance with DHPLG Water Services Guidelines for Planning Authorities and demonstrate phased infrastructure led growth to meet demands on the water supply, suitability of new and/or existing drinking water sources (for example hydro morphological pressures) and prevent adverse impacts on the integrity of water dependent habitats and species within the Natura 2000 network.</p> <p>RPO 212 Strategic Wastewater Treatment Facilities For the management of wastewater, increasing population growth should be planned on a phased basis in collaboration with Irish Water and the local authorities to ensure that the assimilative capacity of the receiving environment is not exceeded and that increased wastewater discharges from population growth does not contribute to degradation of water quality and to avoid adverse impacts on the integrity of the Natura 2000 network.</p>	
<p>Ireland 4th National Biodiversity Action Plan 2023-2030</p>	<ul style="list-style-type: none"> > Objective 1: Adopt a Whole-of Government, Whole of-Society Approach to Biodiversity. Proposed actions include capacity and resource reviews across Government; determining responsibilities for the expanding biodiversity agenda providing support for communities, citizen scientists and business; and mechanisms for the governance and review of this National Biodiversity Action Plan. > Objective 2: Meet Urgent Conservation and Restoration Needs. Supporting actions will build on existing conservation measures. Efforts to tackle Invasive Alien Species will be elevated. The protected area network will be expanded to include the Marine Protected Areas. The ambition of the EU Biodiversity Strategy will be considered as part of an evolving work programme across Government. > Objective 3: Secure Nature's Contribution to People. Actions highlight the relationship between nature and people in Ireland. These include recognising the tangible and intangible values of biodiversity, promoting nature's importance to our culture and heritage and recognising how biodiversity supports our society and our economy. > Objective 4: Enhance the Evidence Base for Action on Biodiversity. This objective focuses on biodiversity research needs, as well as the development and strengthening of long-term monitoring programmes that will underpin and strengthen future decision-making. 	<p>The Biodiversity Action Plan was comprehensively reviewed for targets and objectives relating to the Natura 2000 network and other natural heritage interests.</p> <p>The proposed works are small scale within the context of the local environment and will not impact on any Natura 2000 sites or ecosystem services, as evaluated during the appropriate assessment screening process.</p>

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	<p>Action will also focus on collaboration to advance ecosystem accounting that will contribute towards natural capital accounts.</p> <p>> Objective 5: Strengthen Ireland's Contribution to International Biodiversity Initiatives. Collaboration with other countries and across the island of Ireland will play a key role in the realisation of this Objective. Ireland will strengthen its contribution to international biodiversity initiatives and international governance processes, such as the United Nations Convention on Biological Diversity.</p>	
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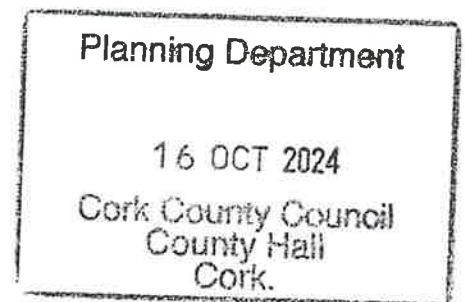
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Conclusion of in-combination/cumulative assessment

No pathway or mechanism for the proposed development to result in any significant effect on any European Site was identified when considered on its own during the assessment process and therefore, there is no potential for it to contribute to any such effects when considered in-combination with any other development.

In the review of the above plans and projects that was undertaken, no connection, that could potentially result in additional or cumulative impacts on European Sites was identified. Neither was any potential for different (new) impacts resulting from the combination of the above projects and plans in association with the proposed development.

Taking into consideration the reported residual impacts from other plans and projects in the area and the predicted impacts with the current proposal, no residual cumulative impacts have been identified with regard to any European Site.



ARTICLE 6(3) APPROPRIATE ASSESSMENT SCREENING STATEMENT AND CONCLUSIONS

Data Collected to Carry Out Assessment

In preparation of the report, the following sources were used to gather information:

- > Review of NPWS Site Synopses, Conservation Objectives for the European Sites.
- > Review of 2019, 2013 and 2007 EU Habitats Directive (Article 17) Reports.
- > Review of online web-mappers: National Parks and Wildlife Service (NPWS), Teagasc, EPA, Water Framework Directive (WFD).
- > Review of OS maps and aerial photographs of the site of the proposed development.
- > Review of relevant databases including National Biodiversity Ireland Database and available literature of previous surveys conducted in the area.
- > Review of other plans and projects within the area.
- > Field surveys undertaken on the 12th of February 2024.

Concluding Statement

It is concluded beyond reasonable scientific doubt, in view of best scientific knowledge, on the basis of objective information and in light of the conservation objectives of the relevant European sites, that the proposed development, individually or in combination with other plans and projects, will not have a significant effect on any European Site.



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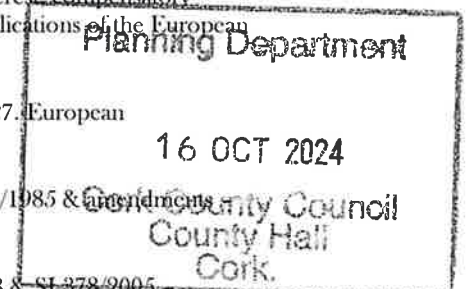
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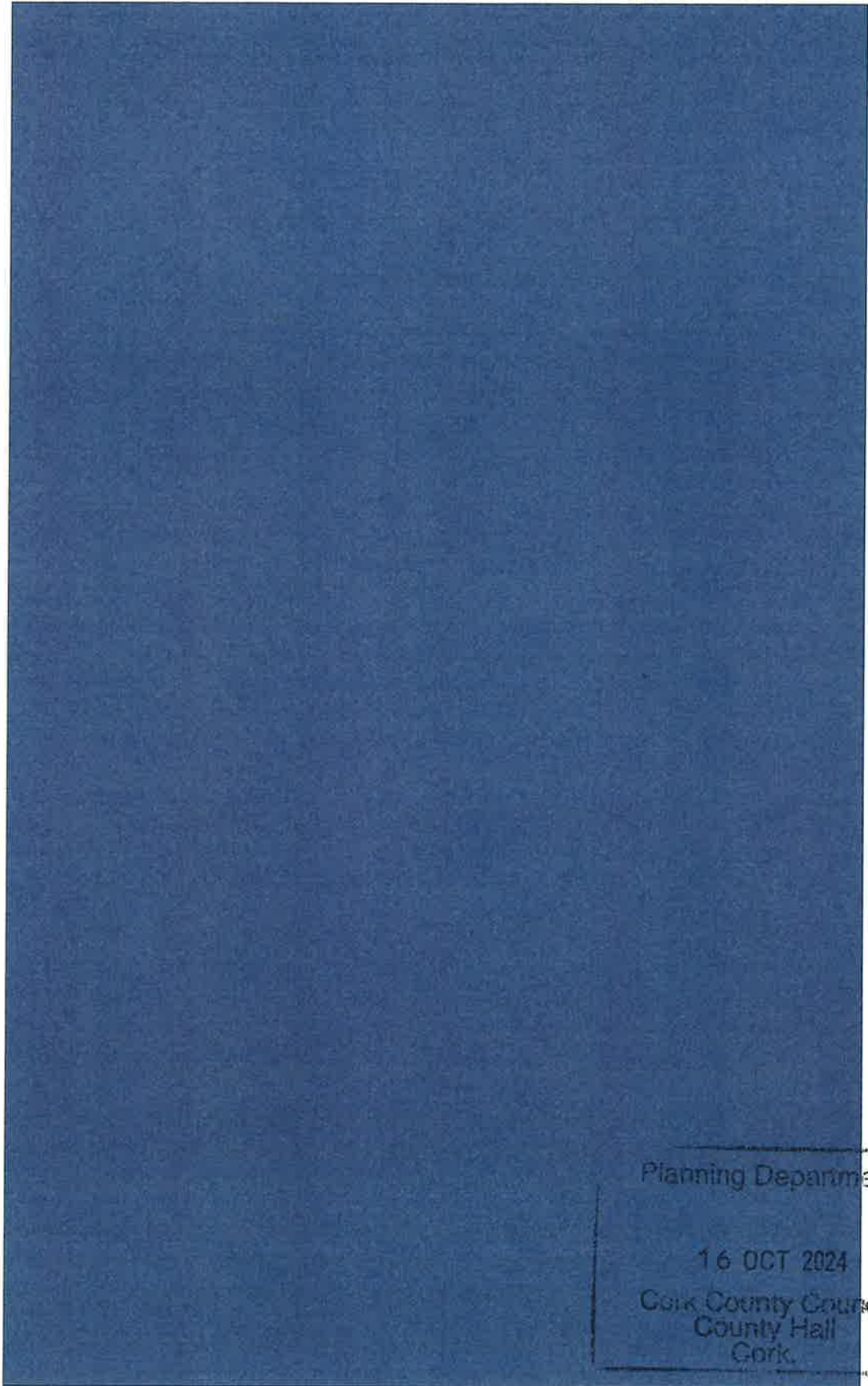
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Project Title	Teadmore Solar Park 20kV Grid Connection
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Project No.	05-756
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Title	Drawing/ Doc Number	Size	Revision																	
Site Location Map 5000	05756-DR-002	A1	P1																	
Site Location Map 1 of 2	05756-DR-003	A1	P1																	
Site Location Map 2 of 2	05756-DR-004	A1	P1																	
Site Layout Plan (Sh 1 of 8)	05756-DR-005	A1	P1																	
Site Layout Plan (Sh 2 of 8)	05756-DR-006	A1	P1																	
Site Layout Plan (Sh 3 of 8)	05756-DR-007	A1	P1																	
Site Layout Plan (Sh 4 of 8)	05756-DR-008	A1	P1																	
Site Layout Plan (Sh 5 of 8)	05756-DR-009	A1	P1																	
Site Layout Plan (Sh 6 of 8)	05756-DR-010	A1	P1																	
Site Layout Plan (Sh 7 of 8)	05756-DR-011	A1	P1																	
Site Layout Plan (Sh 8 of 8)	05756-DR-012	A1	P1																	
Joint Bay Details	05756-DR-015	A3	P1																	
Ducting Road Perm Reinstatement SD4 & 5	05756-DR-016	A3	P1																	
Ducting Road Temp Reinstatement SD1 & 2	05756-DR-017	A3	P1																	
Ducting Access Road	05756-DR-018	A3	P1																	
Ducting in Grass Lands	05756-DR-019	A3	P1																	
Culvert/Service Undercrossing	05756-DR-020	A1	P1																	
Culvert/Service Overcrossing	05756-DR-021	A1	P1																	
Watermain Undercrossing	05756-DR-022	A1	P1																	
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Cable End Pole (EP)	05756-DR-024	A3	P1																	
Intermediate Pole (IMP)	05756-DR-025	A3	P1																	
Light Angled Pole (LAP)	05756-DR-026	A3	P1																	
Medium & Heavy Angeled Poles (MAP & HAP)	05756-DR-027	A3	P1																	
Construction Methodology	05756-R01-00																			

Issue Date	D	04																		
	M	10																		
	Y	24																		

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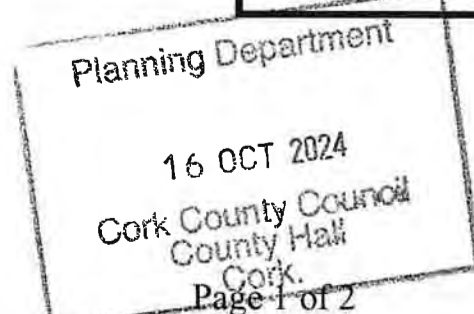
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C = Construction, R = Record, I = Information,
PL = Planning

Issue Method:

C = CD, E = Email, P = Paper

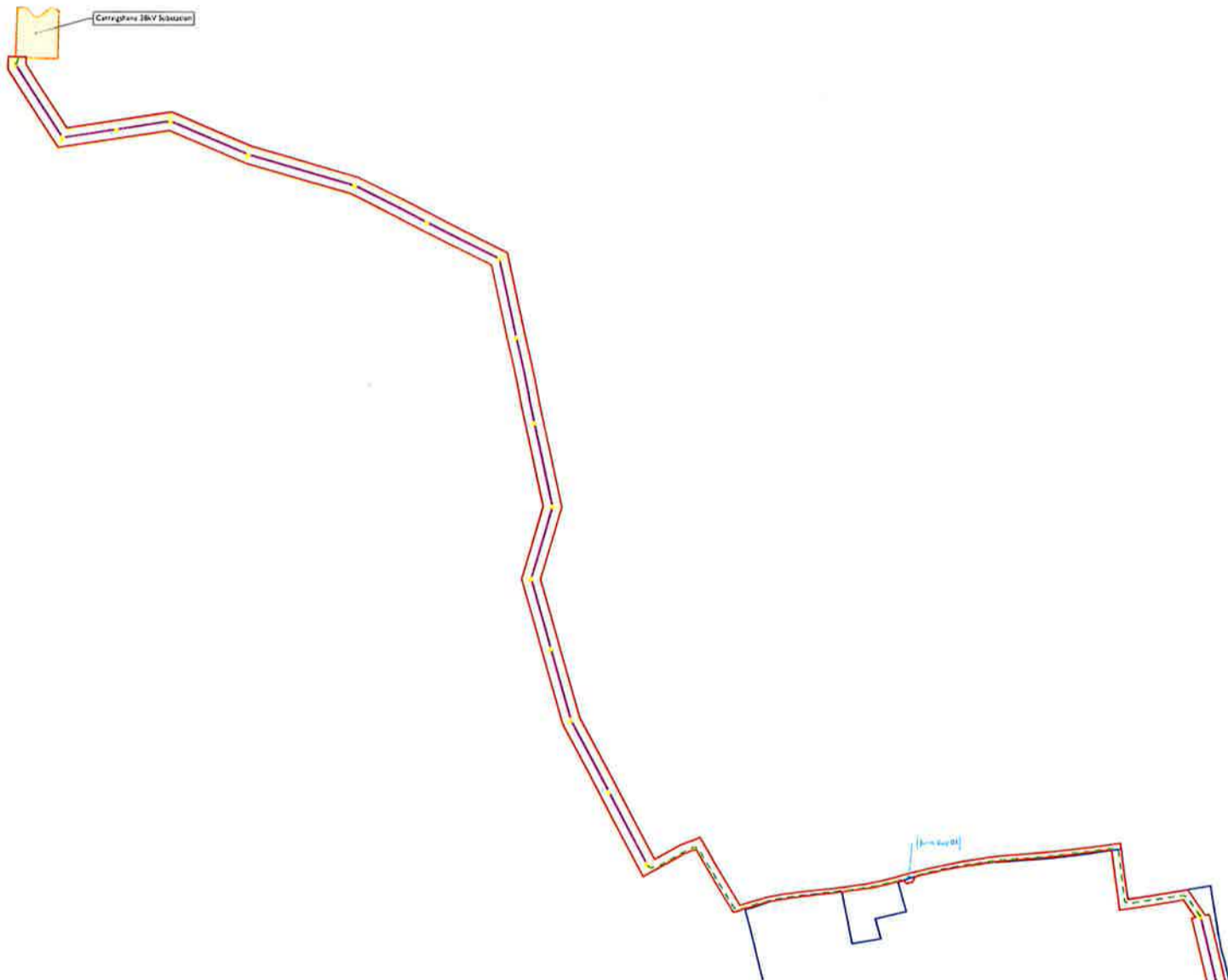
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Designed by Conor Harty
Approved by Damian Murphy
Issued by Conor Harty
For & on behalf of TLI Group

050 A1 314mm x 810mm
Project Management Issue
Designer: CH
Checked: DB
Approved: DH



Site Location Map
Scale: 2500

Map Series
Prime Data Vector
ITM Centre Point Coordinates
X,Y = 580717.914 772648.916
Map Series Number:
1285-A 1285-B 1285-C 1285-D 1285-E 1285-F
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PROJECT
Tead More Solar Park
20kV Connection

CLIENT
Tead More Solar Ltd

CONSULTANTS

NOTES:
• This drawing is to be used only for the purpose of the planning application.
• All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning consent during the detailed design stage.
• Other services may be encountered on the route.

LEGEND:
Proposed 20kV OHL Route (2.0m) [Red line]
Proposed 20kV UGC Route (1.0m) [Dashed red line]
Proposed Works Area [Yellow shaded area]
Carrigrohane 38kV ESB Substation [Yellow box]
Landownership boundary adjacent or abutting the subject site [Blue line]

ISSUE/REVISION

IR	DATE	DESCRIPTION

PROJECT NUMBER
05-756
SHEET TITLE
Site Location Map
1:2500 Sheet 1 of 2
SHEET NUMBER
05756-DR-003

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Site Location Map
 Scale: 2500

Project: Treadmore Solar Park
 Design: C1
 Checked: DB
 Approved: DM
 DO: A155866-01/16/24



ISSUE/REVISION

NO	DATE	DESCRIPTION
01	04/10/24	Issue for Review 5 Planning

LEGEND:

- Proposed 20kV OLV Route (Green)
- Proposed 20kV OLV Route (Orange)
- Proposed 20kV OLV Route (Red)
- Proposed 20kV OLV Route (Blue)
- Proposed 20kV OLV Route (Purple)
- Proposed 20kV OLV Route (Yellow)
- Proposed 20kV OLV Route (Light Blue)
- Proposed 20kV OLV Route (Light Green)
- Proposed 20kV OLV Route (Light Orange)
- Proposed 20kV OLV Route (Light Red)
- Proposed 20kV OLV Route (Light Purple)
- Proposed 20kV OLV Route (Light Yellow)
- Proposed 20kV OLV Route (Light Light Blue)
- Proposed 20kV OLV Route (Light Light Green)
- Proposed 20kV OLV Route (Light Light Orange)
- Proposed 20kV OLV Route (Light Light Red)
- Proposed 20kV OLV Route (Light Light Purple)
- Proposed 20kV OLV Route (Light Light Yellow)
- Proposed 20kV OLV Route (Light Light Light Blue)
- Proposed 20kV OLV Route (Light Light Light Green)
- Proposed 20kV OLV Route (Light Light Light Orange)
- Proposed 20kV OLV Route (Light Light Light Red)
- Proposed 20kV OLV Route (Light Light Light Purple)
- Proposed 20kV OLV Route (Light Light Light Yellow)

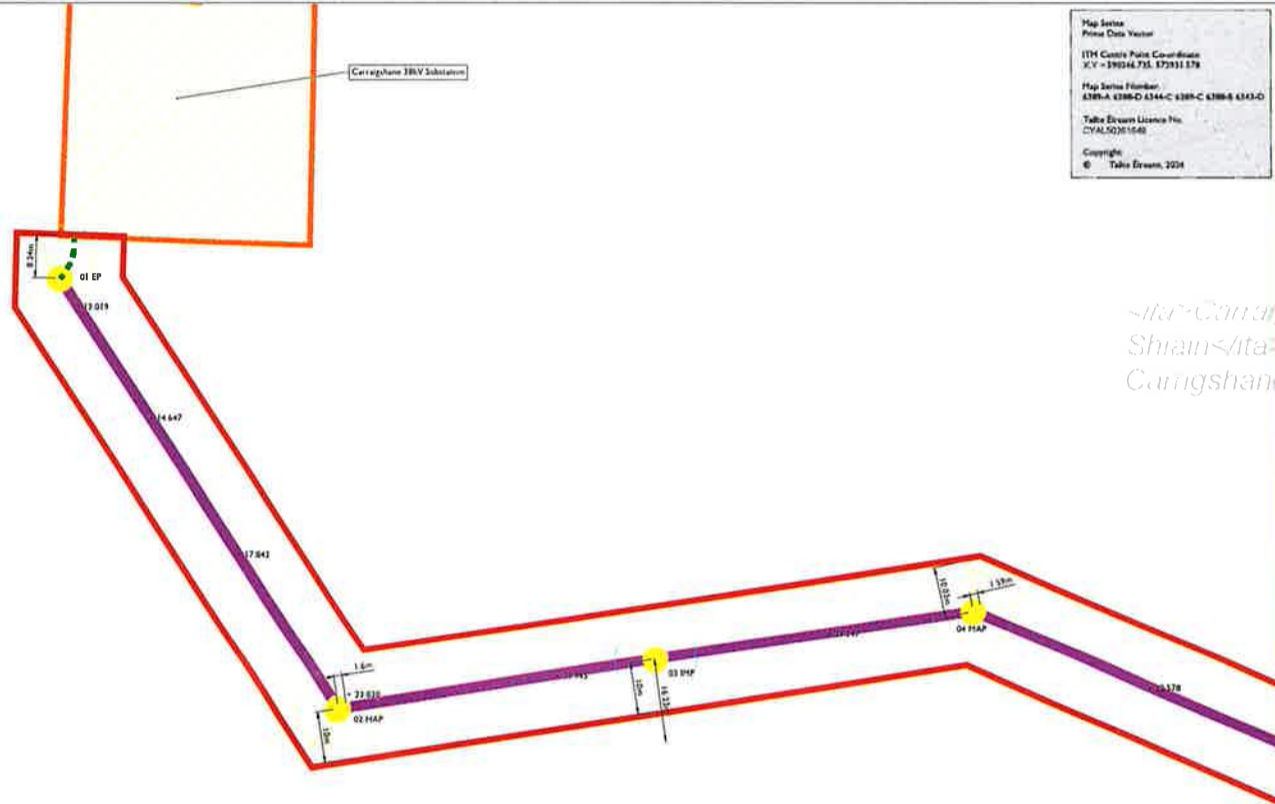
CLIENT
 Tread More Solar Ltd

PROJECT
 Tread More Solar Park
 20kV Connection

CONSULTANTS
 Tread More Solar Ltd

Project Details:
 Project Name: Tread More Solar Park
 Project No: 1574
 Client: Tread More Solar Ltd
 Design: C1
 Checked: DB
 Approved: DM
 Date: 16 OCT 2024

GROUP



Map Source:
Prime Data Vector
ITM County Panel Coordinates
XY = 39034.755, 57933.578
Map Scale Factor:
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CYAL 02751048
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PROJECT
Tead More Solar Park
20kV Connection

CLIENT
Tead More Solar Ltd

CONSULTANTS

NOTES:-
• This drawing is to be used only for the purpose of the planning application.
• All drawings are subject to detailed design and site the exact location of the proposed cables may change after planning approval during the detailed design stage.
• Other services may be encountered on the site.

LEGEND:-

Proposed 20kV OHL Route (20kV)	—
Proposed 20kV UIC Route (10kV)	- - - - -
Proposed Works Area	▭
Existing Spot Levels shown this	+52.33
Site Notice	□
Corrigahane 38kV ESB Substation	■
End Pole	EP ⊕
Intermediate Pole	IMP ⊕
Light Angle Pole	LAP ⊕
Medium Angle Pole	MAP ⊕
Heavy Angle Pole	HAP ⊕

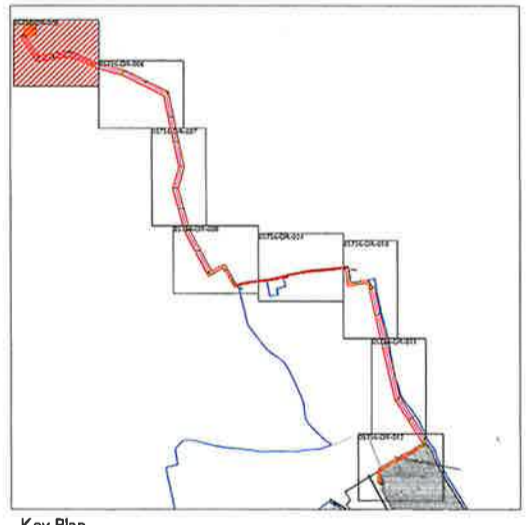
ISSUE/REVISION

NO	DATE	DESCRIPTION

PROJECT NUMBER
05-756

SHEET TITLE
Site Layout Plan
Sheet 1 of 8

SHEET NUMBER
05756-DR-005



Key Plan
Scale: 1:1000



Site Layout Plan
Scale: 500

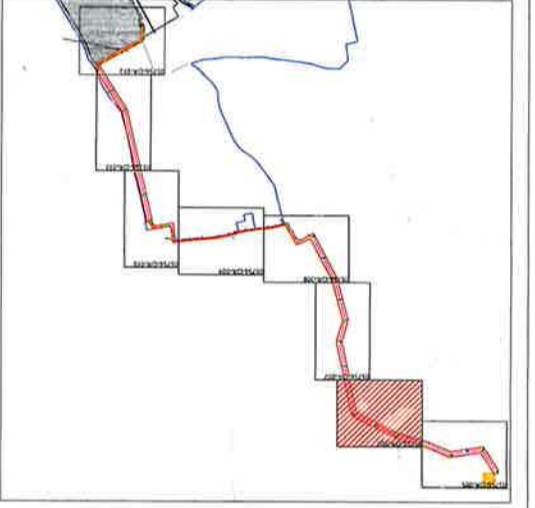
Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork.

Planning Department
 16 OCT 2024
 Cork County Council
 Cork County Hall
 Cork

Site Layout Plan
 Scale: 500

Key Plan
 Scale: 10000

Project Management: Drafting: CI Checked: DS Approved: DH



PROJECT NUMBERS

IN	DATE	DESCRIPTION
P1	04/10/24	Issued for Review 5 Planning

SHEET TITLE
 Site Layout Plan
 Sheet 2 of 8

SHEET NUMBER
 05-756

SHEET NUMBER
 05756-DR-006

- LEGEND
- Proposed 20kV OHL Route (3 Phase)
 - Proposed 110kV OHL Route (3 Phase)
 - Proposed 33kV OHL Route (3 Phase)
 - Existing 33kV OHL Route (3 Phase)
 - Existing 110kV OHL Route (3 Phase)
 - Existing 20kV OHL Route (3 Phase)
 - Existing 10kV OHL Route (3 Phase)
 - Existing 5kV OHL Route (3 Phase)
 - Existing 2.5kV OHL Route (3 Phase)
 - Existing 1.1kV OHL Route (3 Phase)
 - Existing 0.4kV OHL Route (3 Phase)
 - Existing 0.2kV OHL Route (3 Phase)
 - Existing 0.1kV OHL Route (3 Phase)
 - Existing 0.05kV OHL Route (3 Phase)
 - Existing 0.02kV OHL Route (3 Phase)
 - Existing 0.01kV OHL Route (3 Phase)
 - Existing 0.005kV OHL Route (3 Phase)
 - Existing 0.002kV OHL Route (3 Phase)
 - Existing 0.001kV OHL Route (3 Phase)

NOTES

1. The drawing is to be used for the purpose of the planning application only and does not constitute a contract.

2. All dimensions are subject to detailed design and shall be taken from the latest revision of the drawing.

3. The drawing is to be used for the purpose of the planning application only and does not constitute a contract.

CONSULTANTS

Tead More Solar Ltd

CUSTOMER

Tead More Solar Park
 20kV Connection

PROJECT

ti GROUP

ti GROUP
 10000
 10000

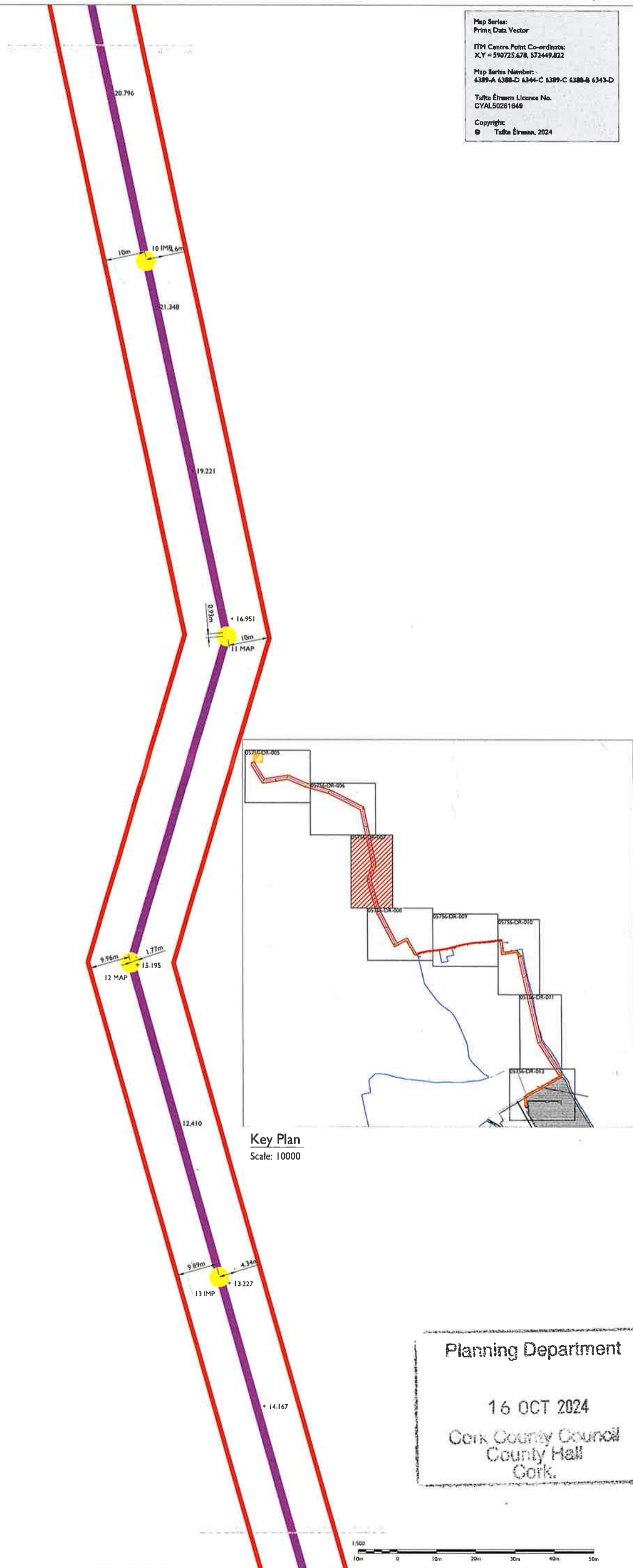
Site Name: Tead More Solar Park
 Planning Application Reference: P1/24/00000
 Application Number: 16/24/00000
 Planning Officer: [Name]
 Date: 16/10/2024



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ITM Centre Point Co-ordinate:
X,Y = 590725.678, 572449.822
Map Series Number:
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Tafite Éireann Licence No.
CYAL50261649
Copyright:
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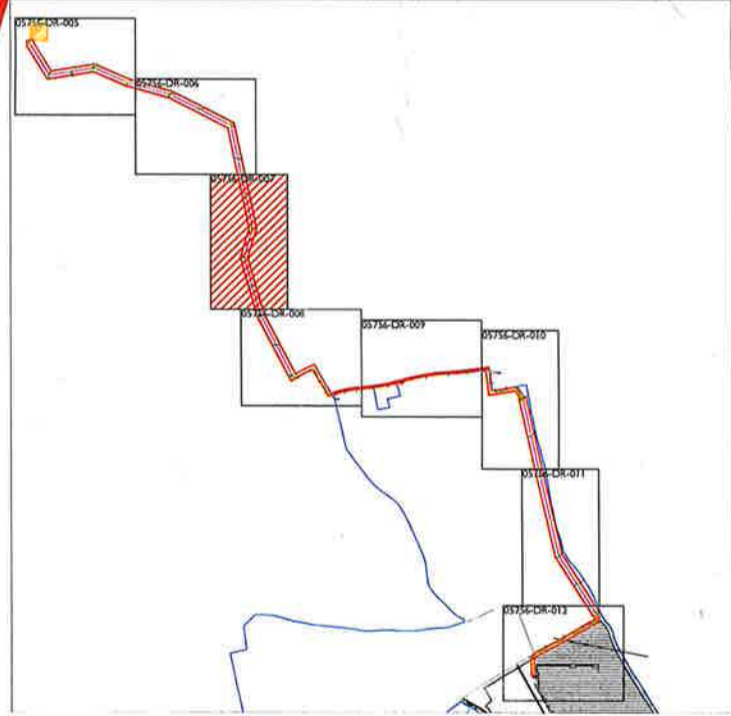
LEGEND: -

Proposed 20kV OHL Route (2.0km)	
Proposed 20kV UGC Route (1.03km)	
Proposed Works Area	
Existing Spot Levels shown thus	+ 52.32
Site Notice	
End Pole	EP
Intermediate Pole	IMP
Light Angle Pole	LAP
Medium Angle Pole	MAMP
Heavy Angle Pole	HAP



Site Layout Plan
Scale: 1:500

- NOTES: -
- This drawing is to be used only for the purpose of the planning application.
 - All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.
 - Other services may be encountered on the route.



Key Plan
Scale: 1:10000

Beermagh, Abbeydorney, Tralee, Co. Kerry, Ireland
Tel: 00353 66 7135710

Boscopon Business Centre, Stroudley Road, Basingstoke, Hampshire, RG24 8UP, UK
Tel: 00 44 1256406664

PROJECT
**Tead More Solar Farm
20kV Grid Connection**

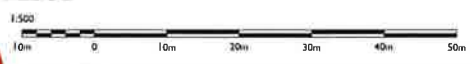
CLIENT
Tead More Solar Ltd

CONSULTANTS

ISSUE/REVISION

Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork.

PI	DATE	DESCRIPTION
PI	04.10.24	Issued for Section 5 Planning
NR		
PROJECT NUMBER 05-756		
SHEET TITLE Site Layout Plan Sheet 3 of 8		
SHEET NUMBER 05756-DR-007		

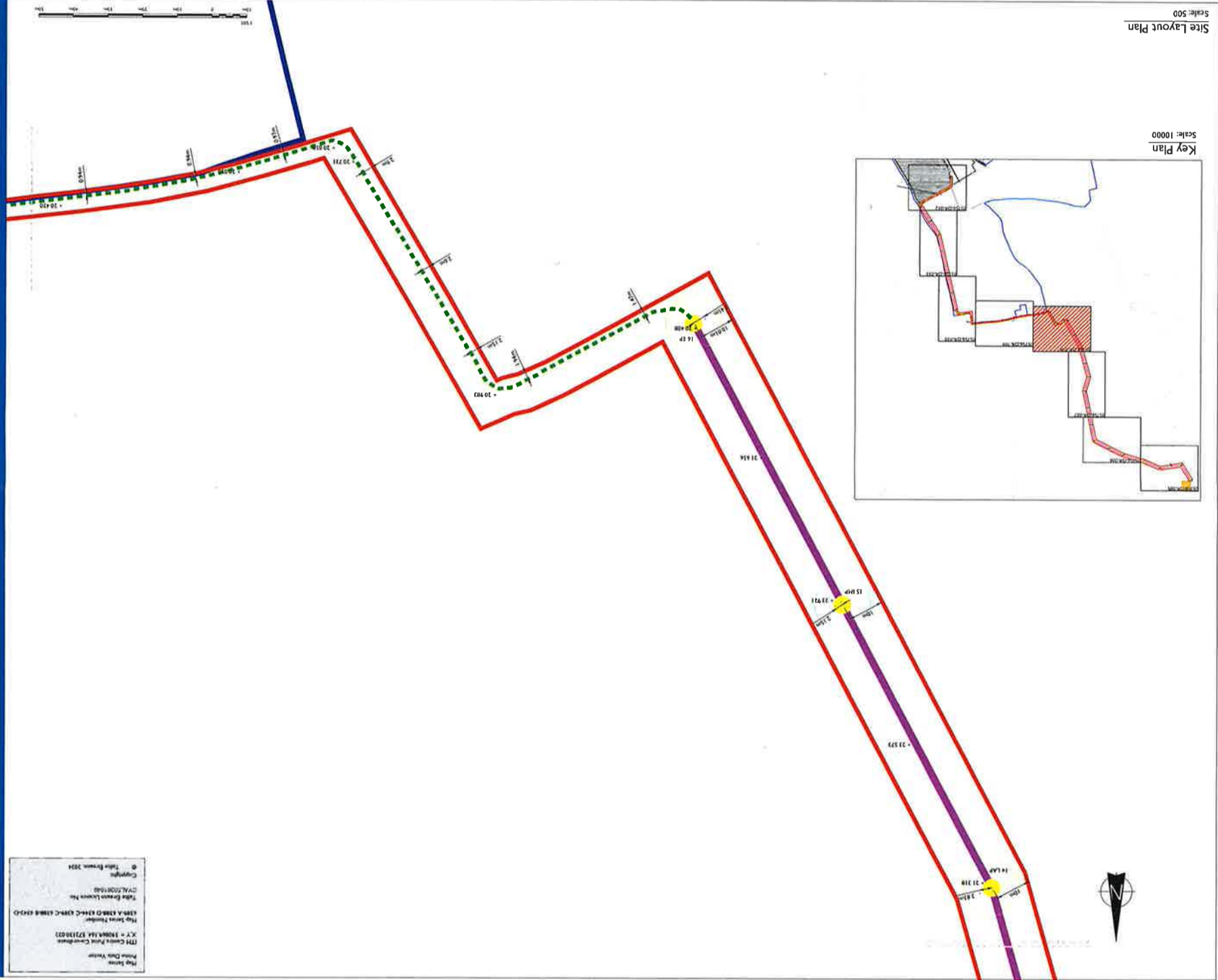
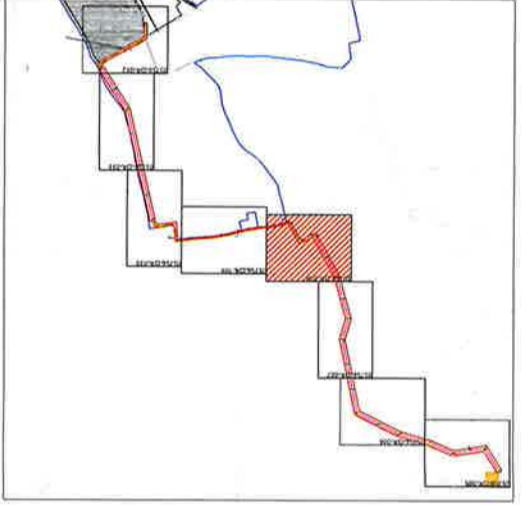


Planning Department
 16 OCT 2024
 Coik County Council
 Coik County Hall
 Coik

Project: Treadmore Solar Park - Design: 03 - Approval: 04
 Scale: 10000
 Scale: 500

Site Layout Plan

Key Plan



ISSUE/REVISION	DATE	DESCRIPTION
01	04/10/24	Issue for Design 3 Planning

PROJECT NUMBER: 05-756
 SHEET TITLE: Site Layout Plan
 SHEET NUMBER: 05756-DR-008
 SHEET 4 OF 8

LEGEND:
 - Proposed 20kV Cable Route (20kV)
 - Proposed 20kV Cable Route (10kV)
 - Proposed 20kV Cable Route (5kV)
 - Proposed 20kV Cable Route (2.5kV)
 - Proposed 20kV Cable Route (1.5kV)
 - Proposed 20kV Cable Route (0.75kV)
 - Proposed 20kV Cable Route (0.4kV)
 - Proposed 20kV Cable Route (0.2kV)
 - Proposed 20kV Cable Route (0.1kV)

NOTES:
 - The drawings to be used for the purpose of the planning application.
 - All drawings are subject to change and the client is responsible for ensuring that the drawings are up to date.
 - The drawings are subject to change and the client is responsible for ensuring that the drawings are up to date.

CONSULTANTS:
 Tread More Solar Ltd

CUSTOMER:
 Tread More Solar Park
 20kV Connection

PROJECT:
 Tread More Solar Park
 20kV Connection

PREPARED BY:
 Tread More Solar Ltd
 16/10/24

DESIGNED BY:
 Tread More Solar Ltd
 16/10/24

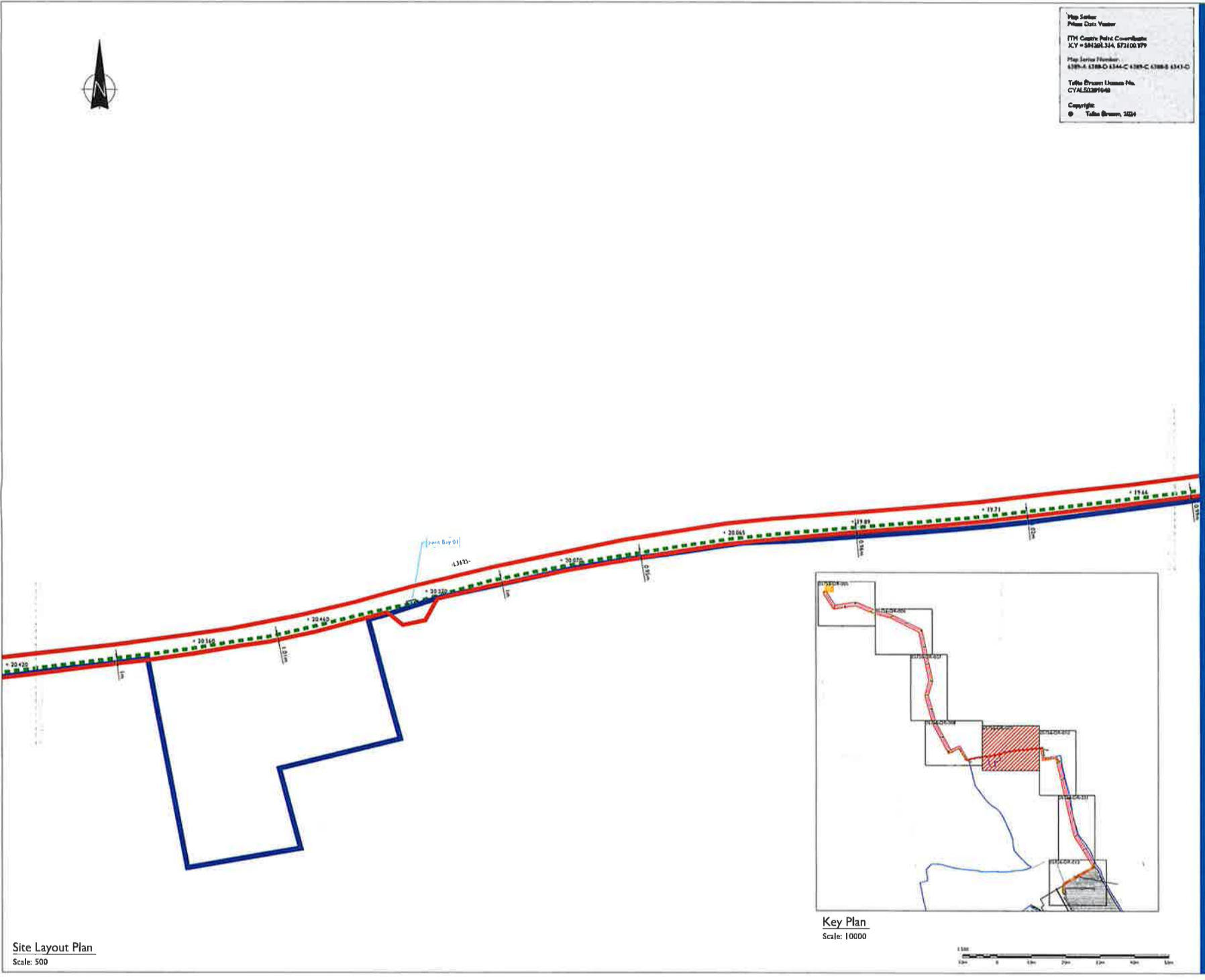
CHECKED BY:
 Tread More Solar Ltd
 16/10/24

APPROVED BY:
 Tread More Solar Ltd
 16/10/24

THE GROUP

1777 County Road, Carrigrohane
 Carrigrohane, Co. Cork
 T: +353 23 8844 4444
 E: info@thegroup.ie
 www.thegroup.ie

00-A1 | Thomas & Munn
Project Management Issues
Design: CH
Checked: DS
Approved: DH



Map Series:
Please Data Viewer
ITM Coords: Point, Corner/Node
XY = 581268.214, 673150.979
Map Series Filename:
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Title Stream Name No.
CTM102391648
Copyright:
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PROJECT
Tead More Solar Park
20kV Connection

CLIENT
Tead More Solar Ltd

CONSULTANTS

NOTES:

- This drawing is to be used only for the purpose of the planning application.
- All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning consent during the detailed design stage.
- Other services may be encountered on the route.

LEGEND:

- Proposed 20kV OHL Route (2.0km)
- Proposed 20kV UGC Route (1.0km)
- Proposed Work Area
- Existing Spot Levels shown thru
- Site Fences
- Landownership boundary adjacent or abutting the subject site

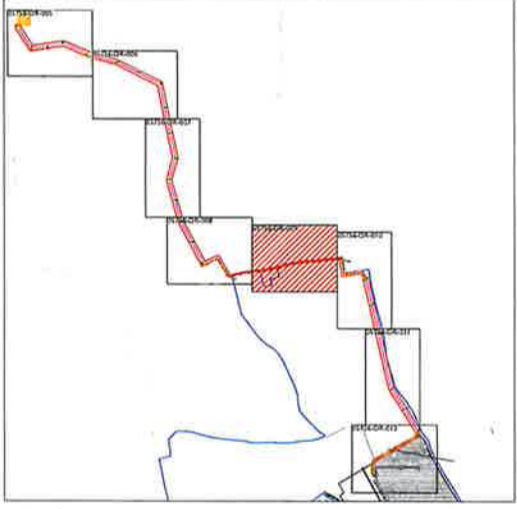
ISSUE/REVISION

NO.	DATE	DESCRIPTION

PROJECT NUMBER
05-756

SHEET TITLE
Site Layout Plan
Sheet 5 of 8

SHEET NUMBER
05756-DR-009

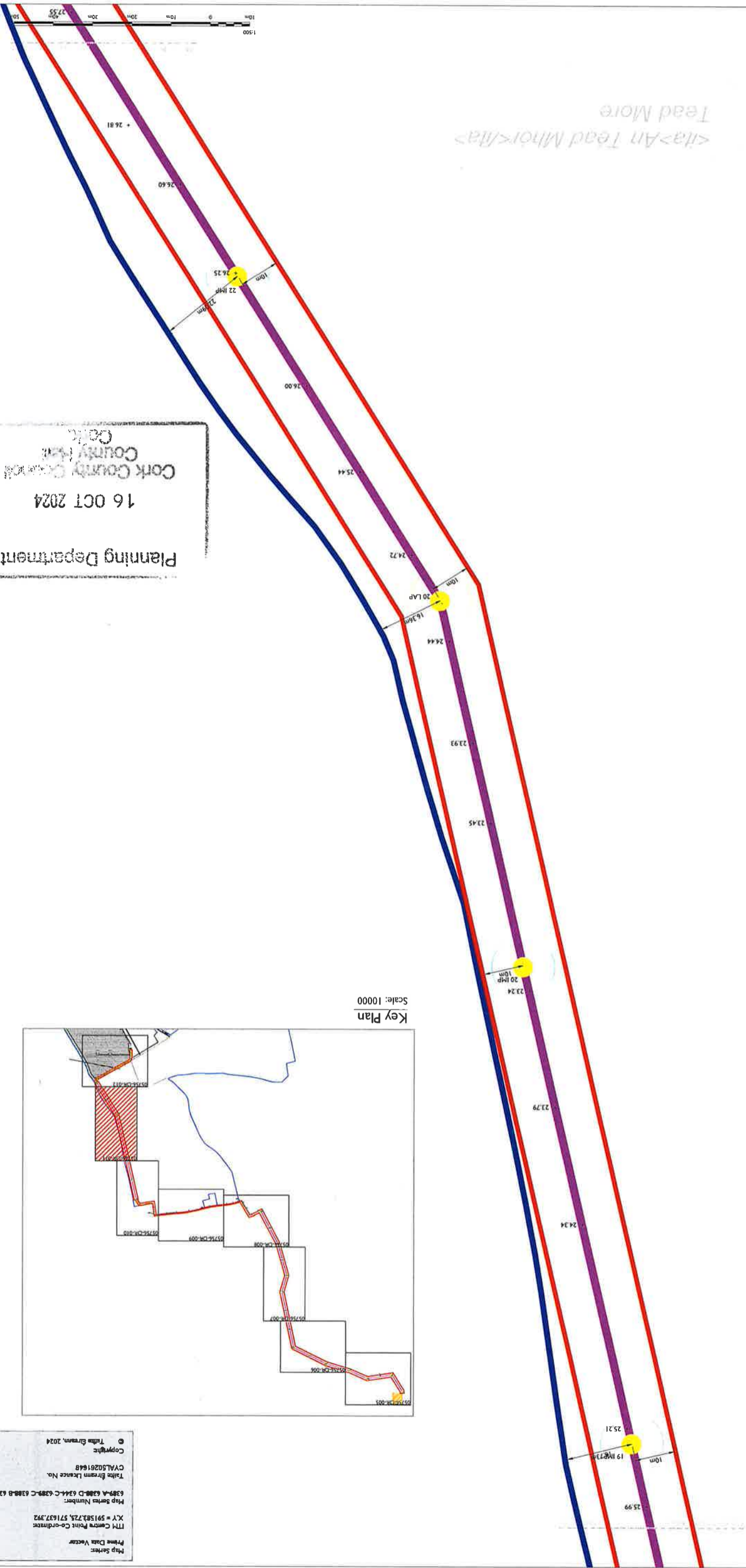


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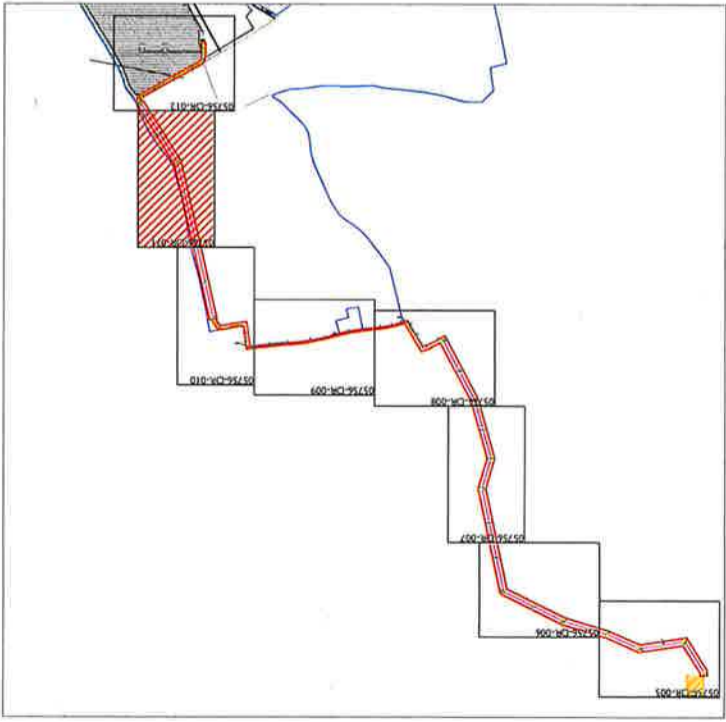
Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork.

<!-- An Tead Mhór </!-->
Tead More



Planning Department
16 OCT 2024
Cork County Council
Cork

Key Plan
Scale: 10000



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Map Series Number:
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Title Eirann License No.
CVAL50261648
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- LEGEND:**
- Proposed 20kV UGC House (2.0m)
 - Proposed 20kV UGC House (1.03m)
 - Proposed Works Area
 - Existing Spot Levels shown this
 - Site Notice
 - Landownership boundary adjacent or abutting the subject site
 - End Pole
 - Intermediate Pole
 - Light Angle Pole
 - Medium Angle Pole
 - Heavy Angle Pole
 - EP
 - I-M-P
 - LAP
 - M-AP
 - H-AP

- NOTES:**
- This drawing is to be used only for the purpose of the planning application.
 - All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning approval.
 - Other services may be encountered on the route obtained during the detailed design stage.

fti GROUP
Brentford, Surrey Road, Basingstoke, Hampshire, Trade, Co. Kerry, Ireland
R224 BLP, UK
Tel: 00353 66 715710
Tel: 00 44 1256406644

PROJECT:
Tead More Solar Farm
20kV Grid Connection

CLIENT:
Tead More Solar Ltd

CONSULTANTS:

ISSUE/REVISION:

PI	DATE	DESCRIPTION
04.10.24	Issued for Planning	

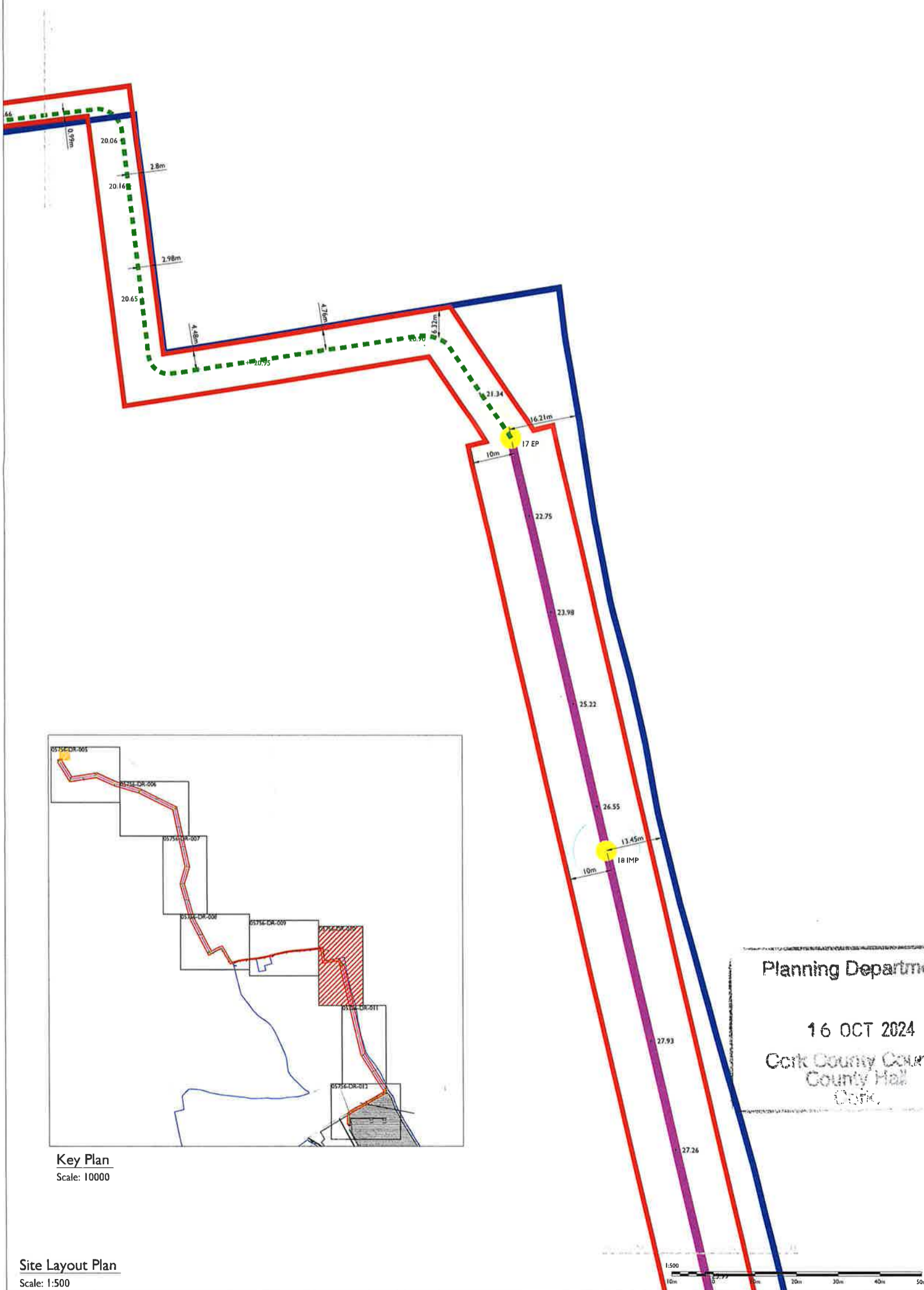
PROJECT NUMBER: 05-756
SHEET TITLE: Site Layout Plan
Sheet 7 of 8
SHEET NUMBER: 05756-DR-011



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LEGEND:

Proposed 20kV OHL Route (2.0km)	
Proposed 20kV UGC Route (1.03km)	
Proposed Works Area	
Existing Spot Levels shown thus	+52.32
Site Notice	
Landownership boundary adjacent or abutting the subject site	
End Pole	EP
Intermediate Pole	IMP
Light Angle Pole	LAP
Medium Angle Pole	MAP
Heavy Angle Pole	HAP



NOTES:

- This drawing is to be used only for the purpose of the planning application.
- All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.
- Other services may be encountered on the route.

Beenreagh, Abbeydorney, Tralee, Co. Kerry, Ireland
Tel 00353 66 7135710

Basepoint Business Centre, Stroudley Road, Basingstoke, Hampshire, RG24 8UP, UK
Tel: 00 44 1256406664

PROJECT
Tead More Solar Farm
20kV Grid Connection

CLIENT
Tead More Solar Ltd

CONSULTANTS

ISSUE/REVISION

NO.	DATE	DESCRIPTION

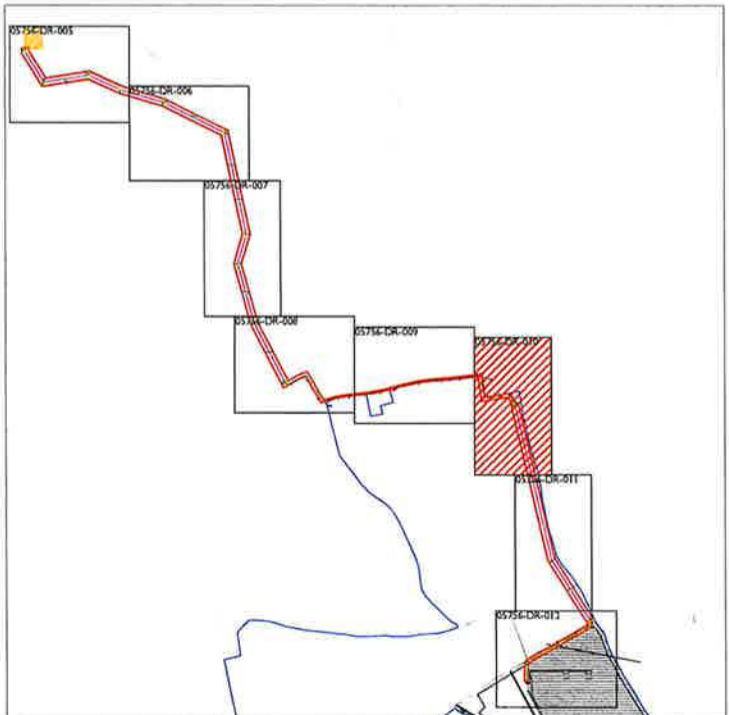
PI 04.10.24 Issued for Section 5 Planning
I/R DATE DESCRIPTION

PROJECT NUMBER
05-756

SHEET TITLE
Site Layout Plan
Sheet 6 of 8

SHEET NUMBER
05756-DR-010

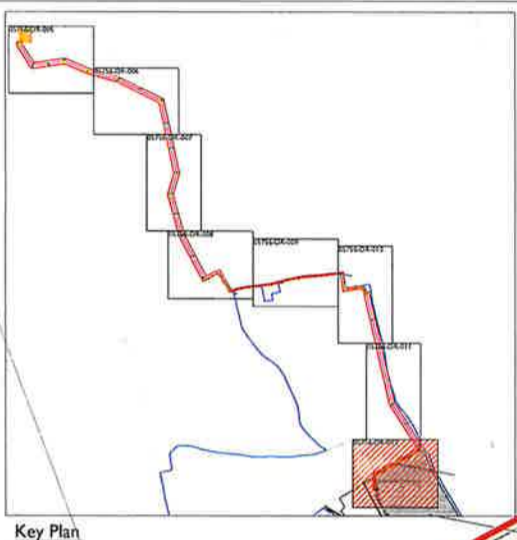
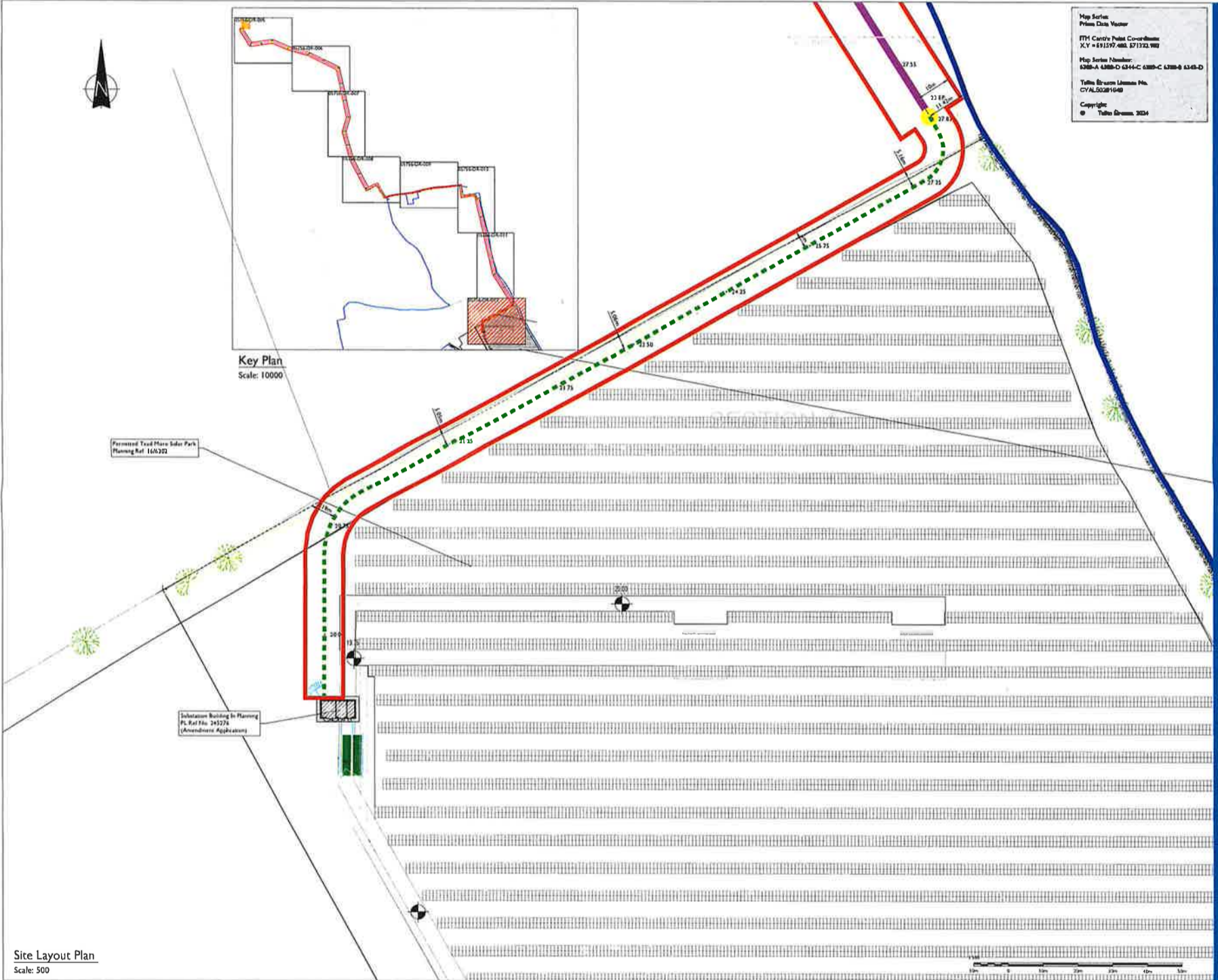
Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork.



Key Plan
Scale: 1:10000

Site Layout Plan
Scale: 1:500

DCAI 131mm x 811mm
 Project Management Leads
 Designer: CH
 Checked: DB
 Approved: DH



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Berragh
 Abbeyfeary
 Tuller, Co. Kerry
 Ireland
 Tel: 00353 44 7135710
 Berragh Business Centre
 Screevy Road, Berragh
 Kerry, Ireland
 Tel: 00353 44 7135710

PROJECT
 Tead More Solar Park
 20kV Connection

CLIENT
 Tead More Solar Ltd

CONSULTANTS

NOTES:-
 • This drawing is to be used only for the purpose of the planning application.
 • All drawings are subject to detailed design and that the exact location of the proposed cables may change when planning obtained during the detailed design stage.
 • Other services may be encountered on the route.

LEGEND:-
 Proposed 20kV OHL, Route (2.0km) ————
 Proposed 20kV OHL Route (2.0km) - - - - -
 Proposed Works Area ————
 Existing Spot Levels shown thru +53.72
 Site Boundary
 Landscape boundary adjacent or abutting the subject site
 End Pole EP
 Intermediate Pole IPP
 Light Angle Pole LAP
 Medium Angle Pole MAP
 Heavy Angle Pole HAP

ISSUE/REVISION

IN	DATE	DESCRIPTION

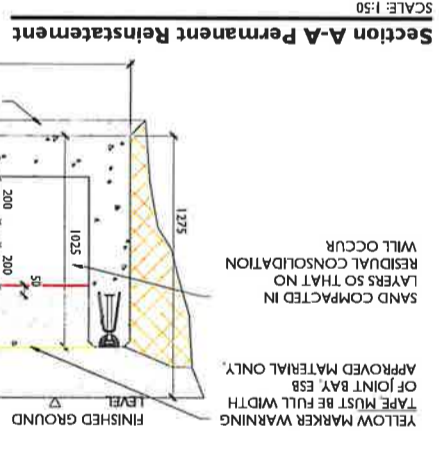
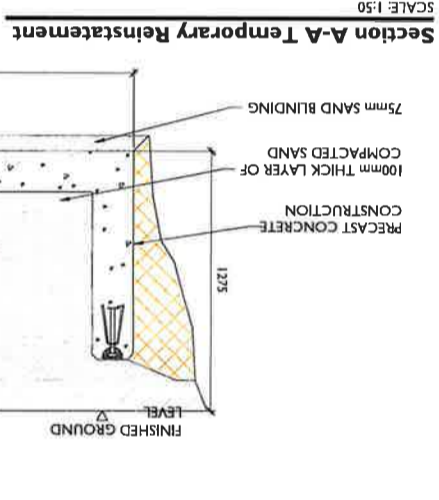
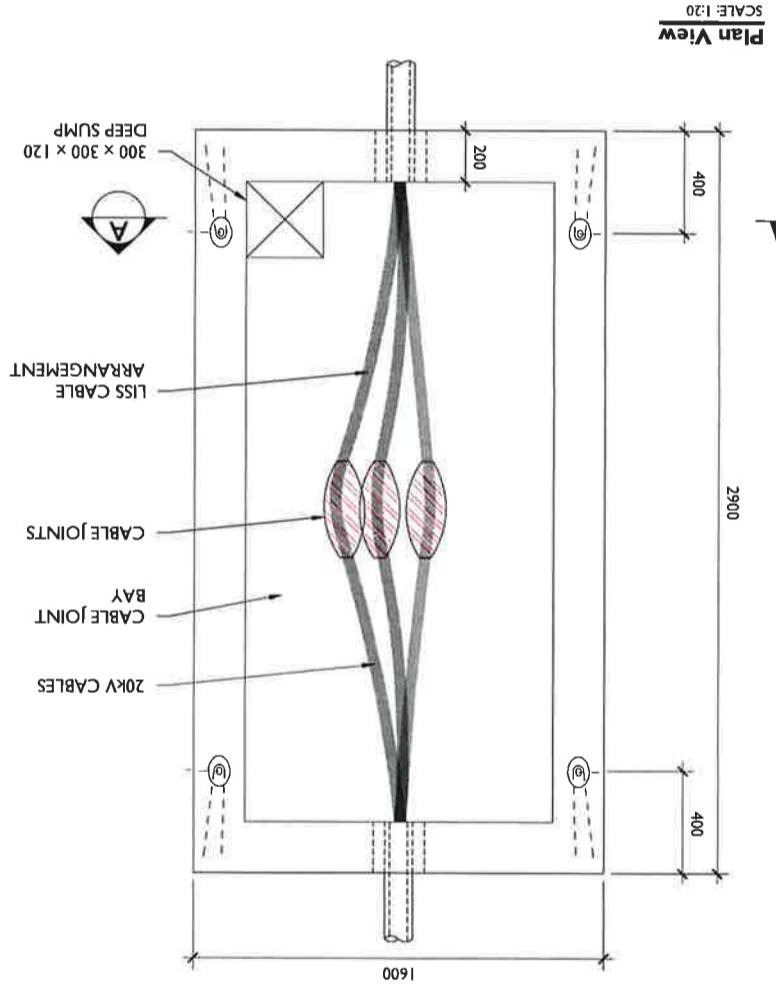
PJ 04 10 24 Issued for Section 5 Planning
PROJECT NUMBER
 05-756
SHEET TITLE
 Site Layout Plan
 Sheet 8 of 8
SHEET NUMBER
 05756-DR-012

Planning Department
 16 OCT 2024
 Cork County Council
 County Hall
 Cork

Planning Department
 16 OCT 2024
 Cork County Council
 Cork County Hall
 CORK

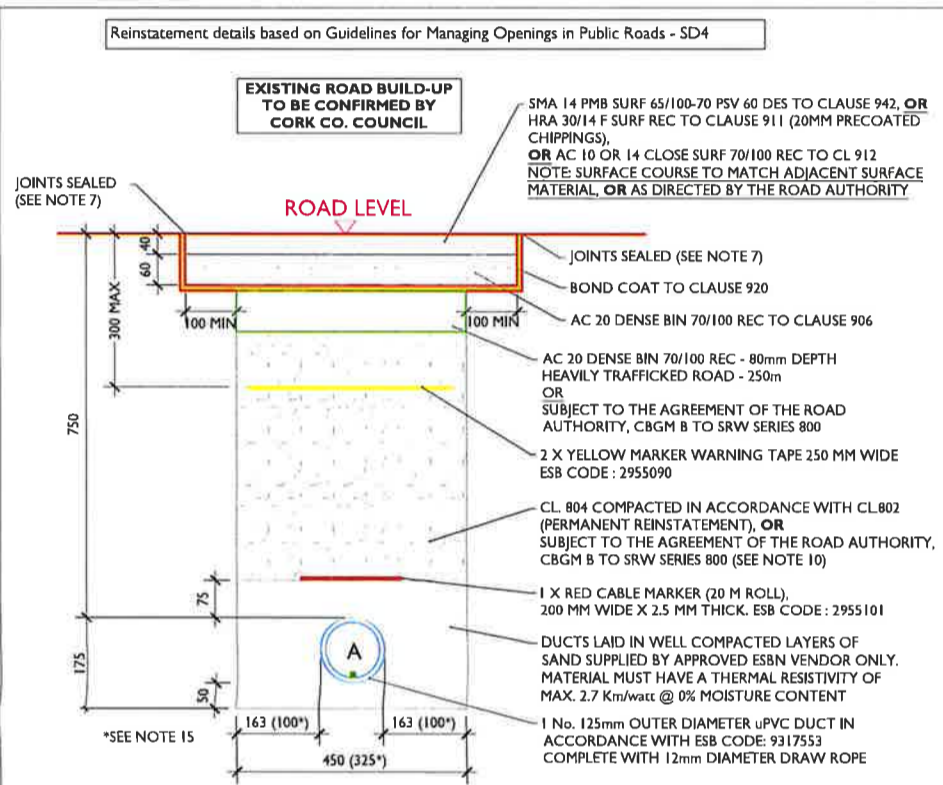
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PROJECT NUMBER	05-756	SHEET NUMBER	05756-DR-015	DRAWING STATUS	For Section 5 Planning
Tread More Solar Farm 20kV Grid Connection		Issued for Section 5 Planning 04.10.24 PI			
Beoigh, Tralee, Co. Kerry Ireland Tel: 00353 66 7135710		DESCRIPTION ISSUE/REVISION			

- NOTES:**
- This drawing is to be read in conjunction with relevant drawings, specifications and reports.
 - Dimensions are in millimetres, unless noted otherwise.
 - Drawings are not to be scaled use figured dimensions only.
 - Precast joint Bay to be sourced from ESB approved supplier.

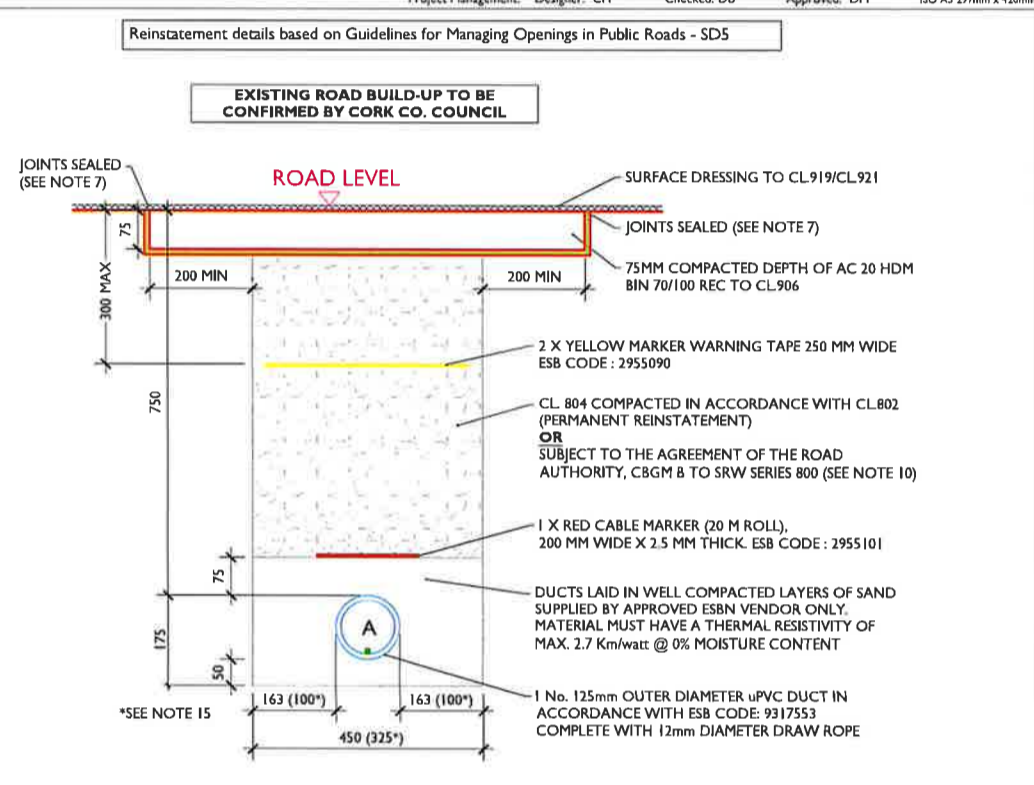


TYPICAL PRECAST CONCRETE JOINT BAY DETAILS

Project Management: Design: CH Checked: DB Approved: DM ISO A3 297mm x 420mm



Typical Section Through Permanent Reinstatement of Longitudinal Opening in Roadway
SCALE: 1:10



Typical Section Through Permanent Reinstatement of Longitudinal Opening in Dressed Rural Unbound Roadway
SCALE: 1:10

- Notes:**
1. Refer to Guidelines for managing Openings in Public Roads (Purple Book - April 2017), Chapter 6 'Specifications' for guidance on Duct type / colour and Marker Tape type / colour.
 2. All bound edges shall be saw cut to expose the full vertical thickness of each layer prior to excavation. All edges shall be essentially straight, smooth and vertical.
 3. Where a temporary surface has been used, material shall be planed out to the depth specified in this drawing. The new permanent surface shall be machined laid and mechanically compacted with a vibrating roller.
 4. Where the trimmed edge of excavation is within 400mm* of a joint / edge, ironwork or other reinstatement, this trimmed edge shall be extended to include same and the area of reinstatement shall be extended accordingly (* increase to 800mm where this is pre-existing practice).
 5. Any damaged area adjacent to the opening and resulting from the excavation operation shall be included within the area to be reinstated.
 6. Clause 808 or Cement Bound Granular Material surface to be sprayed per clause 920 prior to application of Asphalt Concrete Layer.
 7. Joint sealer shall be a hot 50 pen bitumen binder or cold thixotropic bitumen 50-70 pen to be applied to all vertical cuts in accordance with B.S.594987 prior to application of bituminous materials.
 8. For roads without asphalt concrete surface (e.g. may be CL804 with double surface dressing), the road authority may as its discretion permit the temporary reinstatement surface of asphalt concrete to be regulated in lieu of excavation and reinstatement; and subsequently surface dressed.
 9. On highly trafficked roads services must have a minimum cover of 750mm.
 10. Where required by the Road authority the trench may be reinstated with a Cement Bound Granular Material.
 11. All reinstatement works are to be in accordance with local area engineers requirements and guidelines for managing openings in public roads.
 12. This drawing is to be read in conjunction with relevant drawings, specifications and reports.
 13. Dimensions are in millimeters, unless noted otherwise.
 14. Drawings are not to be scaled use figured dimensions only.
 15. 325 mm trench width is also acceptable to ESN provided trench compaction measures are in accordance with the DDTAS Purple Book Section 6.3.5 requirements (guidelines for managing openings in public roads) or TI specification CC-PAV 04-007 (2019) guidelines for reinstatement of openings in National roads, as appropriate.
 16. All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.

 <p>Head Office Beenreigh, Abbeydorney, Tralee, Co. Kerry Ireland Tel: 00353 66 7135710</p>	CLIENT Tead More Solar Ltd	PROJECT Tead More Solar Farm 20kV Grid Connection	SHEET TITLE 20kV Ducting through Roadway (Permanent Reinstatement)	ISSUE/REVISION					
	PROJECT NUMBER 05-756	SHEET NUMBER 05756-DR-016	DRAWING STATUS For Section 5 Planning	<table border="1"> <tr> <th>PI</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td></td> <td>04.10.24</td> <td>Issued for Section 5 Planning</td> </tr> </table>	PI	DATE	DESCRIPTION		04.10.24
PI	DATE	DESCRIPTION							
	04.10.24	Issued for Section 5 Planning							

Planning Department
16 OCT 2024
Cork County Council
County Hall
Cork

Planning Department
 16 OCT 2024
 Cork County Council
 Cork

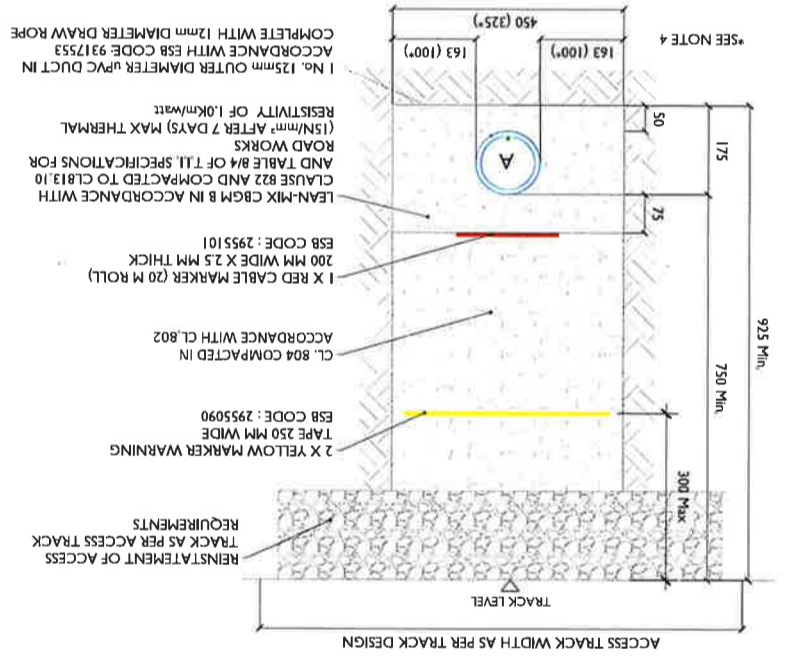
CLIENT Tread More Solar Ltd		PROJECT Tread More Solar Farm		SHEET TITLE Ducting Through Access Road	
PROJECT NUMBER 05-756		SHEET NUMBER 05756-DR-018		DRAWING STATUS For Section 5 Planning	
ISSUE/REVISION		DATE 04.10.24		DESCRIPTION Issued for Section 5 Planning	



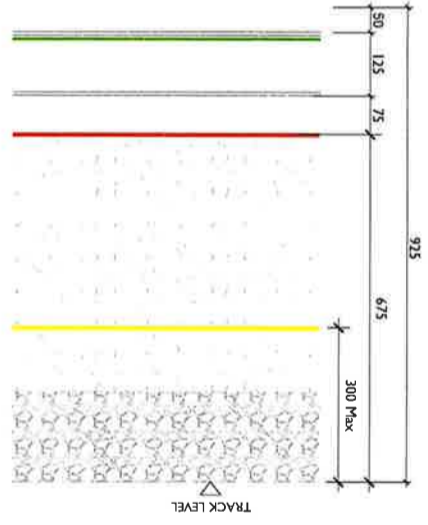
- Notes:**
- This drawing is to be read in conjunction with relevant drawings, specifications and reports.
 - Drawings are not to be scaled use figured dimensions only.
 - Dimensions are in millimeters, unless noted otherwise.
 - 325 mm trench width is also acceptable to ESBN.
 - 3m wide access track specified to ESBN requirements to be installed over cable for longer off-road sections where there is no existing access track in place.
 - All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.

ALL REINSTATEMENT WORKS ARE TO BE IN ACCORDANCE WITH LANDOWNERS REQUIREMENTS

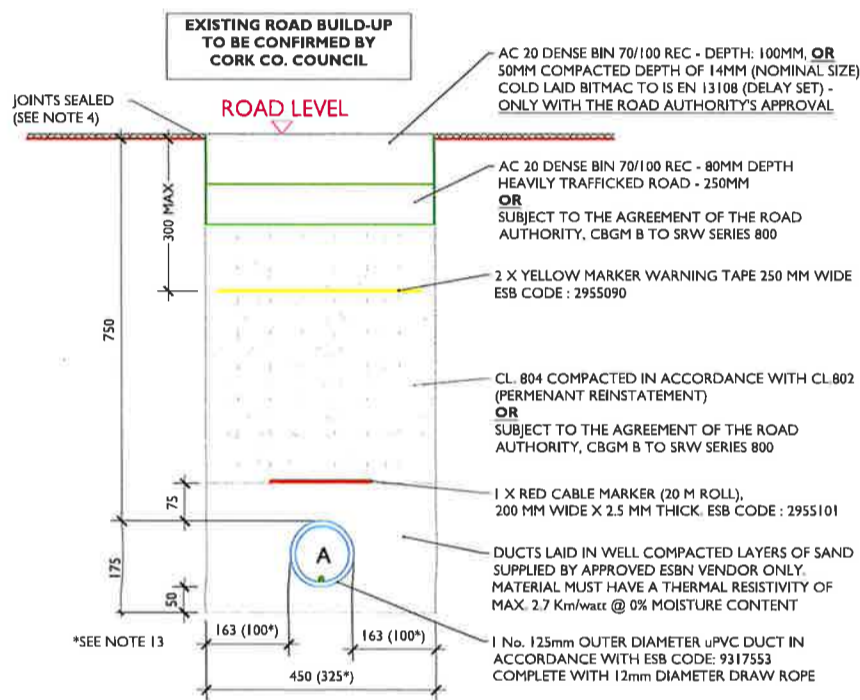
Typical Section Through Access Road
SCALE 1:10



Typical Elevation Through Access Road
SCALE 1:10

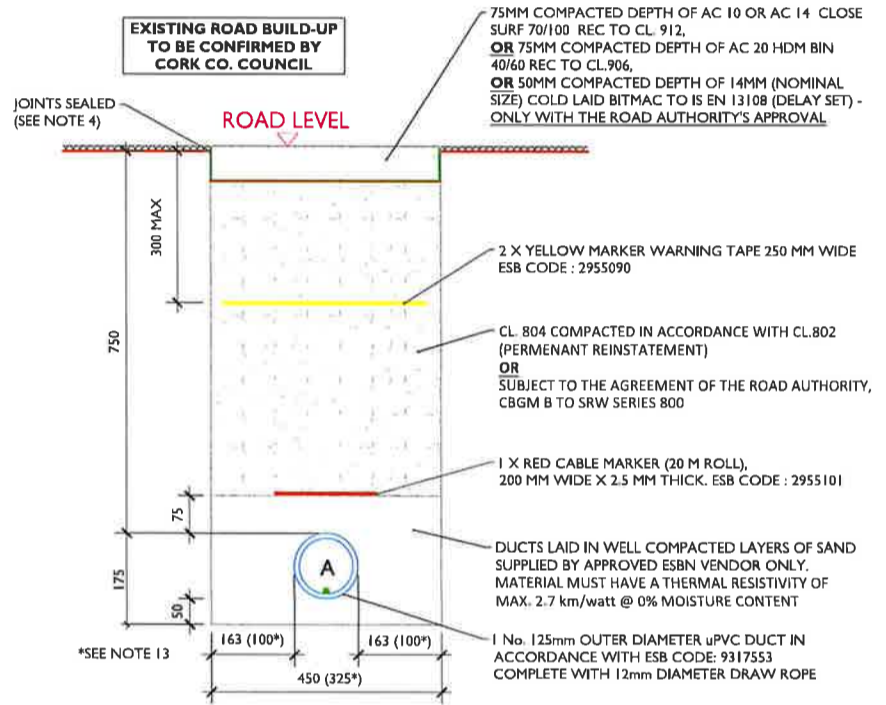


Reinstatement details based on Guidelines for Managing Openings in Public Roads - SD1



Typical Section Through Temporary Reinstatement of Longitudinal Opening in Roadway
SCALE 1:10

Reinstatement details based on Guidelines for Managing Openings in Public Roads - SD2



Typical Section Through Temporary Reinstatement of Longitudinal Opening in Dressed Rural Unbound Roadway
SCALE 1:10

- Notes:
- Refer to 'Guidelines for managing Openings in Public Roads (Purple Book - April 2017)', Chapter 6 'Specifications' for guidance on Duct type / colour and Marker Tape type / colour.
 - All bound edges shall be saw cut to expose the full vertical thickness of each layer prior to excavation. All edges shall be essentially straight, smooth and vertical.
 - Clause 808 surface to be sprayed per clause 920 prior to application of Asphalt Concrete Layer.
 - Joint sealer shall be a hot 50 pen bitumen binder or cold thixotropic bitumen 50-70 pen to be applied to all vertical cuts in accordance with B.S. 594987 prior to application of bituminous materials.
 - Licence holder must maintain temporary reinstatement to a safe and acceptable standard.
 - Any damaged area adjacent to the opening and resulting from the excavation operation shall be included within the area to be reinstated.
 - Temporary Road Surface warning signs must be used in accordance with the Traffic Signs Manual (Chapter 8 - Temporary Traffic Measures and Signs for Roadworks).
 - Refer to detail Permanent Reinstatement of Road for advice on permanent reinstatement - all permanent reinstatement shall be carried out when adequate settlement has occurred as determined by the Road Authority.
 - This drawing is to be read in conjunction with relevant drawings, specifications and reports.
 - Dimensions are in millimeters, unless noted otherwise.
 - Drawings are not to be scaled use figured dimensions only.
 - All reinstatement works are to be in accordance with local area engineers requirements and guidelines for managing openings in public roads.
 - 325 mm trench width is also acceptable to ESNB provided trench compaction measures are in accordance with the DDTAS Purple Book Section 6.3.5 requirements (guidelines for managing openings in public roads) or TII specification CC-PAV 04-007 (2019) guidelines for reinstatement of openings in National roads, as appropriate.
 - All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.



Teal More Solar
Beenreigh,
Abbeystowney,
Tralee, Co. Kerry
Ireland
Tel: 00353 66 7135710

CLIENT
Teal More Solar Ltd

PROJECT
Teal More Solar Farm
20kV Grid Connection

PROJECT NUMBER
05-756

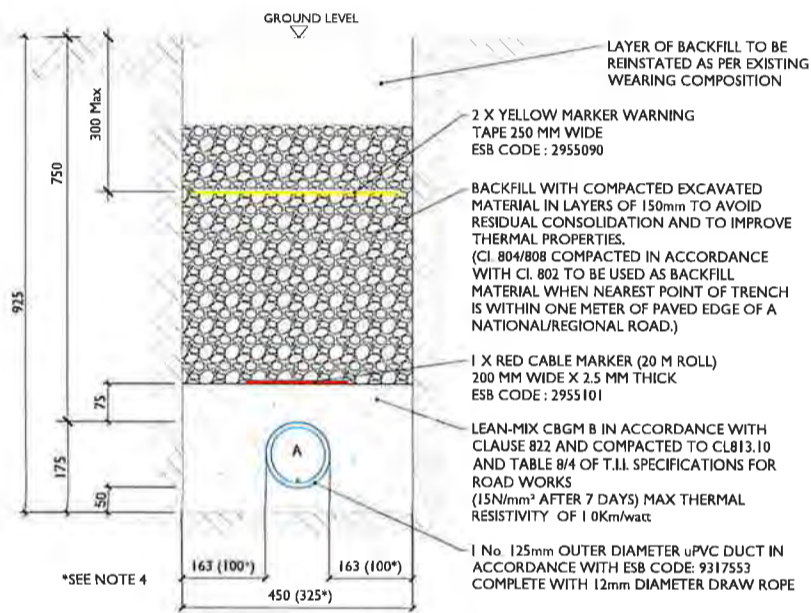
SHEET NUMBER
05756-DR-017

SHEET TITLE
20kV Ducting through Roadway
(Temporary Reinstatement)

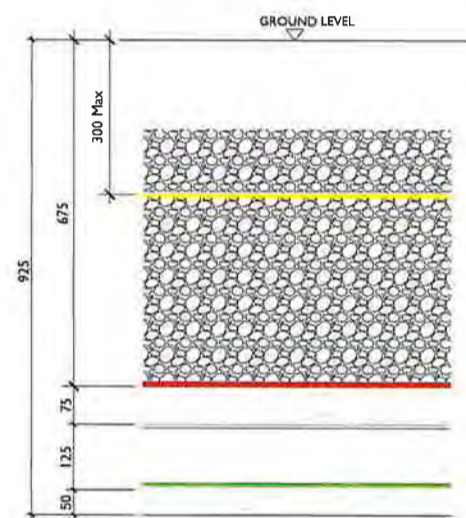
DRAWING STATUS
For Section 5 Planning

ISSUE/REVISION		
PI	DATE	DESCRIPTION
PI	04.10.24	Issued for Section 5 Planning
I/R	DATE	DESCRIPTION





Typical Section Through Grasslands
SCALE 1:10



Typical Elevation Through Grasslands
SCALE 1:10

- Note:**
- This drawing is to be read in conjunction with relevant drawings, specifications and reports
 - Dimensions are in millimeters, unless noted otherwise
 - Drawings are not to be scaled use figured dimensions only
 - 325 mm trench width is also acceptable to ESNB
 - All drawings are subject to detailed design and that the exact location of the proposed cables may change after planning obtained during the detailed design stage.

ALL REINSTATEMENT WORKS ARE TO BE IN ACCORDANCE WITH LANDOWNERS REQUIREMENTS



CLIENT
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PROJECT
Tead More Solar Farm
20kV Grid Connection

PROJECT NUMBER
05-756

SHEET NUMBER
05756-DR-019

SHEET TITLE
Ducting Through Grassland

DRAWING STATUS
For Section 5 Planning

ISSUE/REVISION

PI	DATE	DESCRIPTION
PI	04.10.24	Issued for Section 5 Planning
I/R	DATE	DESCRIPTION

Beenreigh,
Abbeydorney,
Tralee, Co Kerry
Ireland
Tel: 00353 66 7135710

CLIENT
Tead More Solar Ltd

PROJECT
Tead More Solar Farm
20kV Grid Connection

PROJECT NUMBER
05-756

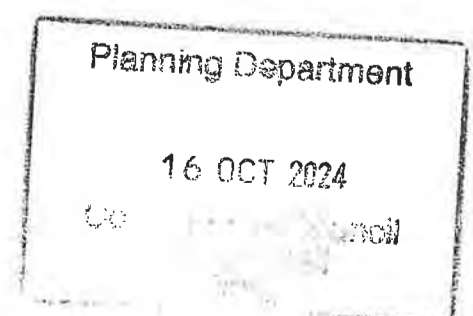
SHEET NUMBER
05756-DR-019

SHEET TITLE
Ducting Through Grassland

DRAWING STATUS
For Section 5 Planning

ISSUE/REVISION

PI	DATE	DESCRIPTION
PI	04.10.24	Issued for Section 5 Planning
I/R	DATE	DESCRIPTION



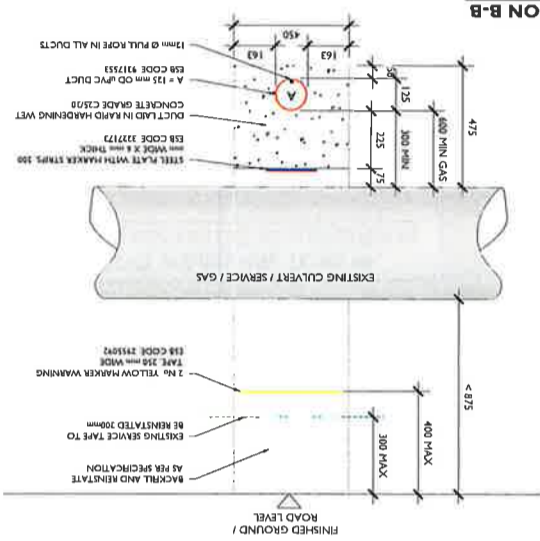
Planning Department
 16 OCT 2024
 Cork County Council
 Cork County Hall
 Cork

Project: 2024/01/01
 Designer: CH
 Checker: DB
 Approver: DH

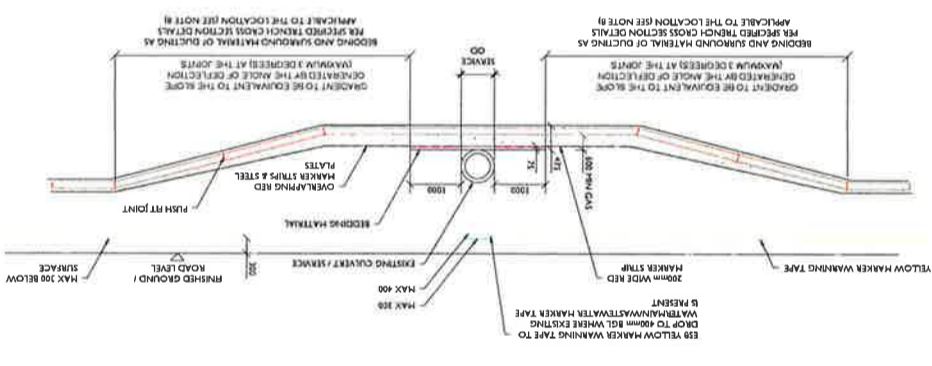
ISSUE REVISION

NO	DATE	DESCRIPTION
01	04/10/24	Issue for Review & Planning

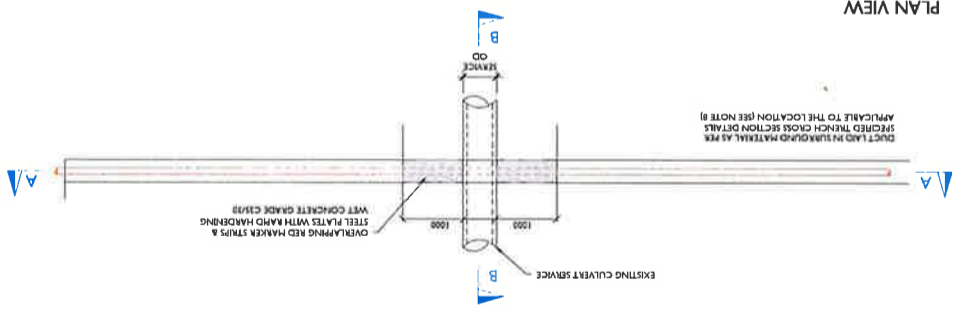
SECTION B-B
SCALE: 1:10



SECTION A-A
SCALE: 1:50



PLAN VIEW
SCALE: 1:50



NOTES:

1. THIS DRAWING IS TO BE USED ONLY FOR THE PURPOSE OF ISSUE AND IS SUBJECT TO AMENDMENT.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DOCUMENTATION.
3. DO NOT SCALE FROM THIS DRAWING, USE ONLY PRINTED DIMENSIONS.
4. ALL DIMENSIONS ARE IN MILLIMETRES, ALL CHANGES, LEVELS AND COORDINATES ARE IN METRES UNLESS DEFINED OTHERWISE.
5. NO EXCAVATION SHALL COMMENCE UNTIL THE CONTRACTOR HAS CONSULTED UP TO DATE SERVICES DRAWINGS AND CARRIED OUT AN ELECTRICAL LOCATION (BIM) SCAN.
6. HOLE DIAL ONLY WITHIN 500mm OF EXISTING SERVICES TO COMPACTING BEDS B COULD CAUSE DAMAGE TO THE CULVERT / SERVICE BELOW, USE APPROPRIATE HANDLING CENTRE GRADES C25 / 30 FOLLOWING ENGINEERS PRIOR APPROVAL.
7. FOR STANDARD TRENCH CROSS SECTION DRAWING SEE 05756-DR-016.
8. WHERE DEPTHS EXCEED 3000mm TO THE TOP OF THE DUCT, THE CONTRACTOR SHALL CONSULT THE CABLE SYSTEM DESIGN ENGINEER.
9. BACKFILL AS PER GUIDELINES FOR THE OPENING IN THE PUBLIC ROAD.
10. FOR VARYING CROSSINGS, SEE 05756-DR-022.
11. UNDER-CROSSING OR OVER-CROSSING (OVER-CROSSING) WHERE IT IS NOT POSSIBLE TO MAINTAIN STANDARDS COVER WHEN CROSSING OVER THE SERVICE.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL TEMPORARY WORKS REQUIRED. THE CONTRACTOR SHALL BE APPOINTED APPROVED TEMPORARY WORKS DESIGNER TO THE SDP. ALL DRAWINGS ARE SUBJECT TO DETAILED DESIGN AND THAT THE EXACT LOCATION OF THE PROPOSED CABLES MAY CHANGE AFTER PLANNING OBTAINED DURING THE DETAILED DESIGN STAGE.

LEGEND

---	EXISTING SERVICES
---	PROPOSED SERVICES
---	TEMPORARY WORKS
---	ROAD LEVEL

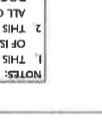
CLIENT

Tead More Solar Ltd

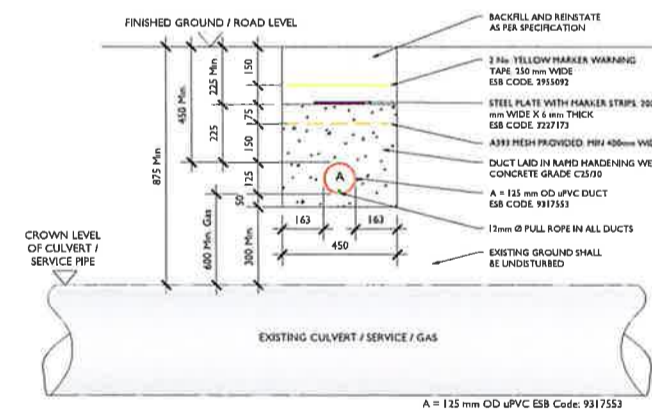
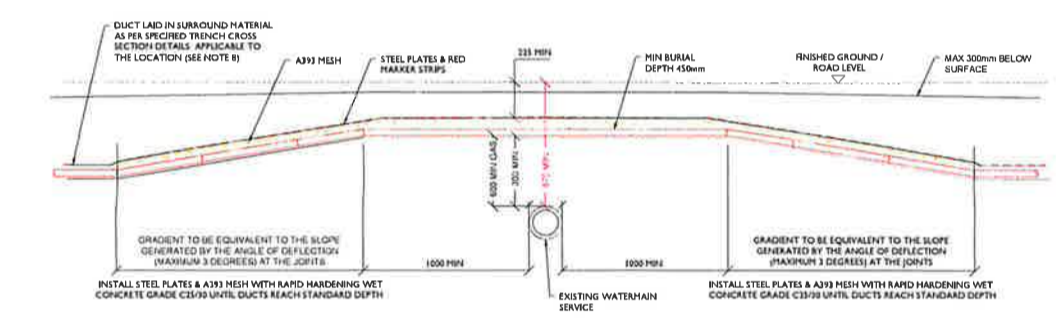
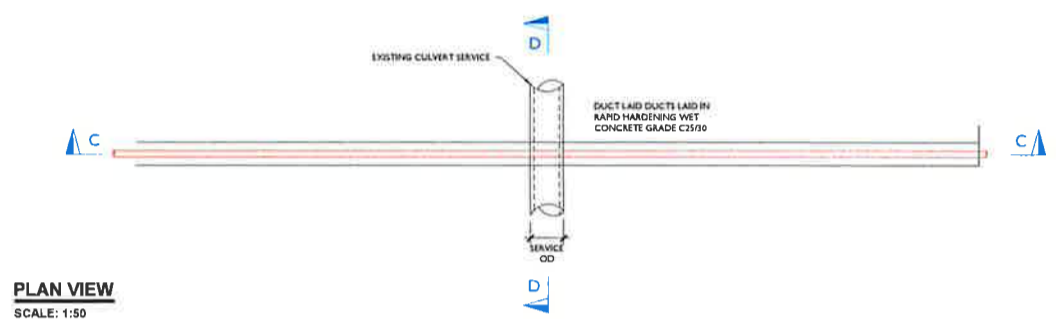
PROJECT

Tead More Solar Farm

20kV Grid Connection



Project Management: Initials Designer: CH Checked: DS Approved: DM
 (B2) A3 | 15/10/24 | 1:50



- NOTES:**
- THIS DRAWING IS TO BE USED ONLY FOR THE PURPOSE OF ISSUE AND IS SUBJECT TO AMENDMENT.
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 - ALL DIMENSIONS ARE IN MILLIMETRES. ALL CHAINAGES, LEVELS AND COORDINATES ARE IN METRES UNLESS DEFINED OTHERWISE.
 - NO EXCAVATION SHALL COMMENCE UNTIL THE CONTRACTOR HAS CONSULTED UP TO DATE SERVICES DRAWINGS AND CARRIED OUT AN ELECTROMAGNETIC LOCATOR (EML) SCAN.
 - HAND DIG ONLY WITHIN 500mm OF EXISTING SERVICES.
 - IF COMPACTING CBGM B COULD CAUSE DAMAGE TO THE CULVERT / SERVICE BELOW, USE RAPID HARDENING CEMENT GRADE C25 / 30 FOLLOWING ENGINEERS PRIOR APPROVAL.
 - FOR STANDARD TRENCH CROSS SECTION DRAWING, SEE 05756-DR-016.
 - WHERE DEPTHS EXCEED 3000mm TO THE TOP OF THE DUCT, THE CONTRACTOR SHALL CONSULT THE CABLE SYSTEM DESIGN ENGINEER.
 - BACKFILL AS PER GUIDELINES FOR THE OPENING, BACKFILLING AND REINSTATEMENT OF OPENINGS IN THE PUBLIC ROADS.
 - FOR WATERMANS CROSSINGS SEE 05756-DR-022 [UNDER-CROSSING] OR 05756-DR-023 [OVER-CROSSING].
 - ESB'S PREFERENCE IS TO CROSS UNDER ALL SERVICES WHERE IT IS NOT POSSIBLE TO MAINTAIN STANDARD COVER WHEN CROSSING OVER THE SERVICE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL TEMPORARY WORKS REQUIRED. THE CONTRACTOR WILL APPOINT AN APPROVED TEMPORARY WORKS DESIGNER AND SUBMIT PROPOSED TEMPORARY WORKS DESIGNS TO THE PSPD.
 - ALL DRAWINGS ARE SUBJECT TO DETAILED DESIGN AND THAT THE EXACT LOCATION OF THE PROPOSED CABLES MAY CHANGE AFTER PLANNING OBTAINED DURING THE DETAILED DESIGN STAGE.

tli GROUP

Boreenagh
 Abbeymore
 Flisha Co. Kerry
 Ireland
 Tel: 00353 44 7132710

Boreenagh Business Centre
 Stranorlar Road, Stranorlar
 Hampshire
 RG24 8JF, UK
 Tel: 00 44 13546664

PROJECT
Tead More Solar Farm
20kV Grid Connection

CLIENT
Tead More Solar Ltd

CONSULTANTS

NOTES:

- LEGEND:**
- 125mm OD uPVC DUCT WITH 12mm DIA. PULL ROPE
 - 60mm MARKER STRIP WITH STEEL PLATE
 - YELLOW MARKER (OPTIONAL) TAP
 - A393 MESH (AS SPECIFIED)

ISSUE/REVISION

NO.	DATE	DESCRIPTION
01	04/10/24	Issued for Section 5 Planning

PROJECT NUMBER
05-756

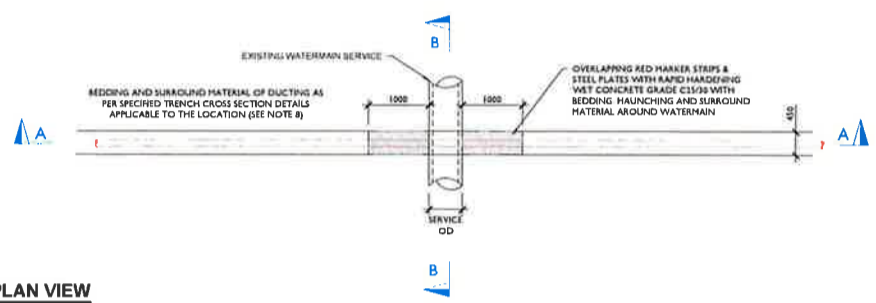
SHEET TITLE
Service / Culvert / Gas
Over Crossing Details

SHEET NUMBER
05756-DR-021

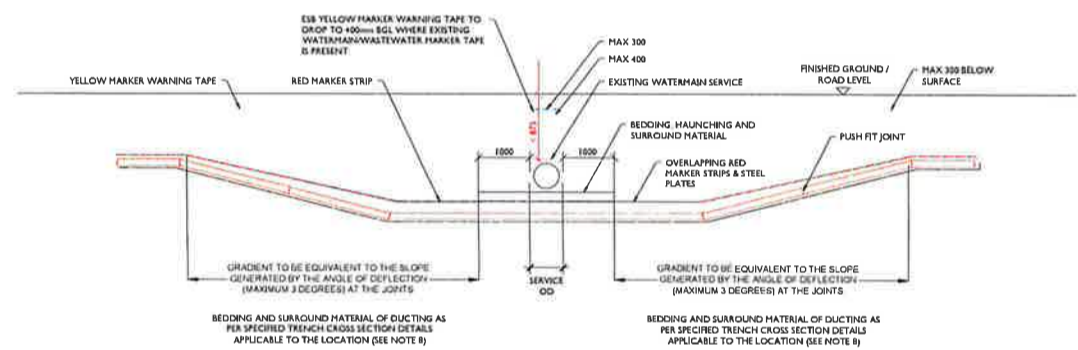
Planning Department

 16 OCT 2024
 Cork County Council
 County Hall
 Cork.

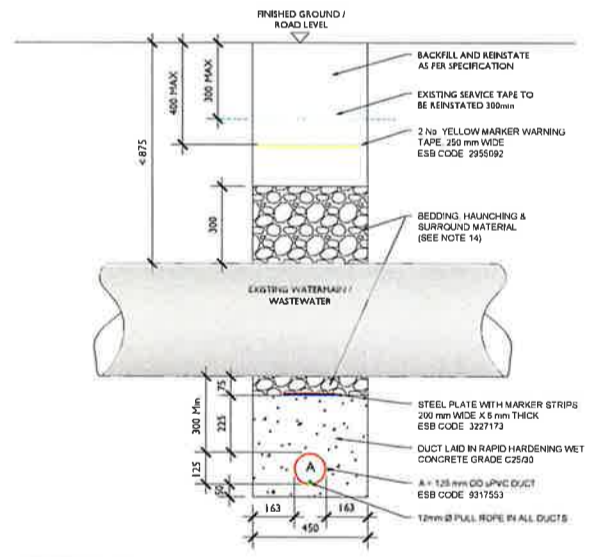
Project Management Issues Designer: FOS Checked: DB Approved: RG



PLAN VIEW
SCALE: 1:50



SECTION A-A
SCALE: 1:50



SECTION B-B
SCALE: 1:10

- NOTES**
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 - ALL DIMENSIONS ARE IN MILLIMETRES. ALL CHANGES, LEVELS AND COORDINATES ARE IN METRES UNLESS DENIED OTHERWISE.
 - NO EXCAVATION SHALL COMMENCE UNTIL THE CONTRACTOR HAS CONSULTED UP TO DATE SERVICES DRAWINGS AND CARRIED OUT AN ELECTROMAGNETIC LOCATOR (EML) SCAN.
 - HAND DIG ONLY WITHIN 500mm OF EXISTING SERVICES.
 - IF COMPACTING CBGN B COULD CAUSE DAMAGE TO THE WATERMAIN SERVICE BELOW, USE RAPID HARDENING CEMENT GRADE C13 / 30 FOLLOWING ENGINEERS PRIOR APPROVAL.
 - FOR STANDARD TRENCH CROSS SECTION DRAWING SEE 0275-DR-010.
 - WHERE DEPTHS EXCEED 3000mm TO THE TOP OF THE DUCT THE CONTRACTOR SHALL CONSULT THE CABLE SYSTEM DESIGN ENGINEER FOR PHASE SPACING REQUIREMENTS.
 - BACKFILL AS PER GUIDELINES FOR THE OPENING, BACKFILLING AND REINSTATEMENT OF OPENINGS IN THE PUBLIC ROADS.
 - ESB'S PREFERENCE IS TO CROSS UNDER ALL SERVICES WHERE IT IS NOT POSSIBLE TO MAINTAIN STANDARD COVER WHEN CROSSING OVER THE SERVICE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL TEMPORARY WORKS REQUIRED. THE CONTRACTOR WILL APPOINT AN APPROVED TEMPORARY WORKS DESIGNER AND SUBMIT PROPOSED TEMPORARY WORKS DESIGN TO THE PSP.
 - AS PER WS14-08-01 B SIGN 4-08-01 GRANULAR MATERIAL SHALL BE 14M1 TO 14M1 GRADED AGGREGATE OR 10M1 SINGLE SIZED AGGREGATE.
 - IF ANY WATERMANS ARE DAMAGED DURING CONSTRUCTION THEY WILL BE REPLACED IN FULL. CAMERA LOGGING WILL BE COMPLETED BEFORE AND AFTER THE WORKS.
 - ALL DRAWINGS ARE SUBJECT TO DETAILED DESIGN AND THAT THE EXACT LOCATION OF THE PROPOSED CABLES MAY CHANGE AFTER PLANNING OBTAINED DURING THE DETAILED DESIGN STAGE.



tli GROUP
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PROJECT
 Tead More Solar Farm
 20kV Grid Connection

CLIENT
 Tead More Solar Ltd

CONSULTANTS

NOTES

LEGEND

- 125mm Ø uPVC DUCT WITH 12mm Ø MARKER STRIPS
- RED MARKER STRIP WITH STEEL PLATE
- YELLOW MARKER WARNING TAPE
- EXISTING SERVICES MARKER TAPE

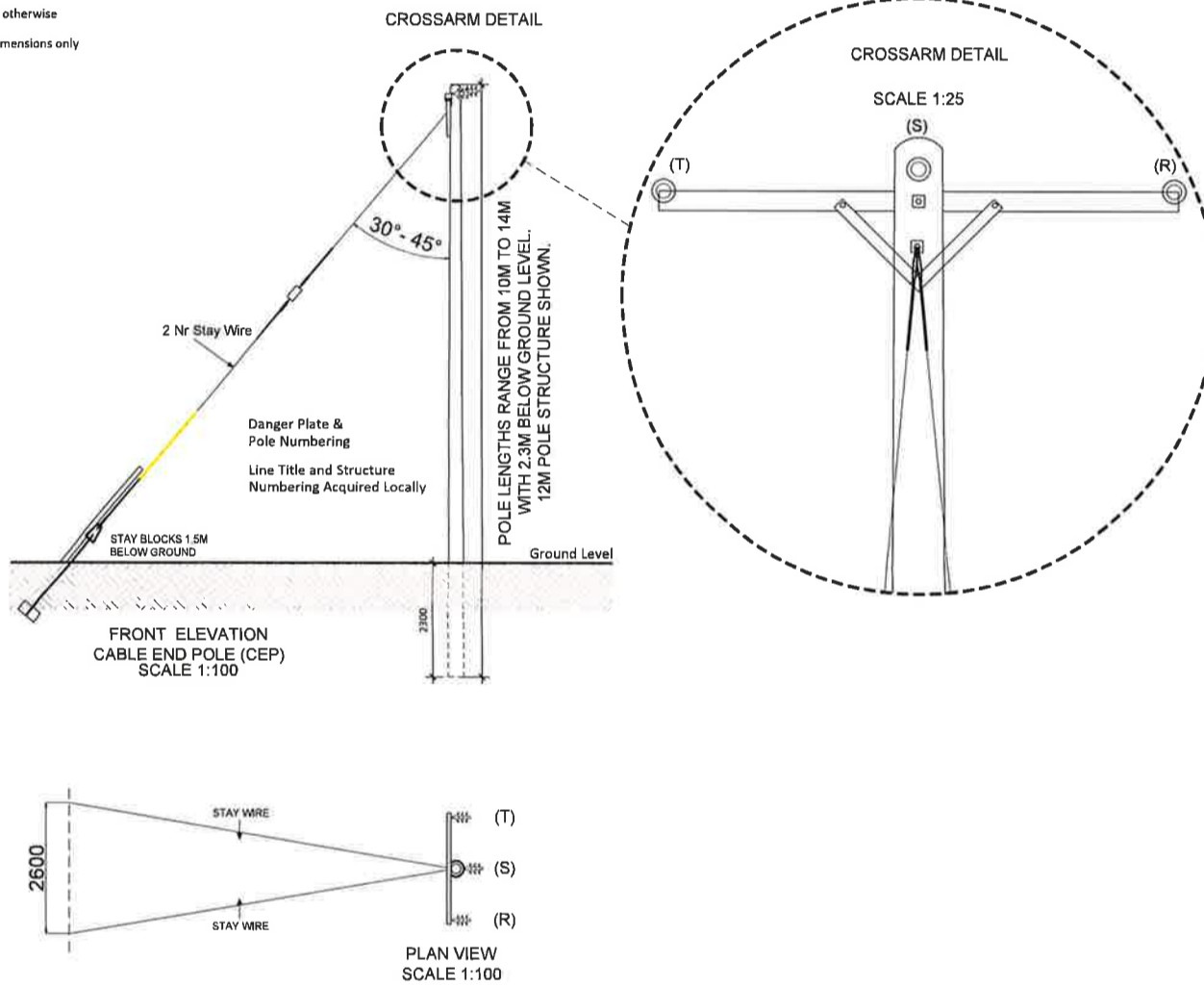
ISSUE/REVISION

NO	DATE	DESCRIPTION

PROJECT NUMBER
 05-756
SHEET TITLE
 Watermain / Wastewater Under Crossing Details
SHEET NUMBER
 05756-DR-022



- NOTES:-**
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Head Office:
 Beenreigh,
 Abbeydorney,
 Tralee, Co. Kerry
 Ireland
 Tel: 00353 66 7135710

CLIENT
 Tead More Solar Farm Ltd.

PROJECT
 Tead More Solar Farm
 20kV Grid Connection

PROJECT NUMBER
 05-756

SHEET NUMBER
 05756-DR-024

SHEET TITLE
 Typical Structures -
 Cable End Pole (EP)
 DRAWING STATUS
 For Section 5 Planning

ISSUE/REVISION		
P1	04.10.24	Issued for Section 5 Planning
I/R	DATE	DESCRIPTION

Planning Department

16 OCT 2024

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 Contact call
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th GROUP
Ireland
Tralee, Co. Kerry
Beenleigh,
Abbeystown,
Tralee, Co. Kerry
Tel: 00353 66 7135710

CLIENT
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PROJECT
Tead More Solar Farm

PROJCT NUMBER
05-756
SHEET NUMBER
05756-DR-025

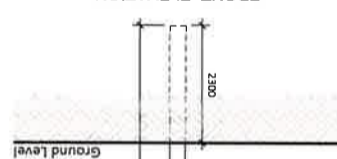
SHEET TITLE
Typical Structures -
Intermediate Pole (IMP)
DRAWING STATUS
For Section 5 Planning

ISSUE/REVISION	I/R	DATE	DESCRIPTION
	P1	04.10.24	Issued for Section 5 Planning

PLAN VIEW
SCALE 1:100



FRONT ELEVATION
INTERMEDIATE POLE (IMP)
SCALE 1:100



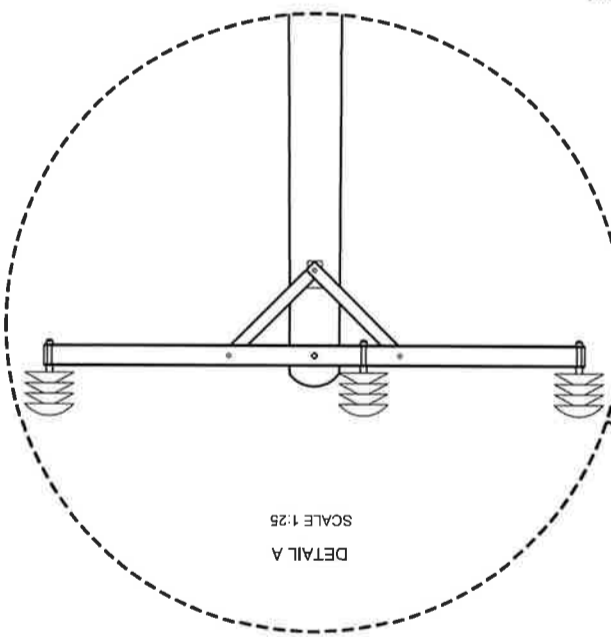
POLE LENGTHS RANGE FROM 10M TO 14M
WITH 2.3M BELOW GROUND LEVEL.
12M POLE STRUCTURE SHOWN.

Danger Plate &
Pole Numbering
Line Title and Structure
Numbering Acquired Locally

DETAIL A



DETAIL A
SCALE 1:25



VIEW OF INTERMEDIATE POLE (IMP)



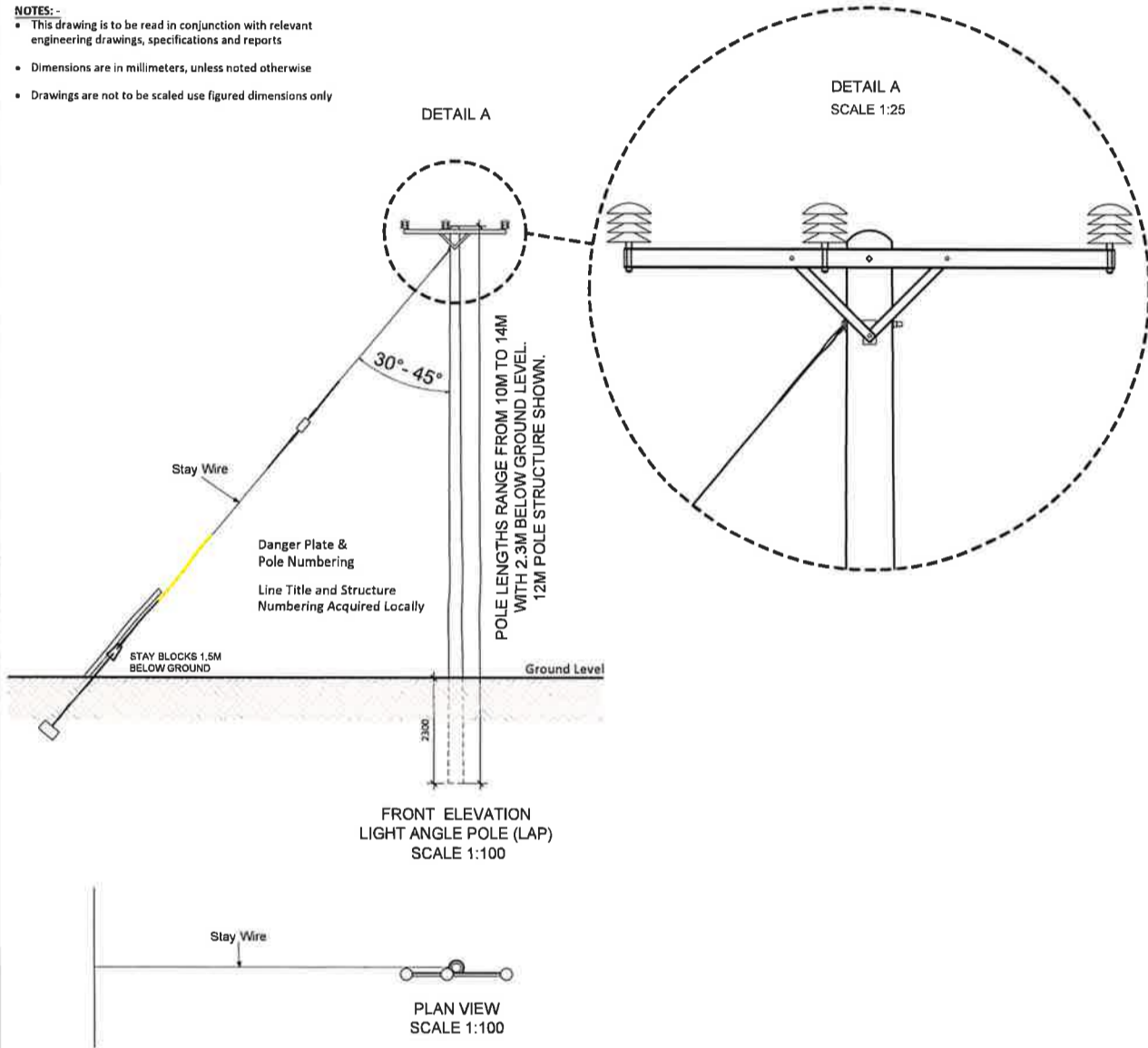
VIEW OF INTERMEDIATE POLE HEAD



- NOTES:-
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16 OCT 2024
Cork County Council
Cork County Hall
Cork.

- NOTES:-**
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VIEW OF LIGHT ANGLE POLE HEAD



VIEW OF LIGHT ANGLE POLE (LAP)



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Ireland
Tel: 00353 66 7135710

CLIENT
Tead More Solar Farm

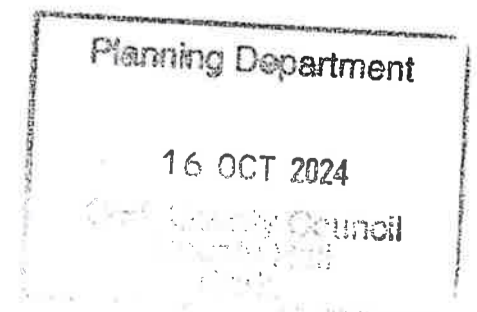
PROJECT
Tead More Solar Farm
20kV Grid Connection

PROJECT NUMBER SHEET NUMBER
05-756 05756-DR-026

SHEET TITLE
Typical Structures -
Light Angle Pole (LAP)
DRAWING STATUS
For Section 5 Planning

ISSUE/REVISION

I/R	DATE	DESCRIPTION
P1	04.10.24	Issued for Section 5 Planning



Planning Department
16 OCT 2024
Cork County Council
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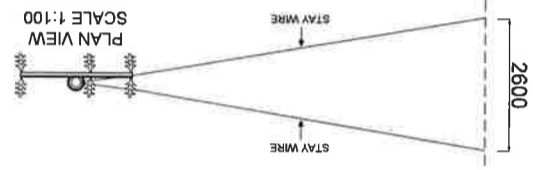
Head Office
Beenleigh,
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Tralee, Co. Kerry
Tel: 00353 66 7135710

CLIENT
Tead More Solar Farm Ltd.

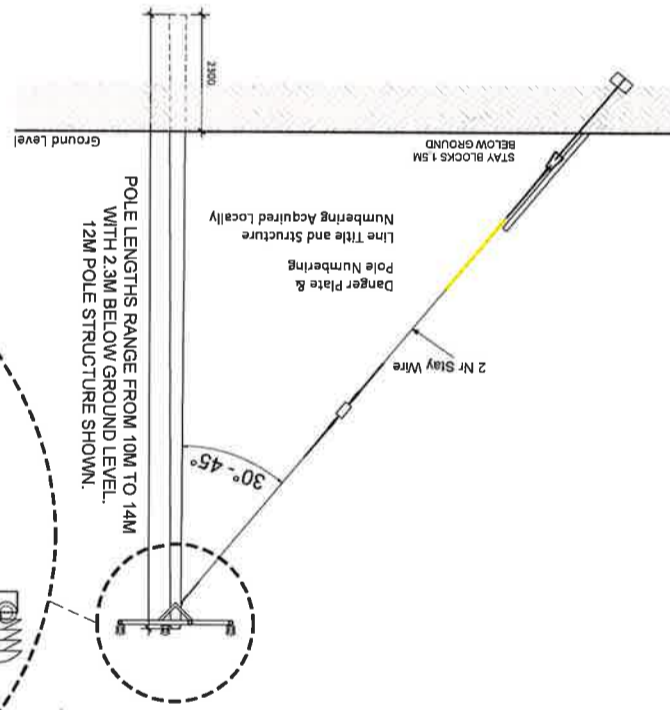
PROJECT
20KV Grid Connection
Tead More Solar Farm

SHEET TITLE
Typical Structures - Medium &
Heavy Angle Pole (MAP&HAP)
DRAWING STATUS
For Section 5 Planning

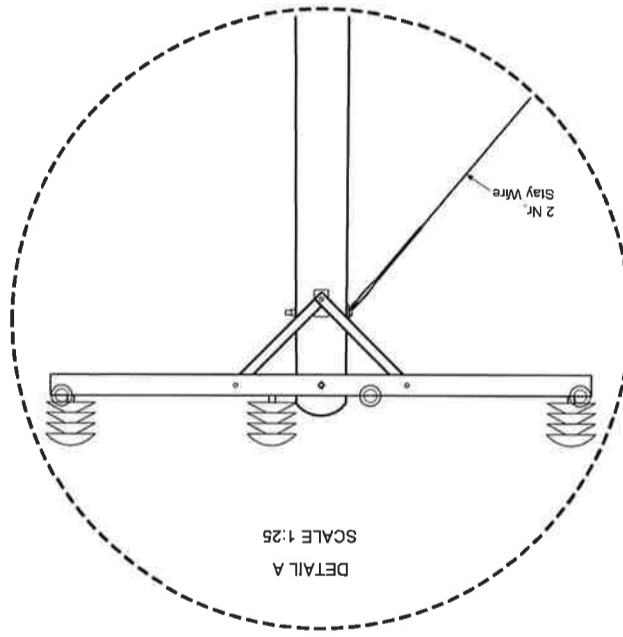
ISSUE/REVISION	DATE	I/R	DESCRIPTION
	04.10.24	P1	Issued for Section 5 Planning



FRONT ELEVATION
MEDIUM ANGLE POLE (MAP)
SCALE 1:100



DETAIL A



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